

ZHB 16-06



Law Offices

King Laird

A PROFESSIONAL CORPORATION
360 WEST MAIN STREET
TRAPPE, PA 19426
www.kinglaird.com

Andrew C. Laird
Thomas C. Rentschler
Robert H. McGuckin*
*Member PA and NJ
Arthur J. King
(Retired)

Berks County Office
875 Berkshire Boulevard, Suite 102-A
Wyomissing, PA 19610

Please direct all communications
to our Trappe Office
Phone: 610-489-0700
Fax: 610-489-6970

August 29, 2016

Hand Delivered

Tommy Ryan
Township Manager
Worcester Township
1721 Valley Forge Road
Worcester, PA 19490

Re: Request: Dimensional variance to install a patio with a roof
Property: 2705 Applewood Drive
Owner: Eldwin Thay and Carol Kim, Trustees
Zoning: Agriculture (AGR)

Dear Mr. Ryan,

I represent Mr. Thay and Ms. Kim, Trustees, regarding their application for variance to install a covered patio. They are seeking a variance to encroach into the permitted setback of the rear of the house and to cover portion of the patio. Enclosed for filing are 14 copies of the following:

- 1) Application for Variance
- 2) Addendum to the Application
- 3) Deed
- 4) Plot Plan
- 5) Patio Design Plan
- 6) Montgomery County Tax Map

Please schedule this matter for the first available date to appear before the Zoning Hearing Board. Please contact me if any additional items are needed to perfect this application or if you want to discuss anything in greater detail. Thank you for your attention to this matter.

Kind Regards,
King Laird, P.C.

By: 
Robert H. McGuckin, Esquire

cc: Mr. Thay and Ms. Kim
Enclosures

*Serving clients in Southeastern Pennsylvania since 1970.
"We're Available, We're Experienced, And We Keep You Advised."*

BEFORE THE ZONING HEARING BOARD
OF
THE TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA

IN RE: Eldwin Thay and Carol Kim, Trustees for the Eldwin Thay 2015 Revocable Trust, dated April 17, 2015 and the Carol Kim 2015 Revocable Trust, dated April 17, 2015

August 26, 2016

A-1	Zoning Hearing Board Application and Addendum
A-2	Deed
A-3	Plot Plan
A-4	Proposed Deck and Cover Design Plan
A-5	Tax Map
A-6	RESERVED
A-7	RESERVED
A-8	RESERVED

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Phone (610) 584-1410
Fax (610) 584-8901

THIS SECTION COMPLETED ONLY BY TOWNSHIP:

APPEAL NO. : 7016-06 DATE FILED: 8/29/16 , 20

APPLICATION: BOARD OF SUPERVISORS
 ZONING HEARING BOARD

1. Date of Application: August 26, 2016

2. Classification of Appeal (Check one or more, if applicable):

- a. Appeal from the Zoning Officer's Determination
- b. Request for Variance
- c. Request for Special Exception
- d. Challenges to the Validity of Zoning Ordinance or Map
- e. Request for Conditional Use Hearing
- f. Request for Amendment to Zoning Map
- g. Request for Zoning Ordinance Amendment
- h. Request for a Curative Amendment
- i. Request for other relief within the Jurisdiction of the Zoning Hearing Board as established in Section 909.1(a) of the Pennsylvania Municipalities Code

3. Applicant:

- a. Name: Eldwin Thay and Carol Kim, Trustees
 - b. Mailing address: 2705 Applewood Drive
 - c. Telephone number: 215.301.5458
 - d. State whether owner of legal title, owner of equitable title, or tenant with the permission of owner legal title: (REQUIRED)
- Please attach Deed to prove ownership, an Agreement of Sale to prove equitable ownership, or an Affidavit allowing Tenant to apply for necessary relief.**

4. Applicant's attorney, if any:

- a. Name: Robert H. McGuckin, Esquire
- b. Address: 360 West Main Street, Trappe, PA 19426
- c. Telephone number: 610.489.0700

5. Property Details:

- a. Present Zoning Classification: AGR
- b. Present Land Use: Residential
- c. Location (Street Address):
2705 Applewood Drive
- d. Parcel #: 67-00-03448-21-9
- e. Lot Dimensions:
 - (1) Area: 23590
 - (2) Frontage: 150
 - (3) Depth: 220
- f. Circle all that apply in regards to the above specified property:
 ~~Public Water~~ ~~Public Sewer~~
 Private Well Private Septic
- g. Size, construction, and use of existing improvements; use of land, if unimproved: **(Please submit as an attachment)**

6. Proposed Use(s):

- a. Proposed use(s) and construction: Please provide size, construction and proposed use(s). **(Please submit as an attachment)**

7. Legal grounds for appeal (Cite specific sections of Pennsylvania Municipalities Planning Code, Zoning Ordinance, Subdivision Regulations, and/ or other Acts or Ordinances). All sections that apply must be listed in which relief is required and an explanation provided. **(Please submit as an attachment)**

8. Has any previous appeal been filed concerning the subject matter of this appeal?
 Yes No

If yes: specify: **(Please submit as an attachment)**

9. Challenges please list requested issues of fact or interpretation:
(Please submit as an attachment)

10. Worcester Township to provide the list of names and addresses of all property within 500 feet of the perimeter of the subject property. **(REQUIRED: SECTION 150-224)**

CERTIFICATION

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.



Signature


Signature

Eldwin Thay, Trustee
Printed Name

Carol Kim, Trustee
Printed Name

COMMONWEALTH OF PENNSYLVANIA:

COUNTY OF Montgomery : SS

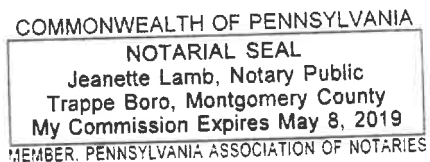
The undersigned, being duly sworn according to law, deposes and says the he/she is the above names applicant, that he/she is authorized to and does take this affidavit on behalf of the owner, and foregoing facts are true and correct.

[Signature]
Applicant

Carol Dean
Applicant

Sworn to and subscribed before me this 21st day of August, 20 16

[Signature]
Notary Public



Date Received: 8/29/2016 [Signature]
Zoning Officer

Addendum to Application for Variance

**Eldwin Thay and Carol Kim, Trustees for the Eldwin Thay 2015 Revocable Trust, dated April 17, 2015
and the Carol Kim 2015 Revocable Trust, dated April 17, 2015**

2705 Applewood Drive

Eldwin Thay and Carol Kim are seeking a variance under Section §150-219 of the Township Zoning Code. Applicant is applying for a variance of §150-181(C) to install a patio measuring approximately 40 feet 6 inches x 16 feet. A portion of the patio measuring 13 feet 8 inches x 19 feet 8 inches will be covered by a roof. The peak of the roof will be approximately 12 feet high. As designed, the patio will encroach past the permissible rear setback by 4 feet 5 inches. The covered portion of the patio will encroach on the rear setback by 6 feet. Applicant is seeking a variance for the encroachments and an additional variance to cover a portion of the patio.

The size, shape and location of the patio were incorporated into the design to maintain dimensional conformity with the house. Child safety was also a driving factor in the patio's design which contributes to the need to encroach past the permissible 20 foot rear setback.

