

**DRAFT MINUTES  
WORCESTER TOWNSHIP BOARD OF SUPERVISORS  
BUSINESS MEETING  
WORCESTER TOWNSHIP COMMUNITY HALL  
WEDNESDAY, DECEMBER 20, 2023- 7:00 PM**

**CALL TO ORDER**

**The meeting was called to order at 7:01PM.**

- **ANNOUNCEMENTS:**

- This meeting is being video recorded for broadcast
- The Board of Supervisors met on 12/13/2023 to discuss personnel.

**PLEDGE OF ALLEGIANCE**

**ATTENDANCE**

**INFORMATIONAL ITEMS**

The Township closed on the Griffith property. Many thanks to the solicitor's office and of course, the Griffith family.

**PUBLIC COMMENT**

John Pelusi of 1324 Dell Road commented concerning his property and the Valley Forge Road widening project. He provided the Board with photos of his property and read a letter to the Board.

Supervisor Betz offered his empathy for Mr. Pelusi's situation. Supervisor Quigley suggested Mr. Pelusi reach out to Rep. Bradford's office for advocacy. Chair DeLello shared his experience with advocacy requesting sound barriers.

**OFFICIAL ACTION ITEMS**

1. Consent agenda

Supervisor Betz motioned to approve the consent agenda, including monthly reports for November 2023, bill payments for November in the amount of \$403,785.49, and the November Business meeting minutes. Supervisor Quigley seconded the motion.

**There was no public comment. The motion passed unanimously.**

2. Motion - Waiver of Land Development

Chair DeLello shared that the applicant had withdrawn their request to be heard for his evening earlier that day.

3. Resolution Authorizing filing of Eminent Domain proceedings relative to a Right-of-Way and a Storm Water Management Facilities Easement on and along 1324 Dell Road.

*Meetings to be held at Worcester Township Community Hall, 1031 Valley Forge Road.*

The Township Solicitor was asked to summarize all three resolutions for 1324 Dell Road, 1330 Dell Road, and 1412 Valley Forge Road. She shared the Township had communicated with these property owners over the past year or more. Each property has a sliver of land required for the Right of Way and/or Storm Water Management Facilities Easements for the Valley Forge Corridor Improvement Project. The Board briefly discussed the funding for the design portion of the project, which was acquired through a state grant.

Supervisor Betz motioned to approve Resolution 2023-24, authorizing filing of Eminent Domain proceedings relative to a Right-of-Way and a Storm Water Management Facilities Easement on and along 1324 Dell Road. Supervisor Quigley seconded the motion. There was no public comment. The motion passed unanimously.

4. Resolution Authorizing filing of Eminent Domain proceedings relative to a Right-of-Way and a Storm Water Management Facilities Easement on and along 1330 Dell Road.

Supervisor Betz motioned to approve Resolution 2023-25, authorizing filing of Eminent Domain proceedings relative to a Right-of-Way and a Storm Water Management Facilities Easement on and along 1330 Dell Road. Supervisor Quigley seconded the motion. There was no public comment. The motion passed unanimously.

5. Resolution Authorizing filing of Eminent Domain proceedings relative to a Right-of-Way and a Temporary Construction and Access Easement on and along 1412 Valley Forge Road.

Supervisor Betz motioned to approve Resolution 2023-26, authorizing filing of Eminent Domain proceedings relative to a Right-of-Way and a Temporary Construction and Access Easement on and along 1412 Valley Forge Road. Supervisor Quigley seconded the motion, the motion carried unanimously.

6. 2024 Budget Adoption
  - The Board of Supervisors will vote on adopting the 2024 Budget.

Bob Andorn of Valley Forge Road asked about discrepancies in figures forecasting interest revenue. It was later determined the Board Packets included old budget information; however, the correct information was posted online and in the public meeting packet. The Township manager apologized for the oversight.

Chair DeLello thanked Mr. Andorn for his comment. Chair DeLello offered that the budget process has been ongoing for several months, and this evening's vote was to finalize the numbers for 2024 and advertise them in accordance with the Second-Class Township Code.

Supervisor Quigley motioned to adopt the 2024 Budget, as posted to the Township Website. Supervisor Betz seconded the motion. There was no public comment. The motion passed unanimously.

## **OTHER BUSINESS**

*Meetings to be held at Worcester Township Community Hall, 1031 Valley Forge Road.*

Supervisor Betz asked about printing of public materials for meetings. Chair DeLello shared the Friday prior to each Board meeting, information is posted to the Township website for public review.

Supervisor Betz requested any new volunteer appointments be vetted by the Board of Supervisors and be provided with resumes. The Board discussed those parameters and shared that new applicants have submitted applications with background information.

Supervisor Betz advocated for the Board of Supervisors to conduct final interviews of any new Township staff hired to the administration building. Supervisor Betz expressed concerns about unnamed personnel acting inappropriately and advocated for changes to the personnel handbook. Chair DeLello offered that – per Township Code – the Board of Supervisors is not involved in hiring staff.

Chair DeLello shared his belief that the 7:00PM meeting times were helpful, but he is concerned that some Work Sessions could be successfully held in thirty minutes. He suggested revisiting that start time if it becomes problematic.

Chair DeLello offered that a firmer scheduling of Work Sessions would be a good way to keep cadence with several efforts. The Township manager was asked to assemble a list. He asked his fellow Board members to consider important topics for discussion.

## **PUBLIC COMMENT**

Bob Andorn offered public comment.

## **ADJOURNMENT**

**The meeting was adjourned at 8:33PM**

### UPCOMING MEETINGS

Planning Commission – January 19, 2023 (7:30 PM)

Zoning Hearing Board – January 9, 2023 (6:00 PM)

Board of Supervisors – January 2, 2024 (Re-Organizational meeting @ 7:00 PM)

Board of Supervisors – January 15, 2024 (Work Session, 6:30 PM)

Board of Supervisors – January 15, 2024 (Business Meeting @ 7:00PM)

**DRAFT MEETING MINUTES  
WORCESTER TOWNSHIP BOARD OF SUPERVISORS  
REORGANIZATION MEETING  
WORCESTER TOWNSHIP COMMUNITY HALL  
JANUARY 2, 2024 - 7:00 PM**

**CALL TO ORDER**

Chair DeLello called the meeting to order at 7:02PM.

**PLEDGE OF ALLEGIANCE**

**ATTENDANCE**

**INFORMATIONAL ITEMS**

The Township manager shared the meeting was being recorded for future video broadcast.

**PUBLIC COMMENT**

- A five minute per person limit for any items not listed on this agenda for official action.

**OFFICIAL ACTION ITEMS**

a) Temporary Chair

Supervisor Quigley motioned to nominate Rick DeLello as Temporary Chair. Supervisor Betz seconded the motion. There was no public comment. The motion carried unanimously.

b) Temporary Secretary

Supervisor Betz motioned to nominate Supervisor Quigley as Temporary Secretary. Supervisor DeLello seconded. There was no public comment. The motion carried unanimously.

c) Chair to the Board of Supervisors

Supervisor Quigley motioned to nominate Supervisor DeLello as Board Chair. Supervisor Betz seconded the motion. There was no public comment. The motion carried unanimously.

d) Vice Chair to the Board of Supervisors

Supervisor Quigley motioned to nominate Supervisor Betz as Board Vice-Chair. Supervisor DeLello seconded the motion. There was no public comment. The motion passed unanimously.

e) official appointments: (see below)

Chair DeLello noted that Supervisor Quigley was filling roles traditionally filled by the vacant Assistant Township manager. He shared the duties would be reassigned when the position was filled.



Supervisor Betz motioned to appoint officials as outlined in the Township managers memo dated December 29, 2023, (positions noted below).

- A motion to appoint official positions.
  - a. Township Manager, Sean Halbom
  - b. Assistant Township Manager, Vacant
  - c. Finance Director, Nicole Quagliariello
  - d. Public Works Director, Robert D’Hulster
  - e. Secretary, Sean Halbom
  - f. Assistant Secretary, Stephen Quigley
  - g. Treasurer, Nicole Quagliariello
  - h. Assistant Treasurer, Stephen Quigley
  - i. Right-To-Know Officer, Sean Halbom
  - j. Pension Plan Administrative Officer, Sean Halbom
  - k. Zoning Officer, Sean Halbom
  - l. Assistant Zoning Officer, CKS, Inc.
  - m. Fire Marshal, Andrew Raquet
  - n. Emergency Management Coordinator, John Kelly
  - o. Deputy Emergency Management Coordinator, Brian Newhall
  - p. Building Code Official, Keystone Municipal Services, Inc.
  - q. Township Engineer, CKS, Inc.
  - r. Township Traffic Engineer, McMahon Associates
  - s. Township Solicitor, Robert L. Brant & Associates
  - t. Township Open Space Consultants, Natural Lands
  - u. PSATS Convention Delegate, Rick DeLello
  - v. PSATS Convention Delegate, Lou Betz
  - w. PSATS Convention Delegate, Stephen Quigley
  - x. PSATS Convention Voting Delegate, Stephen Quigley
  - y. Delegate, Montgomery County Tax Collection Committee, Sean Halbom
  - z. Alternate Delegate, Montgomery County Tax Collection Committee, Stephen Quigley
  - aa. Alternate Delegate, Montgomery County Tax Collection Committee, Nicole Quagliariello
  - bb. Deputy Tax Collector, Laurie Augustine

Supervisor Quigley seconded the motion. There was no public comment. The motion passed unanimously.

- f) volunteer appointments, standing positions.

Chair DeLello summarized the duties of the Vacancy Board, which assists with the appointment of individuals to fill Board vacancies. Supervisor Betz motioned to approve the appointment of Dr. Jim Mollick. Supervisor Quigley seconded the motion.

Kim David offered public comment suggesting new individuals be considered for appointment. He suggested Bert Hynes. Supervisor Betz encouraged all interested applicants to submit their candidacy for review ahead of time.

Rick DeLello voted in favor of the motion; the motion passed unanimously.

Zoning Hearing Board – Michael Libor, Esq. (Term Expiring 12/31/2023), Bradford Smith (Alternate Member, Term expiring 12/31/2023) both Brad and Michael are seeking reappointment.

Supervisor Quigley voiced support for the reappointment of Mr. Smith and Mr. Libor given the ongoing litigation in the Zoning Hearing Board and motioned for their reappointment. Chair DeLello echoed his comments and seconded the motion. There was no public comment. Supervisor Betz complimented the Zoning Hearing Board members for their hard work and professionalism. By unanimous motion, Mr. Smith and Mr. Libor were reappointed to the Zoning Hearing Board.

Supervisor Betz motioned to reappoint members Bob Andorn and Tony Sherr to the Planning Commission. Supervisor Quigley seconded the motion. There was no public comment. The motion passed unanimously.

g) holiday and meeting schedules

The Township manager summarized the holiday schedule for 2024 and the Board of Supervisors meeting dates. Board meetings will be held on the third Wednesday of each month, with Business meetings taking place at 7:00PM and Work Sessions to begin at 6:30PM. Holiday closures include:

- i. Presidents' Day (February 19, 2024)
- ii. Memorial Day (May 27, 2024)
- iii. Independence Day (July 4, 2024)
- iv. Labor Day (September 2, 2024)
- v. Thanksgiving Day (November 28, 2024)
- vi. the day after Thanksgiving (November 29, 2024)
- vii. Christmas Eve Day\* (December 24, 2024)
- viii. Christmas Day (December 25, 2024)
- ix. New Year's Eve Day\* (December 31)
- x. New Year's Day, (January 1, 2025)

Supervisor Betz motioned to approve the holiday and meeting schedules as presented. Supervisor Quigley seconded the motion. There was no public comment. The motion passed unanimously.

h) other establishments

- A motion to set Township depositories, Treasurer and Assistant Treasurer bond amounts, vehicle reimbursement rate, and the newspaper of record.

The Township manager summarized the Township has not changed any financial institutions and that bond amounts for the Treasurer, Assistant Treasurer, and Manger remain the same. He shared the Newspaper of record remained the Norristown Times Herald, the IRS mileage rate would continue to be used by Worcester Township for reimbursement.

Supervisor Betz motioned to approve of the Township depositories, bond amounts, vehicle reimbursement rate, and newspaper of record, as presented. Supervisor Quigley seconded the motion. The motion carried unanimously.

i) Resolution 2024-01

- A resolution to authorize certain activities conducted by the Worcester Township Volunteer Fire Department.

Chair DeLello summarized the motion which authorized the regular activities planned by the Fire Department for the Year. Supervisor Betz motioned to approve Resolution 2024-01; Supervisor Quigley seconded. There was no public comment. The motion carried unanimously.

j) Resolution 2024-02

- A resolution to establish a fee schedule.

The Township manager summarized the Fee Schedule and shared the fees will not change this year. He shared the Fee schedule would be reviewed this year with the Township's Code Inspection contractor.

Supervisor Betz motioned to approve Resolution 2024-02; Supervisor Quigley seconded the motion. There was no public comment. The motion carried unanimously.

k) Resolution 2024-03

- A resolution to appoint the Township Auditor.

The Township manager shared that Bee, Bergvall, & Co. has again been identified as the Auditor. He shared that he had confirmed that new staff would be conducting the audit to ensure fresh eyes.

Supervisor Betz motioned to approve Resolution 2023-03; Supervisor Quigley seconded the motion. There was no public comment. The motion carried unanimously.

l) Resolution 2024-04

- A resolution to authorize the destruction of certain public records in accordance with Act 428 of 1968 and the *Municipal Records Manual*.

The Township manager summarized the resolution, which keeps the Township in compliance with the Municipal Records Manual, which makes recommendations for the retention length of specific records and documents. This ensures municipalities are aware of what records they do and do not have when receiving requests from the public.

Supervisor Betz motioned to approve Resolution 2024-04. Supervisor Quigley seconded the motion. There was no public comment. The motion carried unanimously.

m) Resolution 2024-05

- A resolution to establish emergency service response areas.

The Township manager provided background information about EMS coverage in the Township, which is serviced by multiple EMS departments. The Board discussed the issues with fundraising and subscription services with EMS providers. The Township manager explained that not all EMS providers will recognize each other's subscriptions, and that dispatching of EMS services is handled on an emergency basis. He reported that he has contacted Montgomery County to advocate for assistance with the matter.

Supervisor Betz motioned to pass Resolution 2024-05, Supervisor Quigley seconded the motion. There was no public comment. The motion passed unanimously.

## **OTHER BUSINESS**

Chair DeLello shared that the two School Board Liaisons were identified, and asked if the Board would be interested in extended an open invitation to attend a Board of Supervisors meeting. The Board agreed and the Township manager was asked to reach out to the Superintendent to relay the message.

Supervisor Quigley asked to return to Resolution 2024-04, Records Destruction. He called attention to line AL-24, which relates to Board meeting videos. He motioned not to destroy those records in the interest of keeping a permanent record.

Chair DeLello motioned to exclude line AL-24 from Resolution 2024-04 to exclude the destruction of meeting videos, Supervisor Quigley seconded the motion. The motion passed unanimously.

## **PUBLIC COMMENT**

Mr. Kim David thanked the Board for their efforts purchasing open space in 2023.

## **ADJOURNMENT**

The meeting was adjourned at 7:42PM.