The property's dimensions, shape, size and other characteristics, including the size and location of the house, creates a unique hardship that makes it impossible to strictly conform to the zoning requirements. Applicants did not create this hardship. Granting the variance is required to allow Mr. Thay and Ms. Kim reasonable use of the Property. Additionally, Eldwin Thay and Carol Kim will suffer economic hardship if the variance is not granted. Furthermore, covering a portion of the patio is medically necessary and promotes the health, safety and welfare of the residing family. Most of the family members residing at the property suffer from a skin condition which direct sunlight aggravates. Covering a portion of the patio would allow the full use and enjoyment of the property, including the outdoors, while offering the necessary protection from the sun's damaging effects. Granting this variance is the minimum variance needed to afford the relief requested. The essential character of the neighborhood will not be impacted nor will adjacent properties be impaired.

Eldwin Thay and Carol Kim meet the requirements for variance and are legally entitled to a favorable determination to their application under the Township's Zoning Code and Section 910.2 of the MPC.

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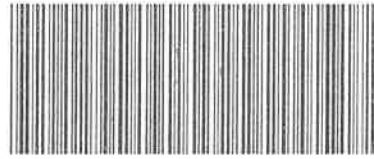
EXHIBIT
“2”



RECORDER OF DEEDS
MONTGOMERY COUNTY
Nancy J. Becker

One Montgomery Plaza
 Swede and Airy Streets ~ Suite 303
 P.O. Box 311 ~ Norristown, PA 19404
 Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 5956 PG 02266 to 02270
 INSTRUMENT # : 2015040301
 RECORDED DATE: 06/05/2015 12:09:30 PM



3210244-0014E

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed	Transaction #: 3217091 - 2 Doc(s)
Document Date: 05/19/2015	Document Page Count: 4
Reference Info:	Operator Id: dcane
RETURN TO: (Simplifile) Secured Land Transfer, LLC 485 St Johns Church Road Shiremanstown, PA 17011 (717) 820-2541	PAID BY: SECURED LAND TRANSFER LLC

*** PROPERTY DATA:**

Parcel ID #:	67-00-03448-21-9
Address:	2705 APPLEWOOD DR
	PA
Municipality:	Worcester Township (100%)
School District:	Methacton

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: \$755,000.00	DEED BK 5956 PG 02266 to 02270	
TAXABLE AMOUNT: \$755,000.00	Recorded Date: 06/05/2015 12:09:30 PM	
FEES / TAXES:	I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.	
Recording Fee:Deed		\$95.00
Additional Names Fee		\$1.50
Affordable Housing Names		\$6.00
State RTT		\$7,550.00
Worcester Township RTT		\$3,775.00
Methacton School District RTT		\$3,775.00
Total:	\$15,202.50	



Nancy J. Becker

Nancy J. Becker
 Recorder of Deeds

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.

501501454
Tax Parcel: 67-00-03448-21-9

Prepared by:
Title Services
485 St. Johns Church Road
Shiremanstown, PA 17011
(717) 901-8342

Return to:
Title Services
485 St. Johns Church Road
Shiremanstown, PA 17011
(717) 901-8342

Consideration: \$755,000.00

City/County Taxes: \$7,550.00

State Taxes: \$7,550.00

THIS DEED,

MADE THE ^{JA} 19 day of May, in the year Two Thousand Fifteen (2015)

BETWEEN SPARANGO LAND PARTNERSHIP III, L.P., a Pennsylvania Limited Partnership,
Grantor(s)

and

Eldwin Thay and Carol Kim, Trustees of the Eldwin Thay 2015 Revocable Trust, dated April 17, 2015 and Carol Kim and Eldwin Thay, Trustees of the Carol Kim 2015 Revocable Trust, Dated April 17, 2015, Grantee(s):

WITNESSETH, that in consideration of the sum of Seven Hundred Fifty-Five Thousand and 00/100 Dollars (\$755,000.00), in hand paid, the receipt whereof is hereby acknowledged, the said grantors do hereby grant and convey to the said grantee(s),

EXHIBIT "A"

ALL THAT CERTAIN lot or piece of ground SITUATE in the township of Worcester, County of Montgomery and Commonwealth of Pennsylvania bounded and described according to a Subdivision Plan of "Applewood Estates of Worcester" made for Sparango Construction Co. Inc. by Bursich Associates, Inc., Pottstown, Pennsylvania dated 11/27/2002 and last revised 03/15/2005 and recorded in the Office of the Recorder of Deeds at Norristown, Pennsylvania in Plan Book 25 page 59, as follows, to wit:

BEGINNING at a point on the Northeasterly side of Applewood Drive (50 feet wide) a corner of Lot 21 on said plan; thence extending along said Applewood Drive North 52 degrees 57 minutes 53 seconds West 150.00 feet to open space;; thence extending along said land the two following courses and distances, viz: 1) North 37 degrees 02 minutes 07 seconds East 220.00 feet to a point and 2) South 52 degrees 57 minutes 53 seconds East 150.00 feet to a point a corner of Lot 23 on said plan; thence extending along said Lot 23 and along Lot 21 South 37 degrees 02 minutes 07 seconds West 220 feet to a point on the Northeasterly side of Applewood Drive, aforesaid; being the first mentioned point and place of beginning.

BEING Lot 22 on said plan

UNDER AND SUBJECT to a Declaration of Applewood Estates Planned Community dated 11/21/2006 and recorded 03/07/2007 in Deed Book 5638 page 127 in the County aforesaid, affecting the unit or lot described above.

BEING Parcel No.: 67-00-03448-21-9.

UNDER AND SUBJECT TO the same rights, privileges, agreements, rights-of-way, easements, conditions, exceptions, restrictions, and reservations as exist by virtue of prior recorded instruments, plans, Deeds of Conveyances, or visible on ground.

BEING KNOWN AND NUMBERED as 2705 Applewood Drive, Eagleville, Pennsylvania.

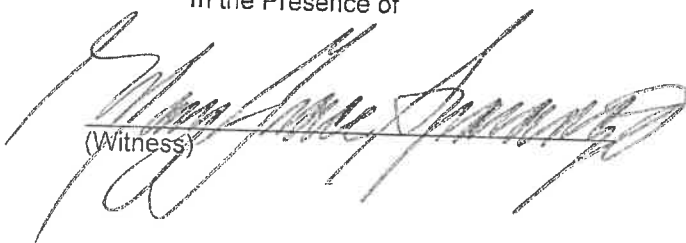
BEING part of the same premises which Jane Thompson also known as Jane Giovanis and Ann Schweizer also known as Ann Hamilton by her Power of Attorney Jane Thompson, by Deed dated 10/30/2003 and recorded at Norristown in the Office for the Recorder of Deeds in and for the County of Montgomery on 12/05/2003 in Deed Book 5484 page 1693 granted and conveyed unto Sparango Land Partnership III, LP.

And the said grantors hereby covenant and agree that they will warrant specially the property hereby conveyed.

And the said grantor has done nothing to encumber the property nor has it conveyed any rights, title or interest while owner of the property.

IN WITNESS WHEREOF, said grantors have hereunto set their hands and seals the day and year first above written.

Signed, Sealed and Delivered
In the Presence of


(Witness)

SPARANGO LAND PARTNERSHIP III, L.P.,
a Pennsylvania Limited Partnership

By: Noble Manor, Inc. General Partner

By: Pat Sparango, President

** Noble Manor, Inc.
General Partner*

STATE OF PA :
COUNTY OF Montgomery : SS.

On this 19 day of May, 2015, before me, the undersigned officer, personally appeared Pat Sparango, who acknowledged himself to be the President of Noble Manor, Inc., the General Partner of SPARANGO LAND PARTNERSHIP III, L.P., a Pennsylvania Limited Partnership, and that he as such officer and being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the company by himself as President.

WITNESS WHEREOF, I hereunto set my hand and official seal.


NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Dana Santangelo Barth-Wagner, Notary Public
Lower Providence Twp., Montgomery County
My Commission Expires April 9, 2017
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

I do hereby certify that the precise residence and complete post office address of the within grantee is:

2705 Appleswood Drive, Norristown, PA 19403

May 22, 2015.

RENAC
Agent for Keystone Title Services

EXHIBIT

“3”

S52°57'53" E 92.45' S 52°57'53" E 150.00'

220.00'

33,000 sq. ft. GROSS
32,590 sq. ft. NET

PATIO
P2 ROOF

60.38'

S 37°02'07" W

300' BLDG. SETBACK
100' SE BACK

N 37°02'07" E

159.62'

150.34'

APPLEWOOD DRIVE
E 65°15'25" S

8+00

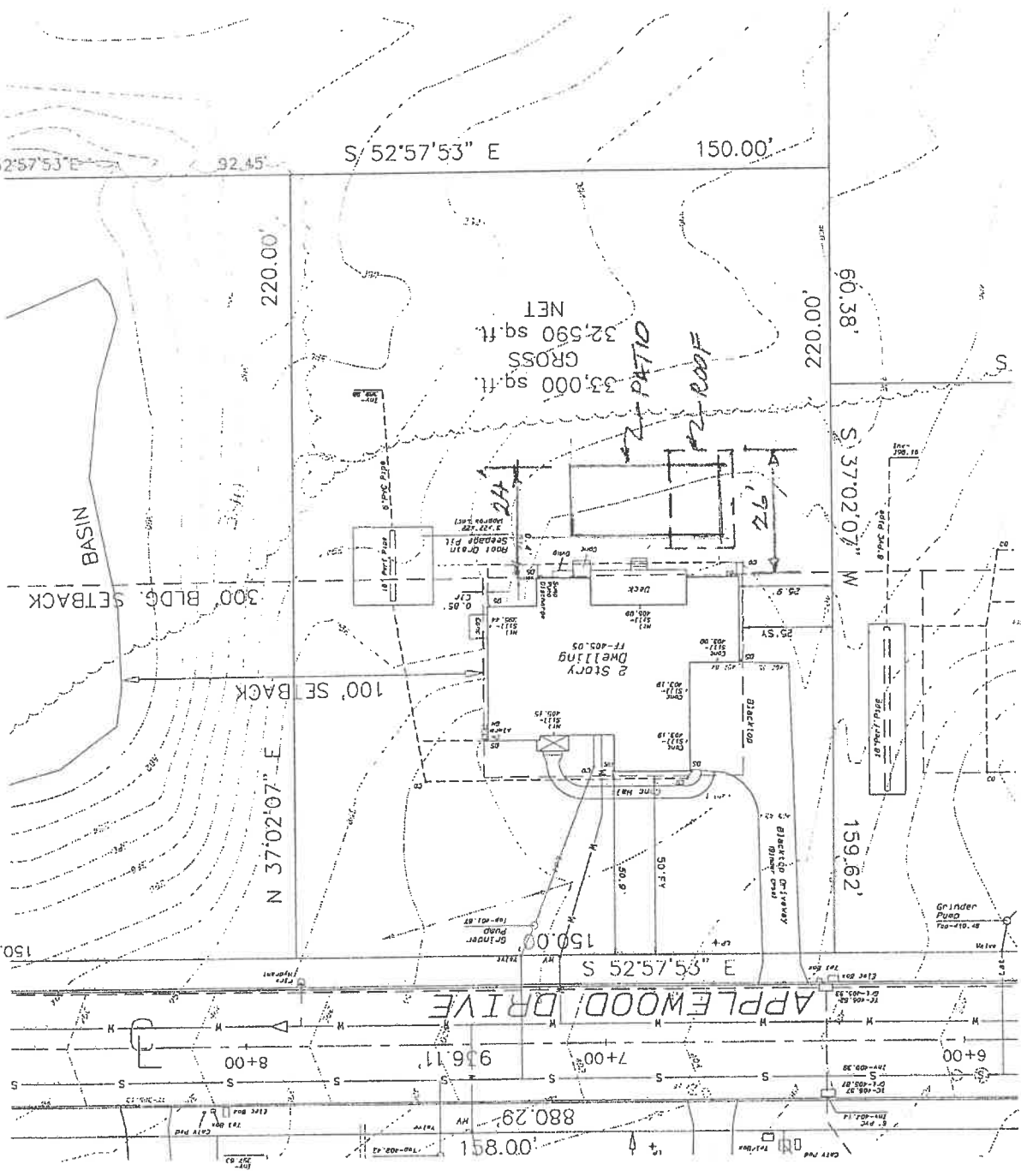
9+6.11

7+00

6+00

880.29

00.851





SITE DATA:

APPLICANT/OWNER:

SPARANZO LAND PARTNERSHIP, III, L.P.
 506 BETHLEHEM PIKE
 FORT WASHINGTON, PA 19034
 (215) 643-1298

DEVELOPABLE AREA CALCULATION:

GROSS AREA	33,000 SF
ULTIMATE ROAD R/W	0 SF
OVERHEAD UTILITY R/W	0 SF
EXISTING EASEMENTS	0 SF
FLOODPLAINS	0 SF
WETLANDS (W/BUFFER AREA)	0 SF
LAND COVERED BY WATER	0 SF
DEVELOPABLE AREA	33,000 SF

COVERAGES:

BUILDING	2,781 SF
DRIVEWAY	1,423 SF
DECK	282 SF
CONCRETE WALK	195 SF
BASEMENT ENTRANCE	34 SF
CONC PAD	24 SF
TOTAL	4,739 SF
BUILDING COVERAGE:	2,781 SF
	8 %
IMPERVIOUS COVERAGE:	4,739 SF
	14 %

GRAPHIC SCALE 1" = 20'

UNDERGROUND UTILITIES
 PA ACT 387 OF 1996-ONE CALL NOTIFICATION(1-800-242-1776)
 DATE: SERIAL NO.:

ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITIES OR RECORDS WHICH WERE SHOWN IN CONNECTION OF THE SITE. COMPLETELY AT THE RISK OF THE CLIENT AND DESIGNER OF CONSEQUENCE. NO GUARANTEE IS MADE BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION PROVIDED. THE CLIENT SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE OF UTILITIES AND FOR OBTAINING THE UTILITIES LOCATIONS AS SHOWN ON THE PLAN. THE SURVEYOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY UTILITIES LOCATED AS SHOWN ON THE PLAN.