### UPCOMING MEETINGS

Board of Auditors, Reorganization Meeting *	Wednesday, January 4	8:30 AM
Board of Supervisors, Business Meeting	Wednesday, January 18	7:30 PM
Zoning Hearing Board Meeting	Tuesday, January 24 <sup>th</sup>	6:30 PM
Planning Commission Meeting	Thursday, January 26 <sup>th</sup>	7:00 PM

*\* Meeting to be held at the Township Building, 1721 Valley Forge Road.*

TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures - Standard

Revenue Account Range: First to Last  
Expend Account Range: First to Last  
Print Zero YTD Activity: No

Include Non-Anticipated: Yes  
Include Non-Budget: No  
Year To Date As Of: 12/31/23  
Current Period: 12/01/23 to 12/31/23  
Prior Year: Thru 12/31/22

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-301-100-000	Property Taxes- Current	48,424.44	44,450.00	72.72	50,576.05	6,126.05	114
001-301-500-000	Property Taxes- Liened	594.13	500.00	5.24	785.07	285.07	157
001-301-600-000	Property Taxes- Interim	851.50	200.00	109.68	872.82	672.82	436
	<b>301 Total</b>	<b>49,870.07</b>	<b>45,150.00</b>	<b>187.64</b>	<b>52,233.94</b>	<b>7,083.94</b>	<b>115</b>
001-310-030-000	Per Capita Taxes- Delinquent	123.20	120.00	16.50	113.30	6.70 -	94
001-310-100-000	Real Estate Transfer Taxes	956,418.96	250,000.00	53,328.13	673,784.13	423,784.13	270
001-310-210-000	Earned Income Taxes	3,323,826.17	3,075,000.00	129,673.59	2,900,161.71	174,838.29 -	94
001-310-220-000	Earned Income Taxes- Prior Year	0.00	25.00	0.00	0.00	25.00 -	0
	<b>310 Total</b>	<b>4,280,368.33</b>	<b>3,325,145.00</b>	<b>183,018.22</b>	<b>3,574,059.14</b>	<b>248,914.14</b>	<b>107</b>
001-321-800-000	Franchise Fees	212,419.34	208,000.00	0.00	157,333.92	50,666.08 -	76
001-322-820-000	Road Opening Permits	495.00	300.00	53.00	901.00	601.00	300
001-322-900-000	Sign Permits	172.50	100.00	0.00	167.50	67.50	168
001-322-920-000	Solicitation Permits	182.50	500.00	0.00	532.00	32.00	106
	<b>322 Total</b>	<b>850.00</b>	<b>900.00</b>	<b>53.00</b>	<b>1,600.50</b>	<b>700.50</b>	<b>177</b>
001-331-120-000	Ordinance Violations	3,569.56	1,600.00	0.00	2,492.14	892.14	156
001-341-000-000	Interest Earnings	3,651.17	500.00	2,321.83	17,168.98	16,668.98	***
001-342-000-000	Rents & Royalties	18,347.17	20,558.14	1,721.51	22,627.62	2,069.48	110
001-342-120-000	Cell Tower Rental	192,796.18	181,824.00	9,266.69	178,718.64	3,105.36 -	98
	<b>342 Rents &amp; Royalties</b>	<b>211,143.35</b>	<b>202,382.14</b>	<b>10,988.20</b>	<b>201,346.26</b>	<b>1,035.88 -</b>	<b>99</b>
001-354-090-000	Grants	3,583.00	0.00	0.00	150,000.00	150,000.00	0
001-354-120-000	Emergency Relief- PEMA	73,188.97	0.00	0.00	0.00	0.00	0

TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
<b>354 Total</b>		<b>76,771.97</b>	<b>0.00</b>	<b>0.00</b>	<b>150,000.00</b>	<b>150,000.00</b>	<b>0</b>
001-355-010-000	Public Utility Realty Tax	3,583.06	3,583.06	0.00	3,384.33	198.73 -	94
001-355-040-000	Alcohol License Fees	600.00	600.00	0.00	600.00	0.00	100
001-355-050-000	General Municipal Pension State Aid	45,300.21	45,300.21	0.00	45,040.40	259.81 -	99
001-355-070-000	Volunteer Fire Relief Association	102,103.80	102,103.80	0.00	102,451.40	347.60	100
<b>355 Total</b>		<b>151,587.07</b>	<b>151,587.07</b>	<b>0.00</b>	<b>151,476.13</b>	<b>110.94 -</b>	<b>99</b>
001-361-300-000	Land Development Fees	30,550.00	3,000.00	750.00	750.00	2,250.00 -	25
001-361-330-000	Conditional Use Fees	1,000.00	900.00	0.00	1,000.00	100.00	111
001-361-340-000	Zoning Hearing Board Fees	19,105.00	14,450.00	0.00	15,300.00	850.00	106
001-361-500-000	Map And Publication Sales	7.00	5.00	0.00	0.00	5.00 -	0
<b>361 Total</b>		<b>50,662.00</b>	<b>18,355.00</b>	<b>750.00</b>	<b>17,050.00</b>	<b>1,305.00 -</b>	<b>92</b>
001-362-410-000	Building Permit Fees	282,900.36	75,000.00	3,382.19	114,654.08	39,654.08	153
001-362-420-000	Zoning Permit Fees	45,952.50	19,500.00	477.00	22,797.00	3,297.00	117
001-362-450-000	Commercial U&O Fees	800.00	200.00	0.00	400.00	200.00	200
001-362-460-000	Driveway Permit Fees	5,407.50	500.00	0.00	1,147.00	647.00	229
<b>362 Total</b>		<b>335,060.36</b>	<b>95,200.00</b>	<b>3,859.19</b>	<b>138,998.08</b>	<b>43,798.08</b>	<b>146</b>
001-367-400-000	PRPS Ticket Sales	28.50	0.00	0.00	0.00	0.00	0
001-367-408-000	Sports & Lesson Fees	4,486.07	3,400.00	0.00	1,903.00	1,497.00 -	56
001-367-420-000	Park Miscellaneous	12,482.50	13,300.00	0.00	13,019.75	280.25 -	98
<b>367 Total</b>		<b>16,997.07</b>	<b>16,700.00</b>	<b>0.00</b>	<b>14,922.75</b>	<b>1,777.25 -</b>	<b>89</b>
001-381-000-000	Miscellaneous Income	13,676.41	1,000.00	25,893.28	125,594.38	124,594.38	***
001-381-001-000	Service Charge Fees	357.82	225.00	7.40	312.59	87.59	139
<b>381 Miscellaneous Income</b>		<b>14,034.23</b>	<b>1,225.00</b>	<b>25,900.68</b>	<b>125,906.97</b>	<b>124,681.97</b>	<b>***</b>



TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-383-200-000	Escrow Administration	550.00	880.00	0.00	1,320.00	440.00	150
001-395-000-000	Refund of Prior Year Expenditures	21,032.50	0.00	0.00	19,060.24 -	19,060.24 -	0
	<b>Fund 001 Revenue Totals</b>	<b>5,428,567.02</b>	<b>4,067,624.21</b>	<b>227,078.76</b>	<b>4,586,848.57</b>	<b>519,224.36</b>	<b>112</b>
Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-400-000-000	LEGISLATIVE BODY:	0.00	0.00	0.00	0.00	0.00	0
001-400-110-000	Legislative- Payroll	7,500.00	7,500.00	570.00	7,500.00	0.00	100
001-400-150-000	Legislative- Benefits	26,788.91	33,136.74	1,895.93	27,854.18	5,282.56	84
001-400-312-000	Legislative- Consultant Services	36,267.25	20,500.00	1,875.00	36,687.50	16,187.50 -	179
001-400-337-000	Legislative- Mileage Reimbursement	0.00	400.00	0.00	0.00	400.00	0
001-400-420-000	Legislative- Dues & Subscriptions	800.00	4,495.00	2,810.00	5,776.00	1,281.00 -	128
001-400-460-000	Legislative- Meetings & Seminars	3,444.12	5,000.00	0.00	3,480.49	1,519.51	70
	<b>400 LEGISLATIVE BODY:</b>	<b>74,800.28</b>	<b>71,031.74</b>	<b>7,150.93</b>	<b>81,298.17</b>	<b>10,266.43 -</b>	<b>114</b>
001-401-000-000	MANAGER:	0.00	0.00	0.00	0.00	0.00	0
001-401-120-000	Management- Payroll	193,261.71	246,750.00	13,769.10	208,096.00	38,654.00	84
001-401-150-000	Management- Benefits	56,522.81	48,162.33	3,517.32	51,246.62	3,084.29 -	106
001-401-312-000	Management- Consultant Services	5,480.00	11,700.00	0.00	0.00	11,700.00	0
001-401-321-000	Management- Mobile Phone	914.06	900.00	106.97	1,348.58	448.58 -	150
001-401-337-000	Management- Mileage Reimbursement	4,271.27	5,040.00	400.00	5,362.42	322.42 -	106
001-401-460-000	Management- Meetings & Seminars	2,412.99	3,160.00	767.00	7,218.53	4,058.53 -	228
	<b>401 MANAGER:</b>	<b>262,862.84</b>	<b>315,712.33</b>	<b>18,560.39</b>	<b>273,272.15</b>	<b>42,440.18</b>	<b>87</b>
001-402-000-000	FINANCIAL ADMINISTRATION:	0.00	0.00	0.00	0.00	0.00	0
001-402-120-000	Finance- Payroll	71,178.02	79,863.00	6,538.46	83,244.77	3,381.77 -	104
001-402-150-000	Finance- Benefits	34,851.11	41,823.15	2,014.42	40,848.33	974.82	98
001-402-321-000	Finance- Mobile Phone	300.00	300.00	25.00	225.00	75.00	75
001-402-337-000	Finance- Mileage Reimbursement	324.87	250.00	63.80	234.63	15.37	94

TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-402-460-000	Finance- Meeting & Seminars	0.00	700.00	0.00	115.00	585.00	16
	<b>402 FINANCIAL ADMINISTRATION:</b>	<b>106,654.00</b>	<b>122,936.15</b>	<b>8,641.68</b>	<b>124,667.73</b>	<b>1,731.58 -</b>	<b>101</b>
001-403-000-000	TAX COLLECTION:	0.00	0.00	0.00	0.00	0.00	0
001-403-110-000	Tax Collection- Payroll	2,210.06	2,257.50	0.00	2,780.70	523.20 -	123
001-403-150-000	Tax Collection- Benefits	169.07	123.52	0.00	212.72	89.20 -	172
001-403-210-000	Tax Collection- Office Supplies	4,740.84	5,250.00	0.00	5,544.29	294.29 -	106
001-403-310-000	Tax Collection- Professional Services	35,783.44	33,825.28	1,218.42	36,912.34	3,087.06 -	109
	<b>403 TAX COLLECTION:</b>	<b>42,903.41</b>	<b>41,456.30</b>	<b>1,218.42</b>	<b>45,450.05</b>	<b>3,993.75 -</b>	<b>110</b>
001-404-000-000	LEGAL SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-404-310-000	Legal- General Services	280,638.51	157,263.50	19,505.75	264,280.68	107,017.18 -	168
001-404-320-000	Legal- RTK Services	3,320.50	12,000.00	0.00	0.00	12,000.00	0
	<b>404 LEGAL SERVICES:</b>	<b>283,959.01</b>	<b>169,263.50</b>	<b>19,505.75</b>	<b>264,280.68</b>	<b>95,017.18 -</b>	<b>156</b>
001-405-000-000	CLERICAL:	0.00	0.00	0.00	0.00	0.00	0
001-405-140-000	Clerical- Payroll	54,177.26	125,541.15	7,160.00	75,734.00	49,807.15	60
001-405-150-000	Clerical- Benefits	15,162.79	31,972.93	1,458.01	23,223.42	8,749.51	73
001-405-210-000	Clerical- Office Supplies	6,507.15	6,700.00	659.57	4,597.56	2,102.44	69
001-405-310-000	Payroll Services	15,809.13	20,439.00	937.81	12,077.80	8,361.20	59
001-405-321-000	Clerical- Telephone	3,713.41	4,773.00	282.68	4,139.02	633.98	87
001-405-325-000	Clerical- Postage	5,173.45	5,575.00	291.47	4,034.48	1,540.52	72
001-405-337-000	Clerical- Mileage Reimbursement	0.00	240.00	0.00	0.00	240.00	0
001-405-340-000	Clerical- Advertisement	6,361.76	6,300.00	170.15	3,319.32	2,980.68	53
001-405-460-000	Clerical- Meetings & Seminars	296.80	1,840.00	0.00	0.00	1,840.00	0
001-405-465-000	Clerical- Computer Expense	67,785.78	74,210.00	7,640.47	60,717.41	13,492.59	82
001-405-470-000	Clerical- Other Expense	7,452.72	7,260.00	1,338.90	10,604.88	3,344.88 -	146
	<b>405 CLERICAL:</b>	<b>182,440.25</b>	<b>284,851.08</b>	<b>19,939.06</b>	<b>198,447.89</b>	<b>86,403.19</b>	<b>70</b>



TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-408-000-000	ENGINEERING SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-408-310-000	Engineering Services	25,592.88	32,250.00	3,999.58	59,402.58	27,152.58 -	184
001-409-000-000	GOVERNMENT BUILDINGS & PLANT:	0.00	0.00	0.00	0.00	0.00	0
001-409-136-000	Administration- Utilities	8,538.51	10,524.00	191.35	9,373.72	1,150.28	89
001-409-137-000	Administration- Maintenance & Repairs	14,260.67	18,444.00	971.83	12,906.12	5,537.88	70
001-409-142-000	Administration- Alarm Service	3,448.11	4,188.00	235.58	3,276.68	911.32	78
001-409-147-000	Administration- Other Expenses	2,034.72	2,400.00	0.00	992.61	1,407.39	41
001-409-236-000	Garage- Utilities	14,213.11	15,300.00	3,204.76	13,606.13	1,693.87	89
001-409-237-000	Garage- Maintenance & Repairs	10,532.65	11,904.00	1,232.45	9,785.47	2,118.53	82
001-409-242-000	Garage- Alarm Service	1,643.08	2,664.00	151.29	1,742.45	921.55	65
001-409-247-000	Garage- Other Expenses	1,912.65	1,620.00	0.00	1,124.88	495.12	69
001-409-436-000	Community Hall- Utilities	7,074.03	6,060.00	1,096.37	6,971.62	911.62 -	115
001-409-437-000	Community Hall- Maintenance & Repairs	7,568.32	6,576.00	336.57	5,282.26	1,293.74	80
001-409-447-000	Community Hall- Other Expenses	40.94	660.00	66.24	122.24	537.76	19
001-409-536-000	Historical Bldg- Utilities	6,890.54	4,952.50	43.55	3,006.67	1,945.83	61
001-409-537-000	Historical Bldg- Maintenance & Repairs	94.91	1,848.00	0.00	134.98	1,713.02	7
001-409-636-000	Hollow Rd Rental- Utilities	0.00	250.00	0.00	0.00	250.00	0
001-409-637-000	Hollow Rd Rental- Maintenance & Repairs	7,890.00	4,248.00	0.00	0.00	4,248.00	0
001-409-737-000	Springhouse- Maintenance & Repairs	0.00	1,000.00	0.00	0.00	1,000.00	0
001-409-836-000	Dutchy Church- Utilities	0.00	0.00	40.21	117.37	117.37 -	0
	<b>409 GOVERNMENT BUILDINGS &amp; PLANT:</b>	<b>86,142.24</b>	<b>92,638.50</b>	<b>7,570.20</b>	<b>68,443.20</b>	<b>24,195.30</b>	<b>74</b>
001-411-000-000	FIRE:	0.00	0.00	0.00	0.00	0.00	0
001-411-380-000	Fire Protection- Hydrant Rentals	29,300.65	29,565.00	961.29	4,533.13	25,031.87	15
001-411-540-000	Fire Protection- WVFD Contributions	378,254.22	386,704.80	8,000.00	386,352.40	352.40	100
	<b>411 FIRE:</b>	<b>407,554.87</b>	<b>416,269.80</b>	<b>8,961.29</b>	<b>390,885.53</b>	<b>25,384.27</b>	<b>94</b>
001-413-000-000	UCC & CODE ENFORCEMENT:	0.00	0.00	0.00	0.00	0.00	0

TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-413-110-000	Fire Marshal- Payroll	3,224.91	20,475.00	450.00	8,115.00	12,360.00	40
001-413-110-150	Fire Marshal- Benefits	2,462.59	6,008.39	444.10	5,061.48	946.91	84
001-413-140-000	Code Enforcement- Payroll	29,121.38	44,732.10	0.00	0.00	44,732.10	0
001-413-150-000	Code Enforcement- Benefits	13,213.98	17,076.29	0.00	0.00	17,076.29	0
001-413-210-000	Code Enforcement- Supplies	9,664.18	3,505.00	0.00	1,195.00	2,310.00	34
001-413-312-000	Code Enforcement- Consultant Services	86,552.50	78,277.04	3,790.00	58,429.00	19,848.04	75
001-413-321-000	Code Enforcement- Mobile Phone	220.46	300.00	27.53	262.86	37.14	88
001-413-337-000	Code Enforcement- Mileage Reimbursement	469.20	1,020.00	0.00	0.00	1,020.00	0
001-413-460-000	Code Enforcement- Meetings & Seminars	238.24	600.00	0.00	0.00	600.00	0
	<b>413 UCC &amp; CODE ENFORCEMENT:</b>	<b>145,167.44</b>	<b>171,993.82</b>	<b>4,711.63</b>	<b>73,063.34</b>	<b>98,930.48</b>	<b>42</b>
001-414-000-000	PLANNING & ZONING:	0.00	0.00	0.00	0.00	0.00	0
001-414-140-000	Zoning- Payroll	2,650.00	4,000.00	200.00	2,400.00	1,600.00	60
001-414-150-000	Zoning- Benefits	202.89	306.40	15.32	183.75	122.65	60
001-414-310-000	Zoning- Professional Services	17,697.00	8,500.00	1,217.00	14,114.00	5,614.00 -	166
001-414-313-000	Zoning- Engineering	0.00	1,500.00	0.00	0.00	1,500.00	0
001-414-314-000	Zoning- Legal	37,025.00	32,300.00	0.00	34,326.12	2,026.12 -	106
001-414-315-000	Zoning- Conditional Use	1,320.00	8,700.00	0.00	0.00	8,700.00	0
001-414-341-000	Zoning- Advertisement	4,047.41	4,275.00	434.73	4,063.25	211.75	95
001-414-460-000	Zoning- Meetings & Seminars	0.00	200.00	0.00	0.00	200.00	0
	<b>414 PLANNING &amp; ZONING:</b>	<b>62,942.30</b>	<b>59,781.40</b>	<b>1,867.05</b>	<b>55,087.12</b>	<b>4,694.28</b>	<b>92</b>
001-419-000-000	OTHER PUBLIC SAFETY:	0.00	0.00	0.00	0.00	0.00	0
001-419-242-000	PA One Call	1,384.95	2,580.00	337.28	2,523.42	56.58	98
001-430-000-000	PUBLIC WORKS - ADMIN:	0.00	0.00	0.00	0.00	0.00	0
001-430-140-000	Public Works- Payroll	484,064.02	583,804.74	36,974.65	507,620.52	76,184.22	87
001-430-150-000	Public Works- Benefits	276,955.37	295,325.06	17,465.58	264,482.47	30,842.59	90
001-430-238-000	Public Works- Uniforms	8,025.40	10,599.00	764.60	7,741.81	2,857.19	73

**TOWNSHIP OF WORCESTER**  
Statement of Revenue and Expenditures

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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-430-326-000	Public Works- Mobile phones	1,046.04	1,452.00	42.24	596.30	855.70	41
001-430-460-000	Public Works- Meetings & Seminars	280.00	1,700.00	137.34	270.00	1,430.00	16
001-430-470-000	Public Works- Other Expenses	2,172.69	1,465.00	120.00	1,977.00	512.00 -	135
	<b>430 PUBLIC WORKS - ADMIN:</b>	<b>772,543.52</b>	<b>894,345.80</b>	<b>55,504.41</b>	<b>782,688.10</b>	<b>111,657.70</b>	<b>88</b>
001-432-000-000	WINTER MAINTENANCE- SNOW REMOVAL:	0.00	0.00	0.00	0.00	0.00	0
001-432-200-000	Snow Removal- Materials	22,792.43	42,500.00	0.00	9,194.96	33,305.04	22
001-432-450-000	Snow Removal- Contractor	0.00	1,500.00	0.00	0.00	1,500.00	0
	<b>432 WINTER MAINTENANCE- SNOW REMOVA</b>	<b>22,792.43</b>	<b>44,000.00</b>	<b>0.00</b>	<b>9,194.96</b>	<b>34,805.04</b>	<b>21</b>
001-433-000-000	TRAFFIC CONTROL DEVICES:	0.00	0.00	0.00	0.00	0.00	0
001-433-313-000	Traffic Signal- Engineering	1,330.00	5,000.00	195.00	4,051.02	948.98	81
001-433-361-000	Traffic Signal- Electricity	3,965.33	3,540.00	373.72	4,144.01	604.01 -	117
001-433-374-000	Traffic Signal- Maintenance	8,649.67	11,400.00	2,644.07	11,636.14	236.14 -	102
	<b>433 TRAFFIC CONTROL DEVICES:</b>	<b>13,945.00</b>	<b>19,940.00</b>	<b>3,212.79</b>	<b>19,831.17</b>	<b>108.83</b>	<b>99</b>
001-437-000-000	REPAIRS OF TOOLS AND MACHINERY:	0.00	0.00	0.00	0.00	0.00	0
001-437-250-000	Machinery & Tools- Vehicle Maintenance	87,740.78	75,000.00	9,329.66	67,161.67	7,838.33	90
001-437-260-000	Machinery & Tools- Small Tools	11,169.08	16,000.00	246.38	3,778.85	12,221.15	24
	<b>437 REPAIRS OF TOOLS AND MACHINERY:</b>	<b>98,909.86</b>	<b>91,000.00</b>	<b>9,576.04</b>	<b>70,940.52</b>	<b>20,059.48</b>	<b>78</b>
001-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
001-438-231-000	Gasoline	5,500.19	5,200.00	921.61	5,800.34	600.34 -	112
001-438-232-000	Diesel Fuel	32,720.17	29,176.52	1,654.57	20,439.17	8,737.35	70
001-438-242-000	Road Signs	3,332.26	3,000.00	0.00	2,582.80	417.20	86
001-438-245-000	Road Supplies	22,292.09	52,500.00	6,600.00	29,103.89	23,396.11	55
001-438-313-000	Engineering	8,258.22	25,000.00	751.90	18,086.33	6,913.67	72
001-438-370-000	Road Program- Contractor	0.00	13,500.00	0.00	0.00	13,500.00	0



TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
<b>438 ROADS &amp; BRIDGES:</b>		<b>72,102.93</b>	<b>128,376.52</b>	<b>9,928.08</b>	<b>76,012.53</b>	<b>52,363.99</b>	<b>59</b>
001-446-000-000	STORM WATER MANAGEMENT:	0.00	0.00	0.00	0.00	0.00	0
001-446-313-000	Stormwater Management- Engineering	4,418.62	35,000.00	135.00	5,882.91	29,117.09	17
001-452-000-000	PARTICIPANT RECREATION:	0.00	0.00	0.00	0.00	0.00	0
001-452-248-000	Camps & Sport Leagues	3,300.00	2,800.00	0.00	1,800.00	1,000.00	64
001-452-250-000	Community Day	7,949.83	10,500.00	0.00	0.00	10,500.00	0
001-452-520-000	Library	8,042.00	8,444.00	0.00	8,444.00	0.00	100
<b>452 PARTICIPANT RECREATION:</b>		<b>19,291.83</b>	<b>21,744.00</b>	<b>0.00</b>	<b>10,244.00</b>	<b>11,500.00</b>	<b>47</b>
001-454-000-000	PARKS:	0.00	0.00	0.00	0.00	0.00	0
001-454-436-000	Heebner Park- Utilities	2,738.84	3,336.00	393.67	7,412.13	4,076.13 -	222
001-454-437-001	Heebner Park- Athletic Fields	12,305.81	15,800.00	874.12	6,375.93	9,424.07	40
001-454-437-002	Heebner Park- Expenses	5,544.73	8,000.00	886.26	6,444.85	1,555.15	81
001-454-438-001	Mount Kirk Park- Athletic Fields	2,779.11	3,700.00	134.48	638.00	3,062.00	17
001-454-438-002	Mount Kirk Park- Expenses	1,114.95	1,000.00	523.95	2,354.20	1,354.20 -	235
001-454-438-003	Mount Kirk Park- Utilities	0.00	700.00	357.78	1,930.73	1,230.73 -	276
001-454-439-001	Sunny Brook Park- Athletic Fields	4,581.66	4,700.00	336.20	1,379.02	3,320.98	29
001-454-439-002	Sunny Brook Park- Expenses	1,244.73	3,602.00	350.64	1,484.09	2,117.91	41
001-454-446-000	Sunny Brook Park- Utilities	1,167.93	1,680.00	184.54	1,464.89	215.11	87
001-454-470-000	Heyser Park- Horse Ring	0.00	500.00	0.00	0.00	500.00	0
001-454-471-000	Heyser Park- Expenses	0.00	350.00	22.98	65.29	284.71	19
001-454-480-000	Trail Expenses	477.88	2,850.00	237.39	4,380.71	1,530.71 -	154
001-454-490-000	Other Parks	831.70	5,215.00	204.49	2,191.29	3,023.71	42
<b>454 PARKS:</b>		<b>32,787.34</b>	<b>51,433.00</b>	<b>4,506.50</b>	<b>36,121.13</b>	<b>15,311.87</b>	<b>70</b>
001-459-000-000	PUBLIC RELATIONS:	0.00	0.00	0.00	0.00	0.00	0
001-459-340-000	Public Relations- Community Newsletter	21,533.26	20,700.00	969.80	17,765.43	2,934.57	86

TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-459-341-000	Public Relations- Other Communications	105.26	2,000.00	0.00	2,248.14	248.14 -	112
	<b>459 PUBLIC RELATIONS:</b>	<b>21,638.52</b>	<b>22,700.00</b>	<b>969.80</b>	<b>20,013.57</b>	<b>2,686.43</b>	<b>88</b>
001-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
001-486-350-000	Insurances	92,314.00	109,454.80	8,887.00	102,547.80	6,907.00	94
001-492-300-000	Transfer To Capital Fund	3,189,808.03	872,109.81	2,444,235.79	2,444,235.79	1,572,125.98 -	280
	<b>Fund 001 Expenditure Totals</b>	<b>6,022,956.55</b>	<b>4,070,868.55</b>	<b>2,639,418.67</b>	<b>5,214,534.34</b>	<b>1,143,665.79 -</b>	<b>128</b>

001 Fund	Prior	Current	YTD
Revenues:	5,428,567.02	227,078.76	4,586,848.57
Expenditures:	6,022,956.55	2,639,418.67	5,214,534.34
Net Income:	594,389.53 -	2,412,339.91 -	627,685.77 -

TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
008-341-000-000	Interest Earnings	20,173.80	5,000.00	5,626.36	61,072.33	56,072.33	***
008-364-110-000	Tapping Fees	8,300.00	48,577.62	204.69	76,545.50	27,967.88	158
008-364-120-000	Sewer Fees- Residential	537,700.18	545,403.40	3,914.34	580,832.18	35,428.78	106
008-364-130-000	Sewer Fees- Commercial	172,082.69	145,000.00	4,429.63	166,401.84	21,401.84	115
008-364-140-000	Late Fees	8,477.74	7,500.00	373.42	9,775.43	2,275.43	130
008-364-150-000	Certification Fees	1,355.00	1,350.00	50.00	925.00	425.00 -	69
	<b>364 Total</b>	<b>727,915.61</b>	<b>747,831.02</b>	<b>8,972.08</b>	<b>834,479.95</b>	<b>86,648.93</b>	<b>111</b>
008-381-000-000	Miscellaneous Income	0.00	25.00	0.00	0.00	25.00 -	0
008-392-300-000	Transfer from Capital Fund	0.00	0.00	0.00	574,659.31	574,659.31	0
008-395-000-000	Refund of Prior Year Expenditures	0.00	0.00	0.00	61.89	61.89	0
	<b>Fund 008 Revenue Totals</b>	<b>748,089.41</b>	<b>752,856.02</b>	<b>14,598.44</b>	<b>1,470,273.48</b>	<b>717,417.46</b>	<b>195</b>
Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
008-429-000-000	WASTWATER COLLECTION AND TREATMENT	0.00	0.00	0.00	0.00	0.00	0
008-429-242-000	Alarm Services	551.88	1,232.00	0.00	551.88	680.12	45
008-429-300-000	Other Expenses	157,902.74	178,296.00	19,619.65	193,769.64	15,473.64 -	109
008-429-313-000	Engineering	1,968.76	12,500.00	0.00	3,034.75	9,465.25	24
008-429-314-000	Legal	2,031.25	2,500.00	0.00	7,525.53	5,025.53 -	301
008-429-316-000	Plant Operations	89,372.44	86,100.00	7,583.50	79,040.25	7,059.75	92
008-429-321-000	Telephone	964.99	1,080.00	85.97	983.60	96.40	91
008-429-361-000	Utilities	102,141.32	110,688.00	18,806.76	159,793.13	49,105.13 -	144
008-429-374-000	Equipment & Repairs	12,756.45	39,132.00	992.00	13,680.11	25,451.89	35
008-429-421-001	Center Point- Operations	5,730.00	6,150.00	492.50	5,417.50	732.50	88
008-429-421-002	Center Point- Utilities & Repairs	4,276.16	6,792.00	496.86	7,623.97	831.97 -	112
008-429-422-001	Meadowood- Operations	8,894.00	6,150.00	492.50	6,112.75	37.25	99
008-429-422-002	Meadowood- Utilities & Repairs	7,803.71	6,660.00	565.24	3,865.69	2,794.31	58
008-429-423-001	Heritage Village- Operations	5,730.00	6,150.00	492.50	5,417.50	732.50	88