REVISIONS

JOSEPH N. ESTOCK
 L.S. SURVEYOR
 48525-1

Joseph N. Estock

PROJECT TITLE :
**APPLEWOOD ESTATES
 OF WORCESTER**
 WORCESTER TOWNSHIP - MONTGOMERY COUNTY - PENNSYLVANIA

DRAWING TITLE :
**AS-BUILT SURVEY PLAN
 LOT 22**

PREPARED BY :
JOSEPH M. ESTOCK
 Consulting Engineers & Land Surveyors

355 South Henderson Road
 King of Prussia, PA 19406-2407
 (610) 265-3035 - Fax (610) 962-9655
 joe@josephmestock.com

SCALE	DATE	FILE NO.	FIELD BOOK	DWG. NO.
1" = 20'	20 APRIL 2015	01022	321	1 of 1

EXHIBIT

“4”

APPLEWOOD ESTATES OF WORCESTER

BARRINGTON - 9' CLG 1ST & 2ND - GARAGE RIGHT - 3-CAR
2705 APPLEWOOD DRIVE - OUTDOOR LIVING PROJECT

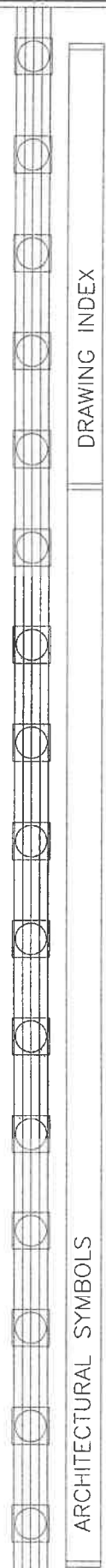
CLIENT: SPARANGO CONSTRUCTION, INC.
508 BETHLEHEM PIKE 19034
FORT WASHINGTON, PA
TEL: (215) 643-1298
FAX: (215) 643-1240

SPARANGO CONSTRUCTION CO., INC.
CONSTRUCTION INFORMATION

BUILDING CODE IRC 2009
USE GROUP: R3
CONSTRUCTION TYPE: 5B
ISSUE DATE: 5/9/16
PROJECT NUMBER:
REVISED:

ARCHITECT: MACALLISTER GROUP
4 S. B. F. L. B. C. T. 8
100 S. B. F. L. B. C. T. 8
940 S. BETHLEHEM PIKE FORT WASHINGTON, PA 19034

SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR	1902 SQ. FT.
SECOND FLOOR	1793 SQ. FT.
FINISHED BASEMENT	1000 SQ. FT.
TOTAL	4695 SQ. FT.



ARCHITECTURAL SYMBOLS

	BRICK		STEEL		PLYWOOD: SMALL SCALE
	CONCRETE MASONRY UNIT		PLASTER CEMENT, SAND, CROUT		METAL: SMALL SCALE
	CAST IN PLACE OR PRE-CAST CONCRETE		ROCK OR STONE		GYPSUM WALL BOARD
	LIGHT WEIGHT CONCRETE		CRUSHED STONE, GRAVEL OR POROUS FILL		STUCCO REINFORCED
	CAST STONE		CUT STONE, BLUESTONE, FLAGSTONE OR SLATE		RESILIENT FLOORING
	EARTH: UNDISTURBED		STONE: ROUGH-CUT OR RUBBLE		CARPET AND PAD LARGE SCALE
	EARTH: BACKFILL		WOOD: FINISH		CERAMIC TILE: LARGE SCALE
	BATT OR BLOWN INSULATION		WOOD: ROUGH		CERAMIC TILE: PROFILE
	RIGID INSULATION		WOOD BLOCKING		GLASS: LARGE SCALE
	METAL: ALUMINUM, ETC.		PLYWOOD: LARGE SCALE		GLASS: SMALL SCALE

	DOOR SYMBOL		WINDOW SYMBOL		SECTION NUMBER
	REVISION NUMBER		ELEVATION NO.		SHEET NUMBER
	VOID		INTERIOR ELEVATION		BUILDING SECTION
	UA-3		WALL SECTION		SECTION NUMBER
	CHANGE OF FLOOR FINISH		SECTION NUMBER		SHEET NUMBER
	DATUM ELEVATION		DETAIL		SECTION NUMBER
	MATCH LINE		DETAIL ENLARGEMENT		SHEET NUMBER
	(TB) TEST BORING (WP) WORK POINT (DP) DATUM POINT (CP) CONTROL POINT				

CS	COVER SHEET
GN-1	GENERAL NOTES
SP-1	SITE PLAN
A-1	FOUNDATION PLAN
A-2	FIRST FLOOR PLAN
A-3	ELEVATIONS
A-4	DETAILS

DRAWING INDEX

PERMIT SET

SCREENED BORDER
1. SCREENING SHALL BE MANUFACTURED AND INSTALLED BY THE MANUFACTURER OF THE SCREENING...

FINISHES
1. FLOOR FINISH SHALL BE FINISHED TO MATCH EXISTING WITH FINISH & TWO BURN-GRADES...

BEAR PAINT MARRSEGLASE
1. ALL BEAR PAINT SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE BEAR PAINT...

26. TOP ALL OPENINGS IN CONCRETE WALLS AND SLABS SHALL BE REINFORCED AND PROTECTED WITH A MINIMUM OF 4 BARS...

WOOD THIMBER
1. ALL WOOD THIMBER SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE WOOD THIMBER...

2. ALL WOOD THIMBER SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE WOOD THIMBER...

3. ALL WOOD THIMBER SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE WOOD THIMBER...

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10. ALL WOOD THIMBER SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE WOOD THIMBER...

11. ALL WOOD THIMBER SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE WOOD THIMBER...

11. GENERAL NOTES:
1. BUILDING CODE - 1997
2. ROOF LOAD - 30 LB/FT2
3. WIND - 90 MPH

12. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

13. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

14. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

15. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

16. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

17. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

18. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

19. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

20. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

21. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

22. CONCRETE:
1. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

1. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

2. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

3. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

4. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

5. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

6. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

7. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

8. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

9. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

10. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

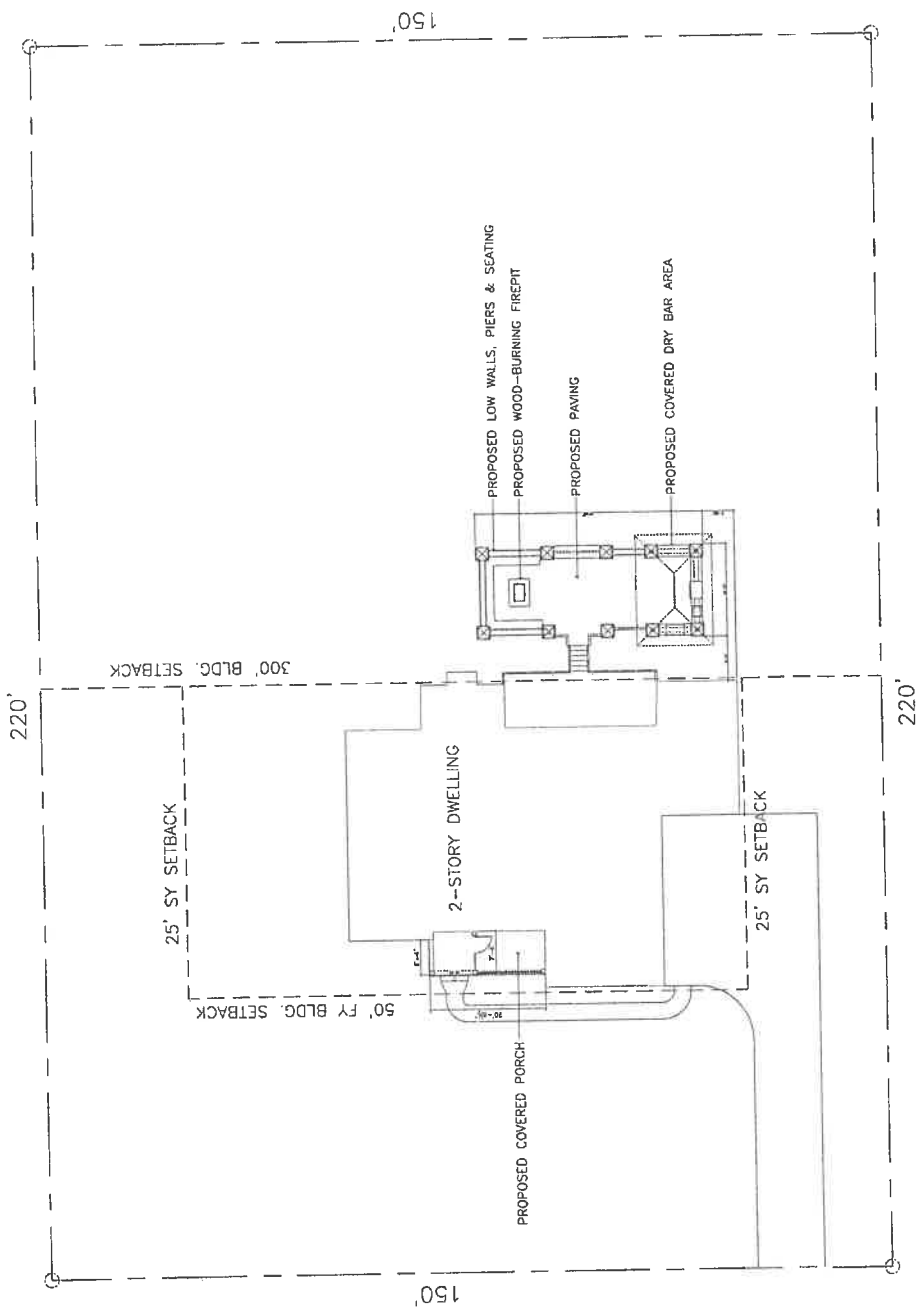
11. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