**TOWNSHIP OF WORCESTER**  
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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
008-429-423-002	Heritage Village- Utilities & Repairs	4,101.58	6,048.00	671.03	4,042.12	2,005.88	67
008-429-424-001	Fawn Creek- Operations	5,730.00	6,150.00	492.50	5,520.50	629.50	90
008-429-424-002	Fawn Creek- Utilities & Repairs	2,791.65	4,692.00	291.47	3,750.21	941.79	80
008-429-425-001	Chadwick Place- Operations	5,806.50	6,150.00	492.50	5,417.50	732.50	88
008-429-425-002	Chadwick Place- Utilities & Repairs	3,185.66	5,460.00	335.13	3,119.42	2,340.58	57
008-429-426-001	Adair Pump- Operations	5,830.00	6,150.00	492.50	5,417.50	732.50	88
008-429-426-002	Adair Pump- Utilities & Repairs	2,575.73	4,560.00	831.84	3,314.63	1,245.37	73
008-429-700-000	Capital Improvements	65,082.96	73,000.00	3,657.44	1,229,347.36	1,156,347.36 -	***
008-429-800-000	Depreciation	287,297.00	0.00	0.00	0.00	0.00	0
	<b>429 WASTEWATER COLLECTION AND TREATM</b>	<b>782,524.78</b>	<b>575,640.00</b>	<b>56,891.89</b>	<b>1,746,745.54</b>	<b>1,171,105.54 -</b>	<b>303</b>
008-471-000-000	DEBT PRINCIPAL:	0.00	0.00	0.00	0.00	0.00	0
008-471-200-000	General Obligation Bond- Principal	0.00	130,000.00	130,000.00	130,000.00	0.00	100
008-472-000-000	DEBT INTEREST:	0.00	0.00	0.00	0.00	0.00	0
008-472-200-000	General Obligation Bond- Interest	40,001.26	41,431.26	19,188.13	38,376.26	3,055.00	93
008-475-000-000	Fiscal Agent Fees- 2016 Bond	1,050.00	1,100.00	0.00	1,050.00	50.00	95
008-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
008-486-350-000	Insurance Expense	4,130.00	5,001.20	0.00	5,001.20	0.00	100
	<b>Fund 008 Expenditure Totals</b>	<b>827,706.04</b>	<b>753,172.46</b>	<b>206,080.02</b>	<b>1,921,173.00</b>	<b>1,168,000.54 -</b>	<b>255</b>

008 Fund	Prior	Current	YTD
Revenues:	748,089.41	14,598.44	1,470,273.48
Expenditures:	827,706.04	206,080.02	1,921,173.00
Net Income:	79,616.63 -	191,481.58 -	450,899.52 -



TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
030-341-000-000	Interest Earnings	233,909.83	240,000.00	72,747.50	820,335.39	580,335.39	342
030-354-351-000	Grants	238,124.00	701,750.00	0.00	802,455.00	100,705.00	114
030-363-100-000	Traffic Impact Fees	3,977.00	14,204.00	0.00	7,954.00	6,250.00 -	56
030-381-000-000	Miscellaneous Income	11,467.00	2,000.00	0.00	49,120.00	47,120.00	***
030-392-010-000	Transfer From General Fund	3,189,808.03	872,109.81	2,444,235.79	2,444,235.79	1,572,125.98	280
030-395-000-000	Refund of Prior Year Expenditures	0.00	0.00	0.00	600.00	600.00	0
	<b>Fund 030 Revenue Totals</b>	<b>3,677,285.86</b>	<b>1,830,063.81</b>	<b>2,516,983.29</b>	<b>4,124,700.18</b>	<b>2,294,636.37</b>	<b>225</b>

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
030-405-000-000	SECRETARY/CLERK:	0.00	0.00	0.00	0.00	0.00	0
030-405-720-000	Office Equipment	4,371.54	10,000.00	587.00	3,229.05	6,770.95	32
030-409-000-000	GOVERNMENT BUILDINGS & PLANTS:	0.00	0.00	0.00	0.00	0.00	0
030-409-600-000	Building Improvements	108,522.84	43,500.00	21,470.00	29,410.42	14,089.58	68
030-430-600-000	Capital Roads	1,609,204.72	1,665,190.00	61,157.94	1,309,853.92	355,336.08	79
030-430-740-000	Equipment Purchases	113,585.74	453,518.47	579.11	111,997.24	341,521.23	25
	<b>430 Total</b>	<b>1,722,790.46</b>	<b>2,118,708.47</b>	<b>61,737.05</b>	<b>1,421,851.16</b>	<b>696,857.31</b>	<b>67</b>

030-433-600-000	Traffic Signs & Signals	0.00	15,300.00	0.00	0.00	15,300.00	0
030-454-600-000	Parks and Trails	417,732.72	343,500.00	6,585.85	168,093.22	175,406.78	49
030-454-710-000	Land Acquisition	2,093,366.90	31,000.00	612,380.75	798,572.56	767,572.56 -	***
	<b>454 Total</b>	<b>2,511,099.62</b>	<b>374,500.00</b>	<b>618,966.60</b>	<b>966,665.78</b>	<b>592,165.78 -</b>	<b>258</b>

030-472-200-000	Loan Interest	0.00	0.00	0.00	109,881.56	109,881.56 -	0
030-492-080-000	Transfer to Sewer Fund	0.00	0.00	0.00	574,659.31	574,659.31 -	0
	<b>Fund 030 Expenditure Totals</b>	<b>4,346,784.46</b>	<b>2,562,008.47</b>	<b>702,760.65</b>	<b>3,105,697.28</b>	<b>543,688.81 -</b>	<b>121</b>

030 Fund	Prior	Current	YTD
Revenues:	3,677,285.86	2,516,983.29	4,124,700.18



TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Expenditures:	4,346,784.46	702,760.65	3,105,697.28
Net Income:	669,498.60 -	1,814,222.64	1,019,002.90

TOWNSHIP OF WORCESTER  
Statement of Revenue and Expenditures

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
035-341-000-000	Interest Earnings	4,725.99	1,500.00	311.39	14,282.34	12,782.34	952
035-355-020-000	Liquid Fuel Funds	347,096.97	355,938.36	0.00	364,920.35	8,981.99	103
	<b>Fund 035 Revenue Totals</b>	<b>351,822.96</b>	<b>357,438.36</b>	<b>311.39</b>	<b>379,202.69</b>	<b>21,764.33</b>	<b>106</b>

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
035-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
035-438-370-000	Road Maintenance Contractor	333,000.00	347,000.00	0.00	347,000.00	0.00	100
	<b>Fund 035 Expenditure Totals</b>	<b>333,000.00</b>	<b>347,000.00</b>	<b>0.00</b>	<b>347,000.00</b>	<b>0.00</b>	<b>100</b>

035 Fund	Prior	Current	YTD
Revenues:	351,822.96	311.39	379,202.69
Expenditures:	333,000.00	0.00	347,000.00
Net Income:	18,822.96	311.39	32,202.69

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
040-341-109-000	Interest 1622 Hollow Road	74.19	0.00	24.00	258.59	258.59	0
040-341-200-000	Interest Earnings Developers	403.82	0.00	114.83	1,237.32	1,237.32	0
	<b>341 Total</b>	<b>478.01</b>	<b>0.00</b>	<b>138.83</b>	<b>1,495.91</b>	<b>1,495.91</b>	<b>0</b>
	<b>Fund 040 Revenue Totals</b>	<b>478.01</b>	<b>0.00</b>	<b>138.83</b>	<b>1,495.91</b>	<b>1,495.91</b>	<b>0</b>

040 Fund	Prior	Current	YTD
Revenues:	478.01	138.83	1,495.91
Expenditures:	0.00	0.00	0.00
Net Income:	478.01	138.83	1,495.91

Grand Totals	Prior	Current	YTD
Revenues:	10,206,243.26	2,759,110.71	10,562,520.83
Expenditures:	11,530,447.05	3,548,259.34	10,588,404.62
Net Income:	1,324,203.79 -	789,148.63 -	25,883.79 -



# Worcester Township

1721 Valley Forge Road  
Worcester PA 19490  
Phone: 610-584-1410

## Permit Report - 12/01/2023 to 12/31/2023

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
<b>Building Permit</b>								
<a href="#">B-2023-227</a>		Building Permit	\$0.00	\$4.50	8/25/2023	0.00		\$588.00
Contractor:	Sal Carbone	Description: Finish 1250 square feet of basement.						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	107 SHIRE DR	Zoning:		Owner:	LEFEVRE BARBARA	
<a href="#">B-2023-283</a>		Building Permit	\$0.00	\$4.50	10/12/2023	0.00		\$79.50
Contractor:	Lancaster Pole Buildings Inc	Description: Two Car Detached Garage						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	3422 MILL RD	Zoning:		Owner:	STRAUT MEGHAN CARROLL AND JASON R	
<a href="#">B-2023-314</a>		Building Permit	\$0.00	\$4.50	11/28/2023	0.00		\$89.50
Contractor:	Davis Modern Heating & Cooling Inc	Description: Gas Furnace Replacement						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	48 WHEATSHEAF LN	Zoning:		Owner:	HOOD ROBERT H JR	
<a href="#">B-2023-318</a>		Building Permit	\$0.00	\$4.50	12/26/2023	0.00		\$1,102.50
Contractor:	J. Spanier Contracting LLC	Description: 2100 sq. ft. addition to existing house. First and second story.						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	1804 BERKS RD	Zoning:		Owner:	BURKHART GREGORY A SR	
<a href="#">B-2023-324</a>		Building Permit	\$0.00	\$4.50	12/13/2023	0.00		\$302.50
Contractor:	KIM Contractor	Description: Interior Alterations to Expand Market						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	3001 GERMANTOWN PIKE	Zoning:		Owner:	FORGE MANOR CORP	
<a href="#">B-2023-326</a>		Building Permit	\$0.00	\$4.50	12/1/2023	0.00		\$92.50
Contractor:	A and R Electrical Contractors	Description: Install hot tub in rear yard.						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	2592 HILLCREST DR	Zoning:		Owner:	RAJABI SIAHBOOMI ALI &	



# Worcester Township

1721 Valley Forge Road  
Worcester PA 19490  
Phone: 610-584-1410

# Permit Report - 12/01/2023 to 12/31/2023

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
<b>Building Permit</b>								
<a href="#">B-2023-327</a>		Building Permit	\$0.00	\$4.50	12/7/2023	0.00		\$102.50
Contractor:	Colonial Generators	Description: Installation of a LP Fired14KW Generator on a pre-cast concrete pad.						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	3106 MILL RD	Zoning:		Owner:	CRIST LESLIE W & NANCY E	
<a href="#">B-2023-328</a>		Building Permit	\$0.00	\$4.50	12/7/2023	0.00		\$279.19
Contractor:	Keystone Custom Decks, LLC	Description: Install 437 square foot roof over existing patio with corner fireplace.						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	2260 OAK TER	Zoning:		Owner:	BORELLI DANIEL & KRISTIN M	
<a href="#">B-2023-330</a>		Building Permit	\$0.00	\$4.50	12/7/2023	0.00		\$152.50
Contractor:	Sunrise Energy LLC	Description: Solar Array System (Solar Panels)						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	1520 VALLEY FORGE RD	Zoning:		Owner:	FRASKE RICHARD & SCHUSTERMAN LINDA K	
<a href="#">B-2023-333</a>		Building Permit	\$0.00	\$4.50	12/19/2023	0.00		\$74.50
Contractor:	Grade A Plumbing Inc	Description: Water Heater Replacement						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	1421 REINER RD	Zoning:		Owner:	ZISK GEORGE III & JODY L	
<a href="#">B-2023-334</a>		Building Permit	\$0.00	\$4.50	12/19/2023	0.00		\$32.50
Contractor:	JM Oliver, Inc	Description: 200 amp 42 cir service replacement and smoke det.						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	2266 LOCUST DR	Zoning:		Owner:	DENYES JILL & MARR WAYNE ERIC	
<a href="#">B-2023-335</a>		Building Permit	\$0.00	\$4.50	12/19/2023	0.00		\$94.50
Contractor:	Zoom Drain	Description: Replace broken sewer lateral						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	2002 OLD ORCHARD RD	Zoning:		Owner:	CORNE WILLIAM H III & ERIN N	



# Worcester Township

1721 Valley Forge Road  
Worcester PA 19490  
Phone: 610-584-1410

## Permit Report - 12/01/2023 to 12/31/2023

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
<b>Building Permit</b>								
<a href="#">B-2023-336</a>		Building Permit	\$0.00	\$4.50	12/19/2023	0.00		\$59.50
Contractor:	Advanced Plastering	Description: Exterior remediation						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	125 MEADOW VIEW LN	Zoning:		Owner:	PNC BANK NA TRUSTEES FO IRREVOC TRUSTEE	
<a href="#">B-2023-337</a>		Building Permit	\$0.00	\$4.50	12/19/2023	0.00		\$287.50
Contractor:	Neudecker Construction Inc.	Description: 131 square foot Interior alteration.						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	2543 CRESTLINE DR	Zoning:		Owner:	FRIEDMAN SAMUEL P & DEBRA S	
<a href="#">B-2023-340</a>		Building Permit	\$0.00	\$4.50	12/19/2023	0.00		\$89.50
Contractor:	Clyde S. Walton, Inc.	Description: Replace Oil Tank						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	3320 GERMANTOWN PIKE	Zoning:		Owner:	TIAN XIAO WEI	
<a href="#">B-2023-344</a>		Building Permit	\$0.00	\$4.50	12/28/2023	0.00		\$89.50
Contractor:	Clyde S. Walton, Inc.	Description: Replace Oil Tank						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	1062 QUARRY HALL RD	Zoning:		Owner:	BARON CHRISTINA M	
<a href="#">B-2023-346</a>		Building Permit	\$0.00	\$4.50	12/19/2023	0.00		\$454.50
Contractor:	Glen Miller Demolition & Excavating, Inc.	Description: Demolition of 3 structures						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	2974 GERMANTOWN PIKE	Zoning:		Owner:	BT WORCESTER LLC	
<a href="#">B-2023-349</a>		Building Permit	\$0.00	\$4.50	12/28/2023	0.00		\$89.50
Contractor:	Horizon Services	Description: Replacement of gas furnace and A/C unit						
<b>Parcel Info:</b>								
Parcel Number:		Location Address:	2217 LOCUST DR	Zoning:		Owner:	LEACH DANIEL B & KEARNS KRISTINE M	



# Worcester Township

1721 Valley Forge Road  
Worcester PA 19490  
Phone: 610-584-1410

## Permit Report - 12/01/2023 to 12/31/2023

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
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### Building Permit

<a href="#">B-2023-353</a>		Building Permit	\$0.00	\$4.50	12/28/2023	0.00		\$59.50
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Contractor: Dale Rimmer Siding      Description: Remediate stucco on side/rear walls

### Parcel Info:

Parcel Number:		Location Address:	264 CENTER POINT LN	Zoning:		Owner:	LEE ERIC & CHIN HEE
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<b>Total Const. Cost:</b>	<b>\$0.00</b>	<b>Total UCC Fee:</b>	<b>\$85.50</b>	<b>Total Cost:</b>	<b>\$4,119.69</b>
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<b>Grand Total Const. Cost:</b>	<b>\$0.00</b>	<b>Grand Total UCC Fee:</b>	<b>\$85.50</b>	<b>Grand Total Cost:</b>	<b>\$4,119.69</b>
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**MEMORANDUM**

**TO:** Worcester Township Board of Supervisors  
**FROM:** John W. Evarts, P.E., Township Engineer  
**DATE:** January 10, 2024  
**SUBJECT:** Engineering Report - Project Status

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This memorandum will provide an update and status report on the various projects that are ongoing within the Township as of January 10, 2024.

1. **Turnpike Sound Barriers Grant Project (No Change):** The pre-construction meeting for the project was held on February 1, 2022. The Notice to Proceed was issued and the project is scheduled for September 2022 completion. All submittals have now been approved and the panels and steel posts are in production. Construction has started. All occasions are installed, and the panel installation is now complete. Final site restoration is underway. Project is now complete. Final Grant submission due June 30, 2023. Documentation was provided to The Commonwealth Financing Authority on July 6, 2023 for reimbursement.
2. **Valley Green WWTP Filter Project (No Change):** The contracts for the Tertiary Filter Project have been awarded. The new filter has been ordered and is ready for delivery. We continue with reviewing submittals for the project. Construction on the building and the filter installation is nearing completion. Filter is now in operation and working well. Electrical contractors need to complete work. Electrical panel has been received and work is anticipated to be completed in September. Final inspection complete and contractor has a small punch list to complete. Project is complete and 12-Month Maintenance Period has begun.
3. **Evansburg Park Trail:** The revised trail location has been approved. CKS has completed the additional field survey work due to the changes. We are proceeding with the plan preparation, and we are coordinating this project with the Township, and the Township's traffic engineer. We are working on the trail design and the pedestrian bridge. McMahon will design the Kratz Road Crossing. We are coordinating the final trail location within the park. Coordination with PennDOT and Evansburg Park on the road crossing. Meeting with MCCD held on June 12, 2023. Trial design continues along with coordination with outside agencies and Township Traffic engineer. CKS Engineers completed additional survey work on December 7, 2023. Ongoing coordination with PECO to determine utility crossing.
4. **Classroom in the Park (No Change):** We are working with Township Staff on selecting a building for this project and as well as the site-plan for the project. We are evaluating a second building option for this project. This project is on hold.



5. Storage Building at Compost Facility: Bids will be opened on April 5, 2023 for a storage building at the Compost Facility at Nice Park. We will review and provide a recommendation to the Township. Contract is awarded. Township has prepared site. Notice to Proceed has been issued. Contractor to deliver building materials to the site in the near future. Public works to observe construction of the building. CKS Engineers has reviewed and approved the shop drawings. The majority of work on the building has been completed. Last remaining item is for the contractor to install the doors. Work has been completed. Final payment has been requested by the contractor.
6. Weber Road Culvert Replacement: This contract has been awarded, and we are reviewing project submittals. Coordination with PECO and Contractor on going. Culvert was delivered in the second week of July and is currently being stored. A site meeting was held on November 8, 2023 to discuss the relocation of the PECO gas main. Work began on January 2, 2024. PECO to begin their portion of work to relocate gas main the week of January 8, 2024.
7. 2023 Roadway Improvement Project (No Change): Bids opened on April 26, 2023. The board of Supervisors Awarded contract on May 17, 2023. The award included the base bid and Alternate/Add-On No. 1 for a total award amount of \$880,983.10. Pre-construction meeting held on June 26, 2023. Work began on August 14 and has been completed. Final pay estimate prepared and sent to the Township. Twelve-Month Maintenance Period has begun.
8. Miscellaneous Items
  - a. CKS Engineers assisted the Township on numerous zoning and land development related issues as requested during the month.
  - b. CKS Engineers performed various site inspections in conjunction with finalizing Use & Occupancy Permits during the month.
  - c. CKS Engineers reviewed numerous grading permit applications and storm-water applications for the Township during the month.
  - d. CKS Engineers continued to provide inspection services in conjunction with all ongoing land development and subdivision projects throughout the Township. This also included verifying completion of items and preparation of escrow releases for these projects, as requested.
  - e. CKS Engineers continues to assist in work required in conjunction with the review and approval of subdivisions and land developments and Conditional Use applications submitted to the Township. These currently include the Palmer Tract, Huginar property (under construction), the Dubner property (under review), Zacharczuk property (aka Bell Flower, under construction) and North Grange LLC, (Waiver of Land Development) and the Variety Club proposed Athletic Fields (Conditional Use and Potential Waiver of Land Development). There is also a project in the sketch plan phase for the property at 1570 Whitehall Road. A minor

subdivision plan (Kerper Property) has also been reviewed and has been approved. There is a project in the sketch plan phase for the property at 1570 Whitehall Road.

The above represents a status report on the projects and services currently being performed by CKS Engineers. Please contact me if you have any questions on any of these items.

Respectfully submitted,  
CKS ENGINEERS  
Township Engineers




John W. Evarts, P.E.

JWE/paf

cc: Sean Halbom, Township Manager  
File

**MEMORANDUM**

TO: Sean Halbom, Township Manager

FROM: John W. Evarts, P.E., Township Engineer 

DATE: January 10, 2024

SUBJECT: Public Works Project – Status Report

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This memorandum will provide an update and status report on the public works projects currently underway in the Township.

1. Turnpike Sound Barriers: **(No Change)**

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- a. Contract Awarded: January 19, 2022
- b. Notice to Proceed: February 1, 2022
- c. Contract Completion Date: September 30, 2022
- d. Submittals have been received by CKS for review. Panel and steel post submittals are approved. Materials are in production.
- e. Mobilization has started, and drilling will begin the week of October 3, 2022.
- f. Panel installation is complete. Final site restoration is underway.
- g. Project is Complete. Final Grant submission due June 30, 2023.
- h. Documentation was provided to The Commonwealth Financing Authority on July 6, 2023 for reimbursement.

2. Valley Green WWTP Filter Project **(No Change)**

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- a. CKS has completed design of project for bidding of new building and site work.
- b. Electrical design is being finalized.
- c. Contract documents will be finalized upon completion of Electrical Design.
- d. Received equipment quote from Dutchland and are evaluating project costs.
- e. Blower noise abatement will be part of project.
- f. DEP Part 2 Construction Permit Application has been submitted to PADEP.
- g. Equipment has been ordered with Dutchland.
- h. Contracts for site work will be bid on May 9, 2022 with bid opening on June 8, 2022. Anticipate award at June BOS meeting.
- i. Contracts have been awarded and submittals are being received.
- j. Pre-construction meeting has been held.
- k. Construction is now underway. The building is now complete and modifications to the plant are underway.
- l. New filter is now operational and performing well.
- m. Waiting on the electrical contractor to complete work. Electrical panel has been delivered and installed.
- n. A final inspection was performed, and a Punch List was provided to the contractor.
- o. Electrical Punch List has now been completed and all work has been completed. The Maintenance Period will begin once the final payment has been made.
- p. Final Payment has been made and 12-Month Maintenance Period has begun.

### 3. Classroom in the Park Project (No Change)

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- a. Working with Township on evaluating building options. Received additional quotes for review.
- b. Preliminary site plan for project is complete.
- c. Once building is selected, design plans for site work and utilities will be completed. If pole barn building is selected, building fit-out contracts will also be required. (Similar to Public Works Building)
- d. Project is on hold.

### 4. Evansburg Trail Project

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- a. Final route of trail has now been established. Most surveying and field work is complete.
- b. Project will require crossing Kratz Road, which is a State Road.
- c. Project will involve crossing creek with pedestrian bridge. Need wetlands study and bridge design.
- d. Project design is underway with base plan preparation.
- e. McMahan has designed the Kratz Road crossing for the Township.
- f. Coordinating with Park to finalize trail location.
- g. Pre-Application meeting held the MCCD on June 12.
- h. Continue trail design and coordination with outside agencies.
- i. Coordination with the Traffic Engineer regarding trail crossing.
- j. CKS Engineers completed additional survey to design relocated crossing.
- k. Coordination with PECO to determine best location of utility crossing.

### 5. Weber Road Culvert Replacement

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- a. Preliminary design complete.
- b. Application for DEP Permit is being prepared.
- c. Detour plan is being prepared for PennDOT approval.
- d. Waiting for DEP permit.
- e. Project has been awarded.
- f. Project submittal reviews underway.
- g. Anticipated culver delivery is the second week of July.
- h. Coordination between PECO and contractor is currently being worked out to perform the work.
- i. Site meeting held on November 8, 2023 to discuss PECO gas main. Anticipate work start date of January 2, 2024.
- j. Work started on January 2, 2024.
- k. PECO anticipates to begin gas main relocation the week of January 8, 2024.

### 6. Nike Park Storage Building

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- a. Storage building for compost site is out for bid.
- b. Bids will be opened on April 5, 2023.
- c. Contract is awarded. Township has prepared site for building.
- d. CKS Engineers approved shop drawings.
- e. Work is scheduled to begin shortly.
- f. Work has been completed. Final payment was submitted and CKS has recommended final payment.

**7. Valley Green WWTP Re-Rating (No Change)**

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- a. CKS has completed an evaluation of the potential to re-rate the treatment plant for additional capacity.
- b. We are waiting for feedback from PADEP on preliminary treatment criteria.
- c. This will require a revision to the Township's Act 537 Sewage Facilities Plan, and then an application to DEP to re-rate the WWTP capacity.
- d. Project is temporarily on hold.

**8. 2023 Road Program (No Change)**

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- a. CKS assisted the Township with preparation of Contract Documents for project. We have received the bidding information from the Township and have prepared the bidding documents.
- b. Bids received for Road Project and township has awarded bids.
- c. The Township will oversee this project.
- d. A pre-construction meeting was held on June 26, 2023.
- e. Work began on August 14, 2023 and will continue through the next few weeks.
- f. Work has been completed. Final pay estimate has been submitted to the Township.
- g. Final Payment has been made and 12-Month Maintenance Period has begun.

**9. Terra Landscaping – North Grange LLC – Waiver of Land Development**

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- a. Plans submitted for waiver of Land Development.
- b. CKS issued a review for the August 16 Board of Supervisors meeting.
- c. Plan has been granted a Waiver of Land Development.
- d. CKS recently reviewed revised plans.
- e. Pre-Construction meeting held on December 21, 2023. Shop drawings currently under review.
- f. Waiver of Land Development revised and in the process of being recorded at the courthouse.

JWE/paf  
cc: File

## **Public Works Department Report**

**December 2023**

### **1) Road Maintenance**

- A. Cleared inlets and drains throughout the Township**
- B. Filled potholes throughout the Township**
- C. Pruning vegetation to increase visibility of roadway signage and intersections**
- D. Weber Road Culvert project delayed due to PECO gas relocation issue, now scheduled to start on Jan 2, 2024**
- E. Clearing drains/pipe of leaves and debris**
- F. Flood and washout cleanup**
- G. Adding stone to roadway edge erosion areas**

### **2) Storm Maintenance**

- A. 12.10.23 Significant rain event resulting in flooding and road closures**
- B. 12.17.23 Significant rain event resulting in flooding and road closures**

### **3) Parks**

- A. Twice weekly cleaning of restrooms, emptying trash receptacles, and stocking dog bags**
- B. Repairing washouts and general trail maintenance**
- C. Removal of dead trees on Township properties/parks**
- D. Fall cleanup of Township properties**

### **4) Vehicle Maintenance**

- A. Performed weekly maintenance of all Township vehicles**
- B. 64-66 Plow controller repair**
- C. 64-25 electrical/starting repair**
- D. Winterizing of all lawn equipment**
- E. Prepping of vehicles/equipment for winter maintenance**

### **5) Miscellaneous**

- A. Setting up and cleaning of Community Hall for rentals and Township events**
- B. Nike Compost facility open to residents twice weekly**
- C. Nike Compost facility garage construction underway**
- D. Administrative office exterior trim upgrades**
- E. Public Works Training – Traffic signal operation**
- F. Brine system pump replacement**



Skippack EMS  
Year-End 2023 calls  
Worcester Township

Calls dispatched	673
Transported	339
Refusals	55
No services *	27
Fire	6
Covered by other squads	202
Lift assist	12
Recalls	15

\* includes: accidental/false alarm for medical alert alarm, no patient found, deceased, or police matters



Skippack EMS  
December 2023 calls  
Worcester Township

Calls dispatched	60
Transported	24
Refusals	3
No services *	0
Fire	0
Covered by other squads A off status 28 A and/or Main on other calls 2 Main covered 14	30
Lift assist	2
Recalls (by caller)	1

\* includes: accidental/false alarm for medical alert alarm, no patient found, deceased, or police matters



# PENNSYLVANIA STATE POLICE

## CAD Call Print Synopsis

Number of Records Returned: 130

Search Criteria: which\_cad='P' and occ\_date between '12/01/2023' and '12/31/2023' and municipality='46226' and final\_case\_type<>'TS' and jurisdiction='PA'

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Dec-01-2023	20:52:15	1575792	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	263 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2023-1575792	CLOSED CAD CALL
Dec-02-2023	06:12:26	1576916	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	SKIPPACK PIKE / N WHITEHALL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1576916	TRACS CRASH REPORT
Dec-02-2023	12:04:09	1578003	ALARM - BURGLAR	ALARM FALSE NO FAULT	TAMARACK CIR / UMBRELL DR [1 TAMARACK CIR] WORCESTER TWP (MONTGOMERY)	Yes	2023-1578003	CLOSED CAD CALL
Dec-02-2023	16:35:51	1578869	DISABLED MOTORIST CC	DISABLED MOTORIST CC	2599 TOWNSHIP LINE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1578869	CLOSED CAD CALL
Dec-02-2023	21:53:38	1579709	ROAD HAZARD - ANIMAL - DEBRIS CC	CANCELLED BY COMPLAINANT X	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1579709	CANCELLED
Dec-04-2023	11:34:12	1585099	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	3017 W SKIPPACK PIKE[SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1585099	CLOSED CAD CALL
Dec-04-2023	18:34:04	1586836	MVC - NON- REPORTABLE	MVC - REPORTABLE, NO INJURIES	3100 W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1586836	TRACS CRASH REPORT
Dec-05-2023	07:24:51	1588280	DISABLED MOTORIST ON ROAD CC	ABANDONED VEHICLE GO	1023 QUARRY HALL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1588280	GENERAL OFFENSE
Dec-05-2023	08:37:57	1588790	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	1000 BLOCK KRIEBEL MILL RD [METHACTON HS WORCESTER TWP (MONTGOMERY)	Yes	2023-1588790	CLOSED CAD CALL
Dec-05-2023	12:24:04	1589933	SEE OFFICER GO	SEE OFFICER GO	1005 KRIEBEL MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1589933	GENERAL OFFENSE
Dec-05-2023	15:04:58	1590643	ALARM - BURGLAR	ALARM FALSE NO FAULT	3103 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1590643	CLOSED CAD CALL
Dec-05-2023	16:10:50	1590980	SEE OFFICER GO	MISSING PERSON	27 BRISTOL CT WORCESTER TWP (MONTGOMERY)	Yes	2023-1590980	GENERAL OFFENSE
Dec-05-2023	18:51:25	1591583	ALARM - BURGLAR	ALARM FALSE FAULT CC	114 MUSTANG WAY WORCESTER TWP (MONTGOMERY)	Yes	2023-1591583	CLOSED CAD CALL
Dec-06-2023	06:56:16	1592719	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	2900 BLOCK SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1592719	TRAFFIC CITATION
Dec-06-2023	07:30:48	1593007	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	3000 BLOCK W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1593007	WARNING (TRAFFIC STOP)
Dec-06-2023	07:56:15	1593101	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	3000 BLOCK GRIFFITH RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1593101	WARNING (TRAFFIC STOP)