12. FOUNDATION:
1. FOUNDATION SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE FOUNDATION...

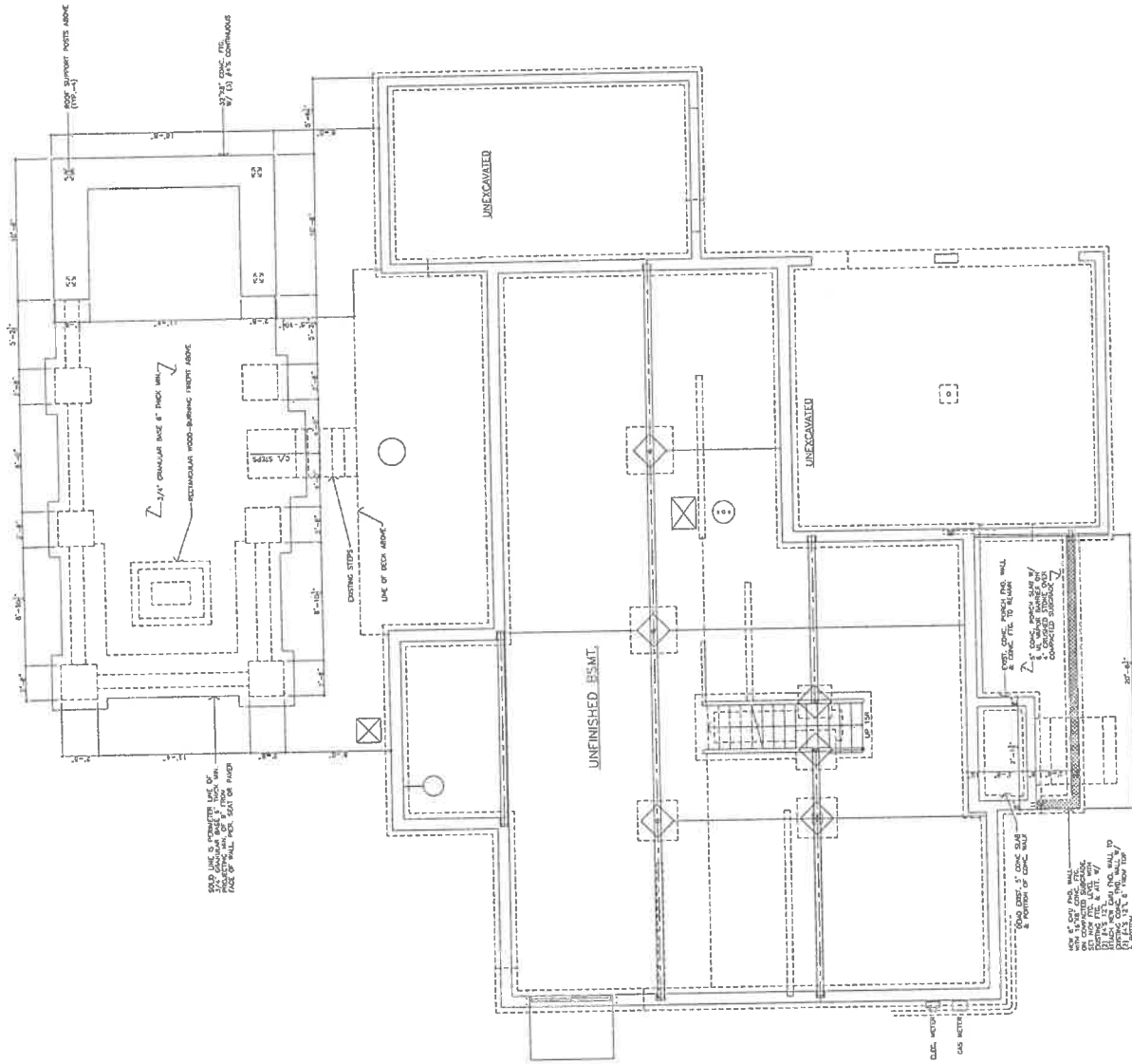
THAY RESIDENCE
2706 APPLEWOOD DRIVE
WORCESTER TWP.