# PENNSYLVANIA STATE POLICE

## CAD Call Print Synopsis

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Dec-06-2023	08:11:35	1593262	MOTOR CARRIER SAFETY	MOTOR CARRIER SAFETY CC	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1593262	WARNING (TRAFFIC STOP)
Dec-06-2023	08:29:06	1593346	MOTOR CARRIER SAFETY	MOTOR CARRIER SAFETY CC	HERITAGE DR / W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1593346	WARNING (TRAFFIC STOP)
Dec-06-2023	08:32:45	1593384	SEE OFFICER	GO CANCELLED BY COMPLAINANT X	2750 MORRIS RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1593384	CANCELLED
Dec-06-2023	08:57:10	1593491	DISTURBANCE/NOISE COMPLAINT GO	DISTURBANCE/NOISE COMPLAINT GO	3208 FISHER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1593491	GENERAL OFFENSE
Dec-06-2023	10:11:03	1593835	PATROL CHECK CC	PATROL CHECK CC	1700 BLOCK VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1593835	CLOSED CAD CALL
Dec-06-2023	10:23:12	1593900	ALARM - BURGLAR	ALARM FALSE NO FAULT CC	128 BRINDLE CT WORCESTER TWP (MONTGOMERY)	Yes	2023-1593900	CLOSED CAD CALL
Dec-06-2023	10:53:52	1594027	PATROL CHECK CC	PATROL CHECK CC	W GERMANTOWN PIKE / GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1594027	CLOSED CAD CALL
Dec-06-2023	11:07:00	1594088	PATROL CHECK CC	PATROL CHECK CC	S VALLEY FORGE RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1594088	CLOSED CAD CALL
Dec-07-2023	10:10:56	1598154	WELFARE CHECK GO	WELFARE CHECK GO	2702 APPLEWOOD DR WORCESTER TWP (MONTGOMERY)	Yes	2023-1598154	GENERAL OFFENSE
Dec-07-2023	11:38:28	1598453	REQUEST ASSIST - OTHER AGENCY GO	REQUEST ASSIST - OTHER AGENCY GO	2816 MORRIS RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1598453	GENERAL OFFENSE
Dec-07-2023	14:31:34	1599067	MVC - REPORTABLE, NO INJURIES	MVC - INJURIES	KRIEBEL MILL RD / MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1599067	TRACS CRASH REPORT
Dec-07-2023	15:11:09	1599268	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1599268	TRACS CRASH REPORT
Dec-07-2023	16:09:32	1599497	PATROL CHECK CC	PATROL CHECK CC	VALLEY FORGE RD / HICKORY HILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1599497	CLOSED CAD CALL
Dec-07-2023	17:58:47	1599902	ROAD HAZARD - ANIMAL - DEBRIS CC	REFER TO OTHER AGENCY - PD R	W GERMANTOWN PIKE / QUARRY HALL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1599902	REFER
Dec-07-2023	22:28:18	1600445	MVC - NON-REPORTABLE	MVC - DUI - ALCOHOL	3418 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1600445	GO & TRACS (CRASH WITH GO)
Dec-08-2023	08:53:37	1601848	THEFT - FRAUD/FORGERY	THEFT - FRAUD/FORGERY	1800 HAWKS NEST DR WORCESTER TWP (MONTGOMERY)	Yes	2023-1601848	GENERAL OFFENSE
Dec-08-2023	15:13:35	1603331	TERRORISTIC THREATS	SEE OFFICER GO	1005 KRIEBEL MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1603331	GENERAL OFFENSE
Dec-08-2023	16:26:28	1603646	SEE OFFICER	GO SEE OFFICER GO	2026 HOLLIS RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1603646	GENERAL OFFENSE
Dec-09-2023	11:18:58	1606338	DOMESTIC SECURITY CHECK CC	DOMESTIC SECURITY CHECK CC	1600 BLOCK SHEFLEY LN [HEEBNER PARK] WORCESTER TWP (MONTGOMERY)	Yes	2023-1606338	CLOSED CAD CALL
Dec-09-2023	16:14:35	1607270	DOMESTIC - INACTIVE	GO DOMESTIC - OTHER GO	112 MEADOW VIEW LN WORCESTER TWP (MONTGOMERY)	Yes	2023-1607270	GENERAL OFFENSE
Dec-09-2023	18:52:45	1607832	SEE OFFICER	GO SEE OFFICER GO	2120 COUNTRY VIEW LN WORCESTER TWP (MONTGOMERY)	Yes	2023-1607832	GENERAL OFFENSE



# PENNSYLVANIA STATE POLICE

## CAD Call Print Synopsis

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Dec-09-2023	23:30:55	1608409	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	VALLEY FORGE RD / HEEBNER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1608409	TRACS CRASH REPORT
Dec-10-2023	02:47:42	1608784	PATROL CHECK CC	PATROL CHECK CC	2970 W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1608784	CLOSED CAD CALL
Dec-10-2023	12:12:41	1609936	MVC - NON-REPORTABLE	MVC - REPORTABLE, NO INJURIES	263 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2023-1609936	TRACS CRASH REPORT
Dec-10-2023	15:43:04	1610464	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	258 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2023-1610464	CLOSED CAD CALL
Dec-11-2023	06:58:50	1612002	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	2900 BLOCK SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1612002	WARNING (TRAFFIC STOP)
Dec-11-2023	09:48:13	1613014	MVC - REPORTABLE, NO INJURIES	MVC - INJURIES	W GERMANTOWN PIKE / QUARRY HALL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1613014	TRACS CRASH REPORT
Dec-11-2023	10:37:50	1613367	WELFARE CHECK GO	WELFARE CHECK GO	75 CHADWICK CIR WORCESTER TWP (MONTGOMERY)	Yes	2023-1613367	GENERAL OFFENSE
Dec-11-2023	12:47:52	1613877	INTERSTATE HIGHWAY - STATIONARY PATROL CC	INTERSTATE HIGHWAY - STATIONARY PATROL CC	269 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2023-1613877	CLOSED CAD CALL
Dec-11-2023	18:15:08	1615189	DISABLED MOTORIST CC	DISABLED MOTORIST CC	LOCUST DR / PAWLINGS FORD RD [LOCUST DR WORCESTER TWP (MONTGOMERY)	Yes	2023-1615189	CLOSED CAD CALL
Dec-11-2023	18:24:47	1615218	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1615218	TRACS CRASH REPORT
Dec-12-2023	00:49:51	1616006	SEE OFFICER GO	SEE OFFICER GO	52 WHEATSHEAF LN WORCESTER TWP (MONTGOMERY)	Yes	2023-1616006	GENERAL OFFENSE
Dec-12-2023	07:45:22	1616832	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	2500 BLOCK SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1616832	TRAFFIC CITATION
Dec-12-2023	10:53:06	1617797	MVC - INJURIES	MVC - INJURIES AND ENTRAPMENT	W GERMANTOWN PIKE / E MOUNT KIRK AVE WORCESTER TWP (MONTGOMERY)	Yes	2023-1617797	TRACS CRASH REPORT
Dec-12-2023	16:38:13	1619406	PATROL CHECK CC	PATROL CHECK CC	SKIPPACK PIKE / WENTZ CHURCH RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1619406	CLOSED CAD CALL
Dec-13-2023	07:32:31	1621324	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	273 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2023-1621324	CLOSED CAD CALL
Dec-13-2023	11:14:29	1622541	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	SKIPPACK PIKE / SHUTT MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1622541	CLOSED CAD CALL
Dec-13-2023	11:21:20	1622580	DOMESTIC SECURITY CHECK CC	DOMESTIC SECURITY CHECK CC	WREN CT / FISHER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1622580	CLOSED CAD CALL
Dec-14-2023	10:24:30	1626792	IDENTITY THEFT	IDENTITY THEFT	2271 LOCUST DR WORCESTER TWP (MONTGOMERY)	Yes	2023-1626792	GENERAL OFFENSE
Dec-14-2023	12:27:14	1627311	DISABLED MOTORIST ON ROAD CC	DISABLED MOTORIST ON ROAD CC	N TROOPER RD / W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1627311	CLOSED CAD CALL



# PENNSYLVANIA STATE POLICE

## CAD Call Print Synopsis

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Dec-14-2023	22:14:53	1629323	DOMESTIC - INACTIVE	DOMESTIC - OTHER GO	3000 LIBERTY LN WORCESTER TWP (MONTGOMERY)	Yes	2023-1629323	GENERAL OFFENSE
Dec-15-2023	07:45:01	1630413	MVC - NON-REPORTABLE	MVC - GONE ON ARRIVAL	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1630413	CLOSED CAD CALL
Dec-15-2023	11:10:53	1631416	PATROL CHECK CC	PATROL CHECK CC	1700 BLOCK VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1631416	CLOSED CAD CALL
Dec-15-2023	12:01:33	1631644	POLICE INFORMATION CC	POLICE INFORMATION CC	2064 SHEARER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1631644	CLOSED CAD CALL
Dec-15-2023	13:38:08	1631985	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	257 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2023-1631985	CLOSED CAD CALL
Dec-15-2023	15:41:47	1632566	MVC - NON-REPORTABLE	REQUEST ASSIST - OTHER AGENCY GO	MORRIS RD / N WALES RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1632566	GENERAL OFFENSE
Dec-15-2023	16:32:47	1632784	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	SKIPPACK PIKE / SHUTT MILL RD [WORCESTER ELEMENTARY WORCESTER TWP (MONTGOMERY)	Yes	2023-1632784	CLOSED CAD CALL
Dec-15-2023	17:25:59	1632975	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	WOODLYN AVE / N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1632975	CLOSED CAD CALL
Dec-15-2023	20:06:12	1633493	PATROL CHECK CC	SEE OFFICER GO	1750 HOLLOW RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1633493	GENERAL OFFENSE
Dec-16-2023	08:30:36	1635168	MVC - NON-REPORTABLE	MVC - INJURIES	SKIPPACK PIKE / N WHITEHALL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1635168	TRACS CRASH REPORT
Dec-16-2023	16:51:04	1636823	SEE OFFICER GO	TRAF VIOL-DUI ALCOHOL	3406 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1636823	GENERAL OFFENSE
Dec-17-2023	07:44:47	1638842	DOMESTIC - INACTIVE	DOMESTIC - OTHER GO	3407 MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1638842	GENERAL OFFENSE
Dec-17-2023	08:01:09	1638869	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	KRIEBEL MILL RD / GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1638869	CLOSED CAD CALL
Dec-17-2023	11:12:04	1639372	ALARM - BURGLAR	ALARM FALSE NO FAULT CC	2515 LONG MEADOW RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1639372	CLOSED CAD CALL
Dec-17-2023	20:16:00	1640692	ALARM - BURGLAR	ALARM FALSE FAULT CC	3052 SUNNY AYRE DR WORCESTER TWP (MONTGOMERY)	Yes	2023-1640692	CLOSED CAD CALL
Dec-18-2023	00:47:49	1641102	MVC - UNKNOWN INJURIES	MVC - HIT AND RUN, NO INJURIES	2913 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1641102	TRACS CRASH REPORT
Dec-18-2023	04:04:33	1641282	MVC - UNKNOWN INJURIES	MVC - GONE ON ARRIVAL	VALLEY FORGE RD / HICKORY HILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1641282	CLOSED CAD CALL
Dec-18-2023	11:17:15	1643081	DISABLED MOTORIST ON ROAD CC	DISABLED MOTORIST CC	SKIPPACK PIKE / BERKS RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1643081	CLOSED CAD CALL



# PENNSYLVANIA STATE POLICE

## CAD Call Print Synopsis

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Dec-18-2023	12:15:17	1643306	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	2000 BLOCK S VALLEY FORGE RD [WORCESTER ELEMENARY WORCESTER TWP (MONTGOMERY)	Yes	2023-1643306	CLOSED CAD CALL
Dec-18-2023	13:32:14	1643604	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	SKIPPACK PIKE / BUSTARD RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1643604	TRACS CRASH REPORT
Dec-18-2023	15:15:44	1644033	POLICE INFORMATION CC	POLICE INFORMATION CC	2038 HOLLIS RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1644033	CLOSED CAD CALL
Dec-18-2023	17:24:41	1644535	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	1005 KRIEBEL MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1644535	TRACS CRASH REPORT
Dec-18-2023	18:04:28	1644684	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	TOWNSHIP LINE RD / N WHITEHALL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1644684	TRACS CRASH REPORT
Dec-19-2023	06:48:19	1646107	MVC - INJURIES	MVC - INJURIES	W GERMANTOWN PIKE / N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1646107	TRACS CRASH REPORT
Dec-19-2023	08:58:25	1647000	DISABLED MOTORIST ON ROAD CC	DISABLED MOTORIST CC	VALLEY FORGE RD / TOWNSHIP LINE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1647000	CLOSED CAD CALL
Dec-19-2023	08:59:27	1647006	ALARM - BURGLAR	CANCELLED BY COMPLAINANT X	123 MUSTANG WAY WORCESTER TWP (MONTGOMERY)	Yes	2023-1647006	CANCELLED
Dec-19-2023	09:54:34	1647300	SUSPICIOUS VEHICLE GO	CANCELLED BY COMPLAINANT X	2043 BERKS RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1647300	CANCELLED
Dec-19-2023	11:18:35	1647724	PATROL CHECK CC	PATROL CHECK CC	BUSTARD RD / SADDLE WOOD CT WORCESTER TWP (MONTGOMERY)	Yes	2023-1647724	CLOSED CAD CALL
Dec-19-2023	15:51:15	1649033	SEE OFFICER GO	SEE OFFICER GO	STE I - 2750 MORRIS RD [NORTHEAST RAPID DISTRIBUTORS WORCESTER TWP (MONTGOMERY)	Yes	2023-1649033	GENERAL OFFENSE
Dec-19-2023	16:29:49	1649196	THEFT - FRAUD/FORGERY	THEFT - FRAUD/FORGERY	2505 LONG MEADOW RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1649196	GENERAL OFFENSE
Dec-19-2023	19:44:21	1649760	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	DELL RD / WATER STREET RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1649760	CLOSED CAD CALL
Dec-20-2023	10:02:06	1651860	FIREARMS ACT VIOLATIONS	FIREARMS ACT VIOLATIONS	1438 REINER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1651860	GENERAL OFFENSE
Dec-20-2023	12:09:51	1652401	IDENTITY THEFT	IDENTITY THEFT	2271 LOCUST DR WORCESTER TWP (MONTGOMERY)	Yes	2023-1652401	GENERAL OFFENSE
Dec-20-2023	13:14:02	1652664	THEFT	THEFT	3033 PAWLINGS FORD RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1652664	GENERAL OFFENSE
Dec-20-2023	16:13:07	1653495	DISABLED MOTORIST CC	CANCELLED BY COMPLAINANT X	S VALLEY FORGE RD / MORRIS RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1653495	CANCELLED
Dec-20-2023	17:52:38	1653898	SEE OFFICER GO	SEE OFFICER GO	3208 FISHER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1653898	GENERAL OFFENSE
Dec-21-2023	00:07:31	1654791	ALARM - BURGLAR	CANCELLED BY COMPLAINANT X	2095 DEEP MEADOW LN WORCESTER TWP (MONTGOMERY)	Yes	2023-1654791	CANCELLED
Dec-21-2023	08:09:05	1655793	MVC - REPORTABLE, NO INJURIES	MVC - INJURIES	BERKS RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1655793	TRACS CRASH REPORT