5/9/16
GN-1

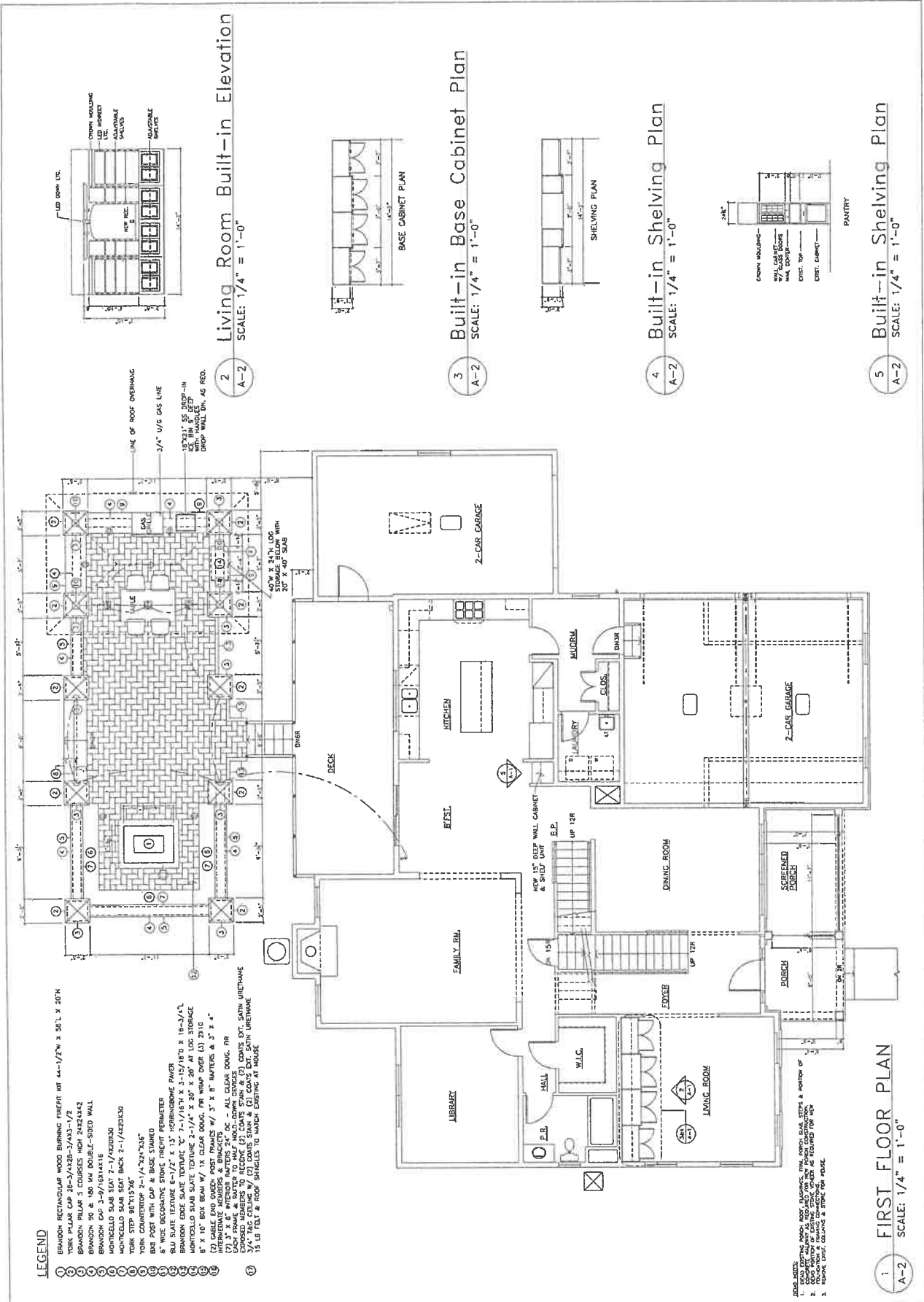
PERMIT SET



1 SITE PLAN
 SP-1 SCALE: 1/8" = 1'-0"

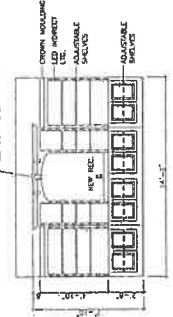


1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

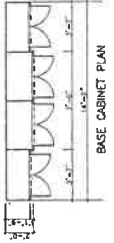


LEGEND

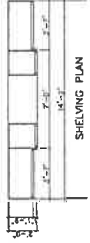
- 1 BRANCO RECTANGULAR WOOD BURNING FIREPIT MIT 44-1/2" X 36" X 20"
- 2 YORK PILAR CAP 26-3/8" DB-2/433
- 3 BRANCO BR. & 180 MM DOUBLE-SIDED WALL
- 4 BRANCO CAP 3-9/16" X 18" X 18"
- 5 MONTECELLO SLAB SEAT 7-1/4" X 20" X 20"
- 6 MONTECELLO SLAB SEAT BACK 2-1/4" X 20" X 20"
- 7 YORK COUNTERTOP 2-1/4" X 24" X 36"
- 8 BAC POST WITH CAP & BASE STANDARD
- 9 1/2" X 1/2" X 1/2" HERRINGBONE PAVEMENT
- 10 BRANCO EDGE SLATE TEXTURE 2-1/4" X 20" X 20" AT LOG STORAGE
- 11 8" X 10" BOX BEAM W/ 1" CLEAR DOUG. FR WOOD OVER 3" X 4"
- 12 (2) CABLE END CHAIR POST FRAMES W/ 3" X 8" MATTERS & 3" X 4"
- 13 (2) 3" X 8" ANTIQUE MATTERS 24" OC - ALL CLEAR DOUG. FR
- 14 EACH ROOM TO BE FINISHED TO MATCH EXISTING (2) COATS STAIN & (2) COATS DFT. SATIN URETHANE
- 15 3/4" TAG CEILING W/ (2) COATS STAIN & (2) COATS DFT. SATIN URETHANE
- 16 15 LI FELT & ROOF SHINGLES TO MATCH EXISTING AT HOUSE



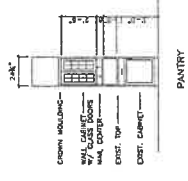
1 Living Room Built-in Elevation
 SCALE: 1/4" = 1'-0"



2 Built-in Base Cabinet Plan
 SCALE: 1/4" = 1'-0"



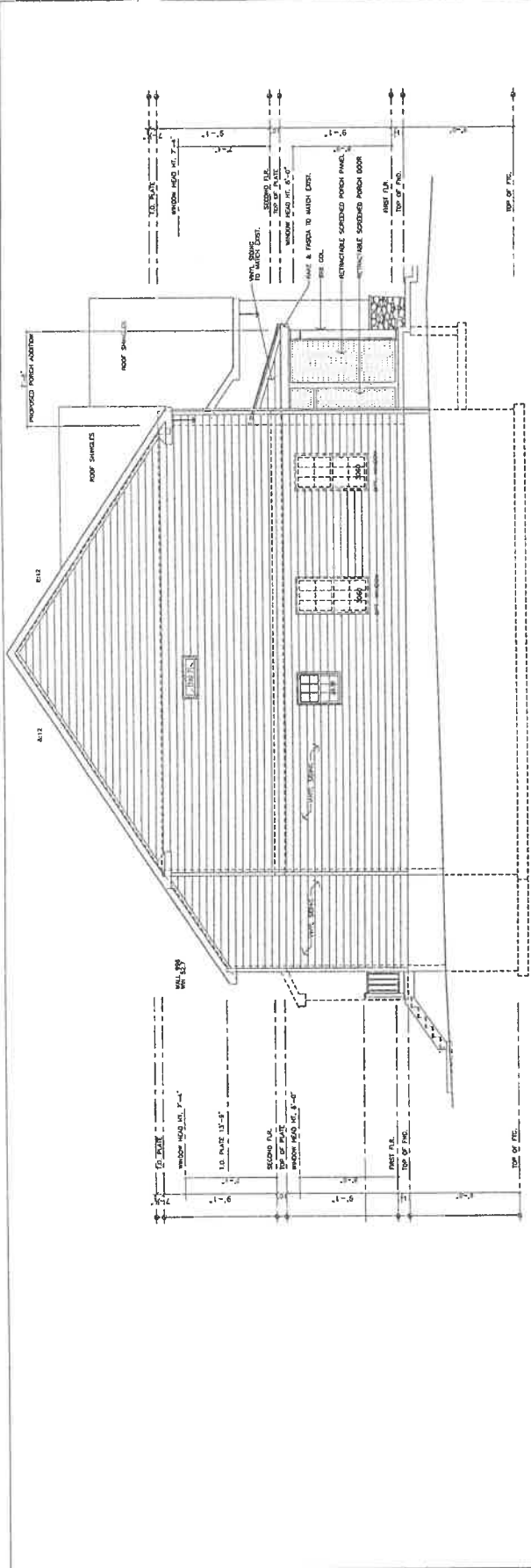
3 Built-in Shelving Plan
 SCALE: 1/4" = 1'-0"



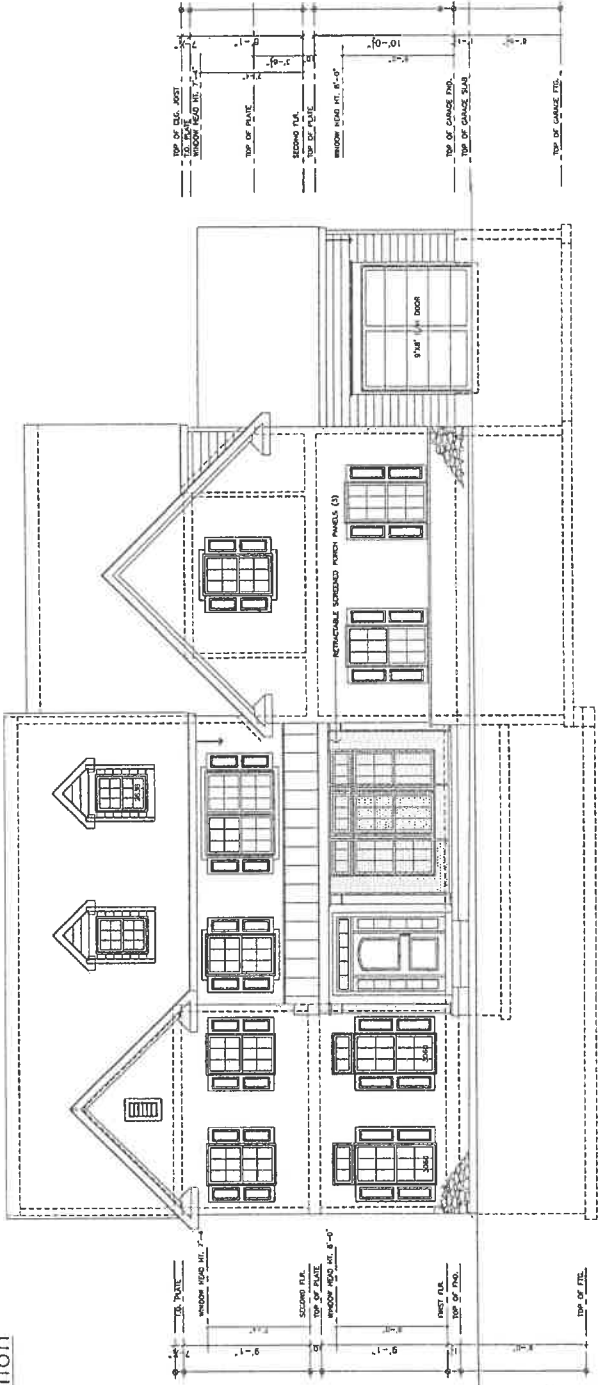
4 Built-in Shelving Plan
 SCALE: 1/4" = 1'-0"

1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

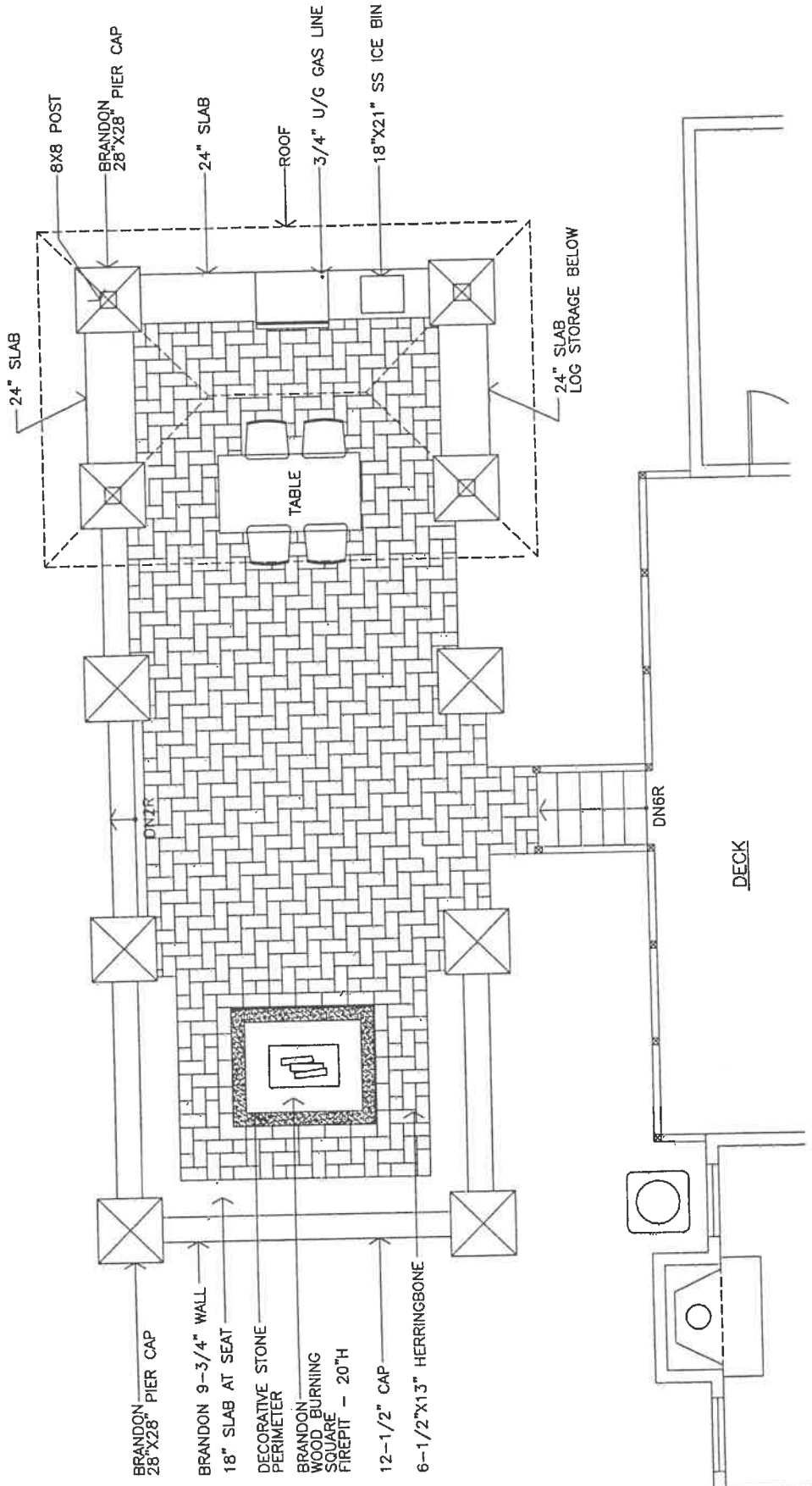
1. ROOMS TO BE FINISHED TO MATCH EXISTING (2) COATS STAIN & (2) COATS DFT. SATIN URETHANE
 2. ROOMS TO BE FINISHED TO MATCH EXISTING (2) COATS STAIN & (2) COATS DFT. SATIN URETHANE
 3. ROOMS TO BE FINISHED TO MATCH EXISTING (2) COATS STAIN & (2) COATS DFT. SATIN URETHANE



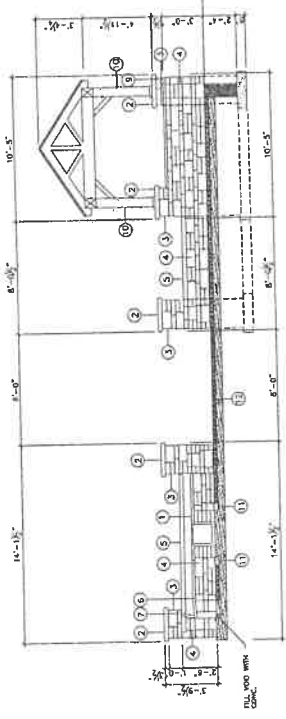
1 Left Side Elevation
 A-3 SCALE: 1/4" = 1'-0"