# PENNSYLVANIA STATE POLICE

## CAD Call Print Synopsis

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Dec-21-2023	11:44:02	1656687	THEFT	THEFT	1201 OAK CIR WORCESTER TWP (MONTGOMERY)	Yes	2023-1656687	GENERAL OFFENSE
Dec-21-2023	17:18:53	1657991	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	270 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2023-1657991	CLOSED CAD CALL
Dec-22-2023	06:57:55	1659482	ALARM - BURGLAR	ALARM FALSE FAULT CC	1401 REINER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1659482	CLOSED CAD CALL
Dec-22-2023	09:02:46	1660127	SEE OFFICER	GO LANDLORD - DIVORCE - PROPERTY CC	SKIPPACK PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1660127	CLOSED CAD CALL
Dec-22-2023	11:41:46	1660727	THEFT	THEFT	3036 W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1660727	GENERAL OFFENSE
Dec-22-2023	13:11:47	1661018	ALARM - BURGLAR	ALARM FALSE FAULT CC	2518 CRESTLINE DR WORCESTER TWP (MONTGOMERY)	Yes	2023-1661018	CLOSED CAD CALL
Dec-23-2023	09:38:19	1664476	PATROL CHECK CC	PATROL CHECK CC	3300 BLOCK SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1664476	CLOSED CAD CALL
Dec-23-2023	09:45:45	1664508	PATROL CHECK CC	PATROL CHECK CC	S VALLEY FORGE RD / FISHER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1664508	CLOSED CAD CALL
Dec-23-2023	16:56:35	1666707	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	SKIPPACK PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1666707	TRACS CRASH REPORT
Dec-23-2023	17:11:28	1666785	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	271 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2023-1666785	CLOSED CAD CALL
Dec-24-2023	00:45:40	1668204	POLICE INFORMATION CC	POLICE INFORMATION CC	BUSTARD RD / SADDLE WOOD CT WORCESTER TWP (MONTGOMERY)	Yes	2023-1668204	CLOSED CAD CALL
Dec-24-2023	07:04:08	1668830	DISABLED MOTORIST CC	MVC - REPORTABLE, NO INJURIES	2067 WENTZ CHURCH RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1668830	TRACS CRASH REPORT
Dec-24-2023	16:49:41	1670796	WELFARE CHECK GO	WELFARE CHECK GO	2004 MAPLE CIR WORCESTER TWP (MONTGOMERY)	Yes	2023-1670796	GENERAL OFFENSE
Dec-24-2023	18:50:37	1671117	PATROL CHECK CC	PATROL CHECK CC	2111 S VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1671117	CLOSED CAD CALL
Dec-24-2023	22:00:06	1671540	DOMESTIC - INACTIVE	DOMESTIC - OTHER GO	2004 MAPLE CIR WORCESTER TWP (MONTGOMERY)	No	2023-1671540	GENERAL OFFENSE
Dec-25-2023	12:20:23	1672900	SEE OFFICER	GO HARASSMENT - COMM - STALK - OTHER	3359 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1672900	GENERAL OFFENSE
Dec-25-2023	12:54:02	1672955	INTERSTATE HIGHWAY - STATIONARY	INTERSTATE HIGHWAY - STATIONARY	271 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2023-1672955	CLOSED CAD CALL
Dec-26-2023	08:03:13	1674917	PATROL CC ALARM - BURGLAR	PATROL CC CANCELLED BY COMPLAINANT X	2205 WENTZ CHURCH RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1674917	CANCELLED





# PENNSYLVANIA STATE POLICE

## CAD Call Print Synopsis

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Dec-26-2023	20:59:49	1677199	ABANDONED VEHICLE GO	VEHICLE RECOVERED	256 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2023-1677199	PAPER REPORT
Dec-27-2023	08:47:48	1678419	THEFT	THEFT	3151 METHACTON AVE WORCESTER TWP (MONTGOMERY)	Yes	2023-1678419	GENERAL OFFENSE
Dec-27-2023	13:40:31	1679361	THEFT - FRAUD/FORGERY	SEE OFFICER GO	39 HAMPTON CT WORCESTER TWP (MONTGOMERY)	Yes	2023-1679361	GENERAL OFFENSE
Dec-27-2023	14:27:35	1679523	FOUND ITEM GO	FOUND ITEM GO	1591 VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1679523	GENERAL OFFENSE
Dec-27-2023	21:33:39	1680681	REFER TO OTHER AGENCY - PD R	REFER TO OTHER AGENCY - PD R	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1680681	REFER
Dec-27-2023	21:45:28	1680697	MVC - HIT AND RUN, NO INJURIES	MVC - HIT AND RUN, NO INJURIES	N WHITEHALL RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2023-1680697	TRACS CRASH REPORT
Dec-28-2023	06:25:42	1681566	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	2245 SCHULTZ RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1681566	CLOSED CAD CALL
Dec-28-2023	15:46:31	1683898	WELFARE CHECK GO	WELFARE CHECK GO	2005 VALLEY FORGE RD [SONA FUELS WORCESTER TWP (MONTGOMERY)	Yes	2023-1683898	GENERAL OFFENSE
Dec-29-2023	10:16:24	1686732	LOST ITEM - NCIC	LOST ITEM - NCIC	MORRIS RD / S VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1686732	GENERAL OFFENSE
Dec-29-2023	16:23:55	1688236	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	SKIPPACK PIKE / SHUTT MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1688236	CLOSED CAD CALL
Dec-30-2023	11:40:14	1692741	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	HEEBNER RD / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1692741	CLOSED CAD CALL
Dec-30-2023	19:02:17	1695908	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	2258 S VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1695908	TRACS CRASH REPORT
Dec-30-2023	21:50:46	1696887	DOMESTIC - INACTIVE	HARASSMENT - COMM - STALK - OTHER	2846 HIGHVIEW DR WORCESTER TWP (MONTGOMERY)	Yes	2023-1696887	GO & TRACS (CRASH WITH GO)
Dec-31-2023	07:15:55	1698449	ALARM - BURGLAR	ALARM FALSE NO FAULT CC	1893 CASSEL RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1698449	CLOSED CAD CALL
Dec-31-2023	10:22:17	1699410	DOMESTIC SECURITY CHECK CC	DOMESTIC SECURITY CHECK CC	1700 BLOCK VALLEY FORGE RD [HEEBNER PARK WORCESTER TWP (MONTGOMERY)	Yes	2023-1699410	CLOSED CAD CALL
Dec-31-2023	14:35:19	1701124	SEE OFFICER GO	SEE OFFICER GO	2107 BUSTARD RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1701124	GENERAL OFFENSE
Dec-31-2023	15:18:30	1701367	DISABLED MOTORIST CC	DISABLED MOTORIST CC	270 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2023-1701367	CLOSED CAD CALL
Dec-31-2023	17:47:06	1702262	SEE OFFICER GO	SEE OFFICER GO	1441 N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2023-1702262	GENERAL OFFENSE

Prepared by and return to:  
Wendy Feiss McKenna, Esquire  
Robert L. Brant & Associates, LLC  
572 W. Main Street  
P.O. Box 26865  
Trappe, PA 19426  
Phone: 610-489-9199

PREMISES: portion of 1330 Dell Road,  
Worcester Township,  
Montgomery County, Pennsylvania

PART OF PARCEL NOS.: 67-00-01022-41-4  
67-00-01022-44-1

**STORM WATER MANAGEMENT FACILITIES EASEMENT AGREEMENT**

THIS EASEMENT AGREEMENT ("Agreement") is made this 16<sup>th</sup> day of January, 2024, by and between JOHN G. CZOP and MARISSA G. CZOP, of 1330 Dell Road, Norristown, Montgomery County, Pennsylvania, 19403 (hereinafter, collectively referred to as "Grantor") and WORCESTER TOWNSHIP, a municipality located in Montgomery County, Pennsylvania, and having an address of 1721 Valley Forge Road, Worcester, Montgomery County, Pennsylvania, 19490 (hereinafter referred to as "Grantee").

**BACKGROUND**

A. Grantors are the legal owners of certain parcels of land located at 1330 Dell Road, Norristown, Worcester Township, Montgomery County, Pennsylvania, 19403, which parcels are more particularly identified as Montgomery County Tax Parcel Numbers 67-00-01022-41-4 and 67-00-01022-44-1 (the "Grantor Property").

B. The Grantor Property is depicted on a plan prepared by McMahon Associates, Inc. dated February 24, 2022, a copy of which is attached hereto and identified as Exhibit "A" (the "**Plan**").

C. Grantee has requested a 2,977.76 square foot permanent storm water management facilities easement on, over, under and through the Grantor Property ("**Storm Water Management Facilities Easement**"). The Storm Water Management Facilities Easement is necessary to enable the Grantee to install, maintain, repair or replace certain storm water management facilities and related improvements (hereinafter collectively referred to as the "**Improvements**") on the Grantor Property.

D. The portion of the Grantor Property to be used for the Storm Water Management Facilities Easement (the "**Easement Area**") is more fully described in the legal description attached hereto as Exhibit "B".

E. Grantors are willing to grant such easements on, over, under and through the Easement Area on the Grantor Property to Grantee subject to the terms and conditions of this Agreement.

**NOW THEREFORE**, in consideration of the mutual covenants and promises herein contained, as well as the sum of One Dollar (\$1.00), and for other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the parties hereto, intending to be legally bound hereby, agree as follows:

1. GRANT OF STORM WATER MANAGEMENT FACILITIES

EASEMENT. Grantors, on behalf of themselves and their heirs, personal representatives, successors and assigns, hereby grant to Grantee, its agents, servants, workers, employees, contractors, subcontractors, independent contractors and material suppliers, for the purposes set forth herein, and subject to the restrictions and conditions contained herein, the full, perpetual, uninterrupted, right, right-of-way, privilege and easement on, over, under, across and through the Easement Area on the Grantor Property, as depicted on the Plan attached hereto as Exhibit "A", and as more particularly described in the legal description attached hereto as Exhibit "B", for the purposes of the installation, access, use, operation, maintenance, repair, and replacement of the Improvements located, or to be located, within the Easement Area, and located, or to be located, on adjoining properties in accordance with the Plan. Specifically, and not in limitation of the foregoing, Grantee shall have the right to: (a) enter onto the Easement Area in order to install, operate, inspect and perform maintenance and repairs to the Improvements on the Grantor Property and, if applicable, any related storm water management facilities on adjoining and adjacent properties; (b) to replace all or any portion of the Improvements; and (c) to perform excavation, grading or other work necessary in connection with the foregoing. Grantee shall provide the Grantor 72 hours' notice prior to its exercise of the rights provided in this Storm Water Management Facilities Easement, except in the event of emergency.

2. WORK WITHIN THE EASEMENT AREA. All work to be performed on and access to or through the Grantor Property by Grantee pursuant to this Agreement shall be performed at reasonable times, upon 72 hours' advance notice (except in the case of emergency), and shall be completed as promptly as is reasonably possible.

3. RESTORATION OF EASEMENT AREA. Upon completion of any work related to the installation, maintenance, repair or replacement of the Improvements on the Grantor Property and, if applicable, any related storm water management facilities on adjoining and adjacent properties by Grantee or its employees, agents or contractors, the Grantee shall restore the portions of the Grantor Property affected by such work to a condition substantially similar to that which existed immediately prior to the commencement of such work, subject however, to the construction and modification of the Improvements as contemplated on the Plan.

4. MAINTENANCE OBLIGATION. Grantors, on behalf of themselves and their heirs, personal representatives, successors and assigns, hereby agree that Grantors, at their sole expense, shall be responsible for the maintenance of the surface of the Easement Area. Grantee shall be responsible, at its sole expense, for the maintenance of the Improvements located within the Easement Area. Grantee shall be solely responsible for maintenance of the PR infiltration bed depicted on Exhibit "A."

5. RESERVATIONS TO GRANTORS. Except to the extent

inconsistent with the easements granted to Grantee hereunder, and the other rights and obligations granted herein, Grantors, their heirs, personal representatives, successors and assigns, shall have the right to use and enjoy all areas of the Grantor Property including the Easement Area.

6. **RESTRICTIONS ON GRANTOR'S USE.** Grantors agree for themselves, their contractors, employees and invitees, and their heirs, successors and assigns:

a. That they will not do or fail to do anything which would unreasonably interfere with Grantee's use of the Easement Area;

b. That they will not erect any building, barrier, fence or other structure or improvement within the Easement Area;

c. That they will not plant any new trees or other plant life which could interfere with the Improvements within the Easement Area; and

d. That they will not modify the grade of all or any portion of the Easement Area.

e. Grantors may perform grading and install berms or fences outside of the Easement Area, subject to compliance with the Township Code and all applicable regulations.

7. **GENERAL PROVISIONS.**

a. **Entire Agreement.** The terms set forth in this Agreement are intended by the parties hereto as a final expression of their agreement with respect to such terms and may not be contradicted by evidence of any prior agreement or of any contemporaneous oral agreement. This Agreement may not be amended or modified by any act or conduct, unless reduced to a writing signed by the parties hereto, their heirs, personal representatives, successors or assigns. In the event of any ambiguity or mistake contained herein, or any dispute among the parties with respect to any provisions hereof, no provision of this Agreement shall be construed against any of the parties solely on the basis that such party or its counsel was the drafter thereof.

b. **Controlling Law.** This Agreement shall be interpreted and enforced in accordance with the laws of the Commonwealth of Pennsylvania.

c. **Counterparts.** This Agreement may be executed in any number of counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same agreement.

d. **Successors and Assigns.** This Agreement shall be binding upon and inure to the benefit of Grantors and Grantee



and their respective heirs, personal representatives, successors and assigns.

e.     Headings. The headings incorporated in this Agreement are for convenience and reference only and are not a part of this Agreement and do not in any way control, define, limit, or add to the terms and provisions hereof.

f.     Recording. This Agreement is intended to be, and shall be, recorded in the Office of the Recorder of Deeds of Montgomery County, Pennsylvania, at the sole expense of Grantee.

g.     Obligations to Run With the Land. The covenants, restrictions and obligations of this Agreement shall be perpetual, and shall be deemed covenants running with the Grantor Property.

[Signature page to follow]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed on the dates set forth below.