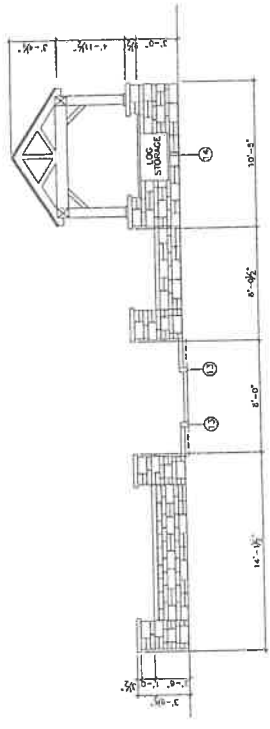
1 Front Elevation
 A-3 SCALE: 1/4" = 1'-0"



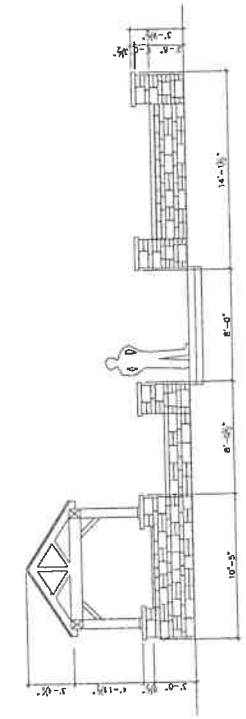
- LEGEND**
- 1 BRANDON RECTANGULAR WOOD BURNING FIREPIT 44-1/2" W x 56" L x 20" H
 - 2 YORK PILAR CAP 28-1/2" X 28-1/2" X 14-1/2" X 12-1/2"
 - 3 BRANDON PILLAR 24" X 24"
 - 4 BRANDON 90 & 180 MM DOUBLE-SIDED WALL
 - 5 BRANDON CAP 3-5/8" X 16-1/2"
 - 6 MONTICELLO SUB STONE 2-1/4" X 14-1/2" X 16"
 - 7 YORK SHIP PIERCE 2-1/4" X 12" X 58"
 - 8 BASE POST WITH CAP & BASE STAINED
 - 9 6" WIDE DECORATIVE STONE FIREPIT PERIMETER
 - 10 BLU SLATE TEXTURE 6-1/2" X 13" HERRINGBONE PATTERN
 - 11 BRANDON EDGE SLATE TEXTURE "C" 7-1/2" X 15-1/2" X 3-15/16" X 16-5/8"
 - 12 MONTICELLO SUB SLATE TEXTURE 2-1/4" X 20" X 20" AT LOG STORAGE



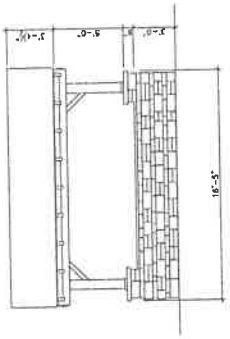
1 A-4 Section through Firepit
SCALE: 1/4" = 1'-0"



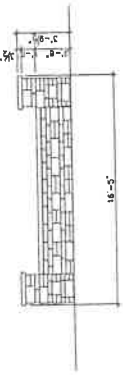
3 A-4 Front Elevation
SCALE: 1/4" = 1'-0"



5 A-4 Rear Elevation
SCALE: 1/4" = 1'-0"



6 A-4 Right Side Elevation
SCALE: 1/4" = 1'-0"



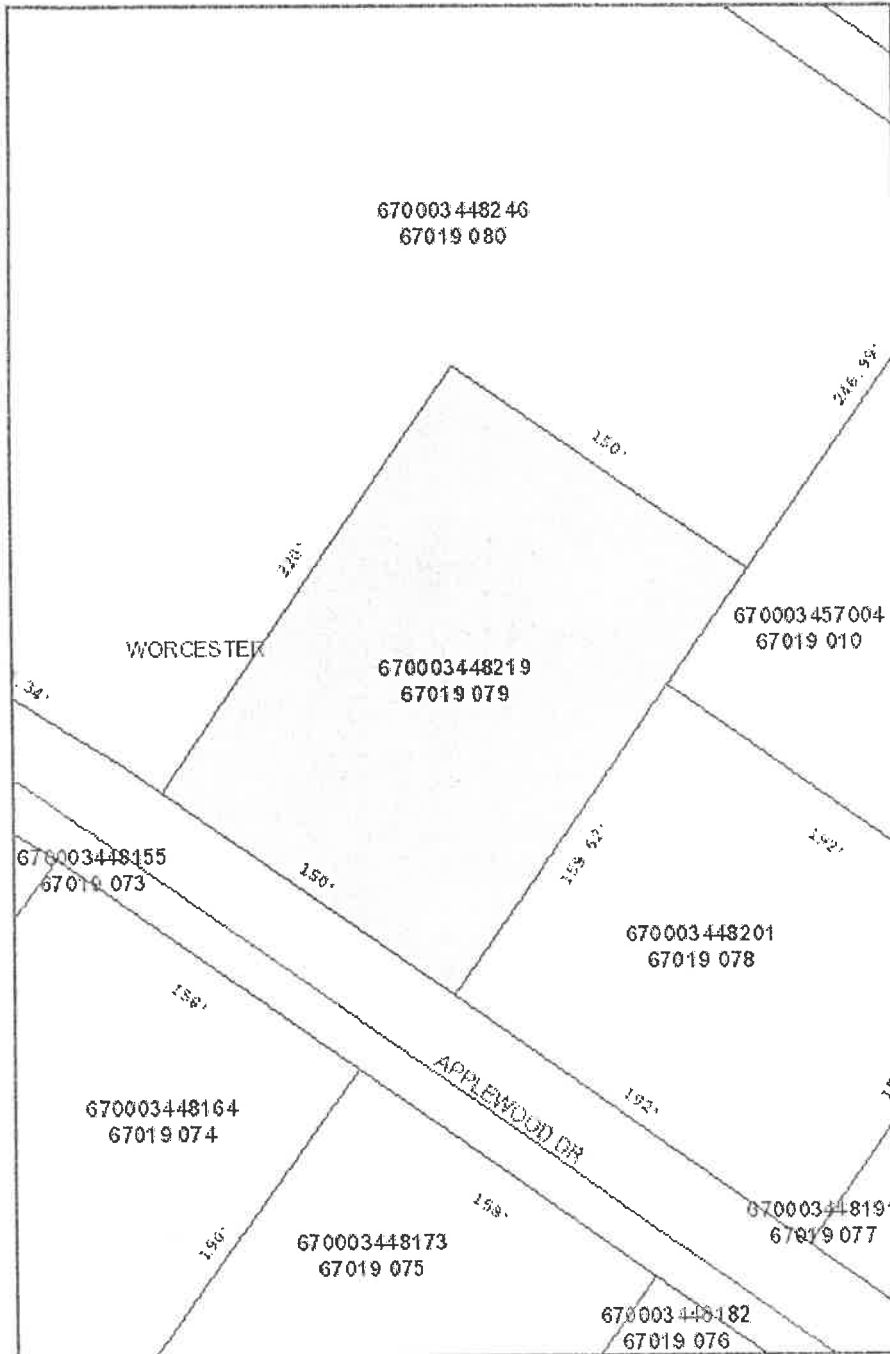
4 A-4 Left Side Elevation
SCALE: 1/4" = 1'-0"

EXHIBIT

“5”

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TRUST &

2705 APPLEWOOD DR



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