**GRANTORS:**

1/16/2024  
Date

John G. Czop  
John G. Czop

1/16/2024  
Date

Marissa G. Czop  
Marissa G. Czop

**GRANTEE:  
WORCESTER TOWNSHIP**

1/17/2024  
Date

By: Richard DeLello  
Richard DeLello, Chairperson  
Board of Supervisors

1/16/2024  
Date

Attest: Sean Halbom  
Sean Halbom, MPA  
Secretary

COMMONWEALTH OF PENNSYLVANIA :

SS

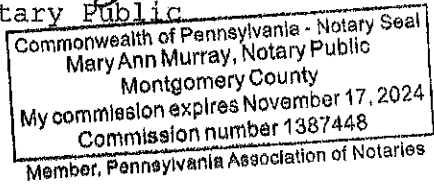
COUNTY OF MONTGOMERY :

On this, the 16<sup>th</sup> day of January, 2024, before me, the undersigned officer, a Notary Public for the Commonwealth of Pennsylvania, personally appeared **JOHN G. CZOP**, known to me or satisfactorily proven to be the person whose name is subscribed to the foregoing instrument, and acknowledged that he executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

*Mary C Murray*

Notary Public



COMMONWEALTH OF PENNSYLVANIA :

SS

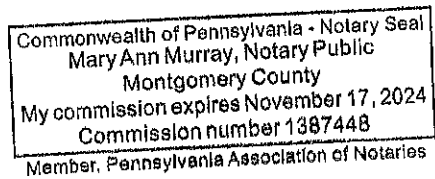
COUNTY OF MONTGOMERY :

On this, the 16<sup>th</sup> day of January, 2024, before me, the undersigned officer, a Notary Public for the Commonwealth of Pennsylvania, personally appeared **MARISSA G. CZOP**, known to me or satisfactorily proven to be the person whose name is subscribed to the foregoing instrument, and acknowledged that she executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

*Mary C Murray*

Notary Public



COMMONWEALTH OF PENNSYLVANIA :

SS

COUNTY OF MONTGOMERY :

On this, the 17<sup>th</sup> day of January, 2024, before me, the undersigned officer, personally appeared **RICHARD DeLELLO**, who acknowledged himself to be the Chairperson of the **Board of Supervisors of Worcester Township**, and that he as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the Township by himself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

*Mary Ann Murray*

Notary Public

Commonwealth of Pennsylvania - Notary Seal  
Mary Ann Murray, Notary Public  
Montgomery County  
My commission expires November 17, 2024  
Commission number 1387448  
Member, Pennsylvania Association of Notaries

Exhibit A

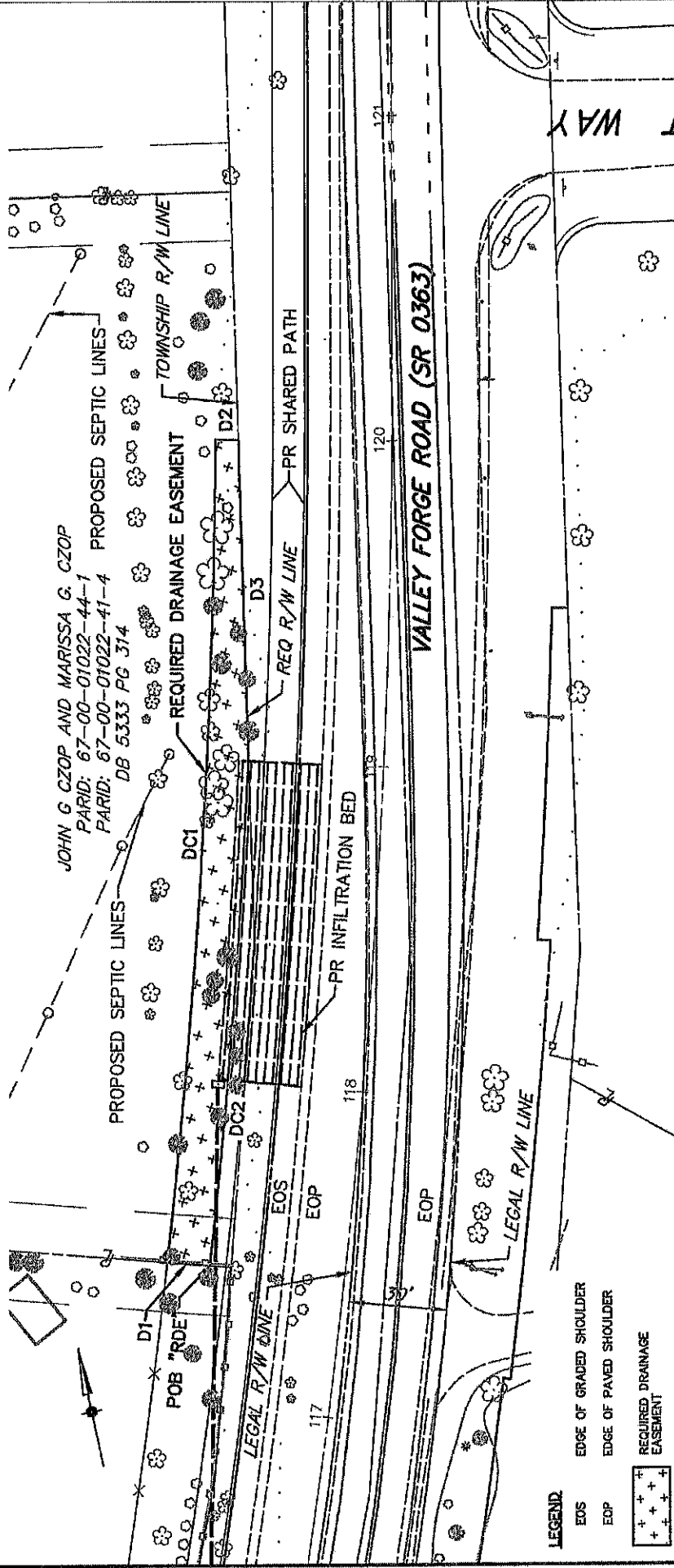
PLAN



LINE	BEARING	DISTANCE
D1	N74°55'57"W	13.00'
D2	S78°57'08"E	7.21'
D3	S08°47'57"W	97.73'

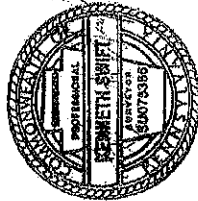
LINE	RADIUS	LENGTH	CHORD BRG	CHORD
DC1	2448.02'	252.77'	N14°00'35"E	252.65'
DC2	2458.00'	158.00'	S15°08'33"W	155.97'

AREA =	2977.76 SF, 0.068 AC
--------	----------------------



- LEGEND**
- EOS EDGE OF GRADED SHOULDER
  - EOP EDGE OF PAVED SHOULDER
  - REQUIRED DRAINAGE EASEMENT

**PLAN OF REQUIRED DRAINAGE EASEMENT  
FROM THE LANDS OF JOHN G. CZOP AND MARISSA G. CZOP  
(PARID# 67-00-01022-44-1 & 67-00-01022-41-4)**



425 COMMERCE DRIVE  
SUITE 200  
FT WASHINGTON, PA. 19034  
TELE: (215)-283-9444  
FAX: (215)-283-9447



FEBRUARY 24, 2022  
JOB #19493.2A  
SCALE: 1" = 30'  
SHEET: 1 of 1  
WORCESTER TOWNSHIP  
MONTGOMERY COUNTY



February 24, 2022

**DESCRIPTION OF REQUIRED DRAINAGE EASEMENT OVER  
LANDS OF JOHN G. CZOP AND MARISSA G. CZOP  
(PARID #67-00-01022-44-1 & 67-00-01022-41-4)**

All that certain required pieces of land situate in the Township of Worcester, County of Montgomery, Commonwealth of Pennsylvania. Being part of land further described in an indenture dated the 26th day of August 2000 in Deed Book 5333 Page 314 and recorded at Norristown in the Office for the Recorder of Deeds of Montgomery County, Pennsylvania. Bounded and described in accordance with a plan made by McMahon Associates, Inc., Fort Washington, PA, entitled "PLAN OF REQUIRED DRAINAGE EASEMENT FROM THE LANDS OF JOHN G. CZOP AND MARISSA G. CZOP (PARID# 67-00-01022-44-1 & 67-00-01022-41-4)" dated February 24, 2022, as follows to wit;

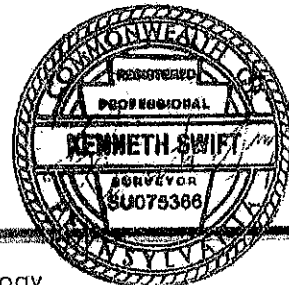
Beginning at a point of intersection of the westerly ultimate right-of-way line of Valley Forge Road (SR 0363) with southerly property line of lands of John G. Czop and Marissa G. Czop; extending thence the following courses:

- 1) Along the southerly property line of lands of John G. Czop and Marissa G. Czop, North 74 degrees 55 minutes 37 seconds West, a distance of 13.00 feet to a point.

Thence, through portions of lands of John G. Czop and Marissa G. Czop the following two courses:

- 2) On a curve to the left having a radius of 2,446.02 feet, an arc length of 252.77 feet, a central angle of 05 degrees 55 minutes 15 seconds, and being subtended by a chord bearing North 14 degrees 00 minutes 35 seconds East, a chord distance of 252.65 feet to a point.
- 3) Thence, South 78 degrees 57 minutes 09 seconds East, a distance of 7.21 feet to a point on the westerly right-of-way line of Valley Forge Road.
- 4) Thence, along the westerly required right-of-way line of Valley Forge Road, South 08 degrees 47 minutes 37 seconds West, a distance of 97.73 feet to a point of curvature.
- 5) Thence, along the westerly required right-of-way line of Valley Forge Road, on a curve to the right having a radius of 2,458.00 feet, an arc length of 156.00 feet, a central angle of 03 degrees 38 minutes 11 seconds, and being subtended by a chord bearing South 15 degrees 08 minutes 33 seconds West, a chord distance of 155.97 feet to the point and place of beginning.

Containing 2977.76 square feet, or 0.068 acres.



Prepared by and return to:  
Wendy Feiss McKenna, Esquire  
Robert L. Brant and Associates, LLC  
572 West Main Street  
P.O. Box 26865  
Trappe, PA 19426  
610-489-9199

PREMISES: portion of 1330 Dell Road,  
Worcester Township,  
Montgomery County, Pennsylvania

PART OF PARCEL NOS.: 67-00-01022-41-4  
67-00-01022-44-1

**DEED OF DEDICATION OF STREET RIGHT-OF-WAY**

THIS INDENTURE, made this 16<sup>th</sup> day of January,  
2024, by and between, **JOHN G. CZOP and MARISSA G. CZOP**, of 1330  
Dell Road, Norristown, Pennsylvania, 19403, party of the first  
part (hereinafter called the "Grantors"); and

**WORCESTER TOWNSHIP**, a Pennsylvania Second Class Township,  
with offices at 1721 Valley Forge Road, Worcester, Montgomery  
County, Pennsylvania, 19490, party of the second part (hereinafter  
called the "Grantee").

**WITNESSETH:**

That the said Grantors, for and in consideration of the sum  
of One Dollar (\$1.00) in hand paid, the advantages to it accruing  
as well as for divers and other considerations affecting the public  
welfare which they seek to advance, have granted, conveyed,

bargained, sold, aliened, enfeoffed, released and confirmed, and by these presents, do grant, convey, bargain, sell, alien, enfeoff, release and confirm unto the said Grantee, its successors and assigns:

**ALL THAT CERTAIN** lot or piece of ground being a portion of the ultimate right-of-way associated with Valley Forge Road, located in Worcester Township, Montgomery County, Pennsylvania, as more fully described and attached hereto as Exhibit "A", and incorporated herein as though more fully set forth at length, specifically excepting therefrom any and all materials, lines, wires, pipes, connections, laterals or other facilities of any inground utility or right-of-way associated therewith, owned by or within the control of any municipal, state, or federal agency or any individual, corporation or entity other than Worcester Township.

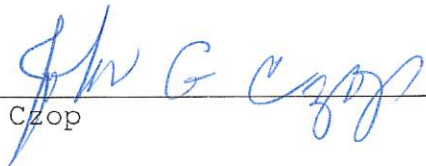
**TO HAVE AND TO HOLD**, the said lot or piece of ground being the ultimate right-of-way as described in the legal description attached as Exhibit "A" and depicted on the plan attached as Exhibit "B," both made a part hereof, unto the said Grantee, to and for the only proper use and behoove of the said Grantee, its successors and assigns forever, as long as used for a public thoroughfare and a street and for no other purpose and use whatsoever and to the same extent and with the same effect as if the said public street had been opened by Decree of Court, after proceedings duly had for that purpose under and in pursuance of the statutes of the Commonwealth of Pennsylvania.

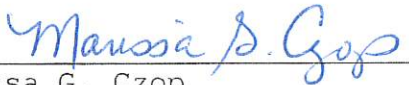
AND, the said Grantors, for themselves, their heirs, administrators, successors and assigns, by these presents, covenant, promise and agree to and with the said Grantee, its successors and assigns, that neither the Grantors nor their heirs, administrators, successors and assigns, shall or will, at any time hereafter, ask, demand or recover or receive of or from the said Grantee, its successors and assigns, any sum or sums of money as and for damages for or by reason of the physical grading, maintenance, relocation, repair or replacement of the said public street and that neither the said Grantors, nor their heirs, administrators, successors and assigns, shall now or at any time hereafter, ask, demand, recover or receive any damages or compensation by reason of said activities.

AND, the said Grantors, for themselves, their heirs, administrators, successors and assigns, do, by these presents further covenant, promise and agree to and with the said Grantee, its successors and assigns, that the said lot or piece of ground described in Exhibit "A" attached hereto shall be confirmed unto the said Grantee, its successors and assigns, and against it, the said Grantors, their heirs, administrators, successors and assigns, and against all and any person or persons whomsoever lawfully claiming or to claim to same or any part thereof, by, from or under it or them or any of them, shall or will warrant and forever defend.

IN WITNESS WHEREOF, the said Grantors have hereunto set their hands and seals the date and year first above written, intending to be legally bound hereby.

**GRANTORS:**

  
\_\_\_\_\_  
John G. Czop

  
\_\_\_\_\_  
Marissa G. Czop

COMMONWEALTH OF PENNSYLVANIA :

SS

COUNTY OF MONTGOMERY :

On this, the 16<sup>th</sup> day of January, 2024, before me, the undersigned officer, a Notary Public for the Commonwealth of Pennsylvania, personally appeared **JOHN G. CZOP**, known to me or satisfactorily proven to be the person whose name is subscribed to the foregoing instrument, and acknowledged that he executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

*Mary C Murray*

Notary Public

Commonwealth of Pennsylvania - Notary Seal  
Mary Ann Murray, Notary Public  
Montgomery County  
My commission expires November 17, 2024  
Commission number 1387448  
Member, Pennsylvania Association of Notaries

COMMONWEALTH OF PENNSYLVANIA :

SS

COUNTY OF MONTGOMERY :

On this, the 16<sup>th</sup> day of January, 2024, before me, the undersigned officer, a Notary Public for the Commonwealth of Pennsylvania, personally appeared **MARISSA G. CZOP**, known to me or satisfactorily proven to be the person whose name is subscribed to the foregoing instrument and acknowledged that she executed same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

*Mary C Murray*

Notary Public

Commonwealth of Pennsylvania - Notary Seal  
Mary Ann Murray, Notary Public  
Montgomery County  
My commission expires November 17, 2024  
Commission number 1387448  
Member, Pennsylvania Association of Notaries

**Exhibit "A"**

**Legal Description**



McMahon Associates, Inc.  
425 Commerce Drive, Suite 200  
Fort Washington, PA 19034  
P. 215.283.9444  
mcmahonassociates.com

January 20, 2022

**DESCRIPTION OF REQUIRED RIGHT-OF-WAY FOR WORCESTER TOWNSHIP FROM LANDS  
OF JOHN G. CZOP AND MARISSA G. CZOP  
(PARID #67-00-01022-44-1 & 67-00-01022-41-4)**

All that certain required pieces of land situate in the Township of Worcester, County of Montgomery, Commonwealth of Pennsylvania. Being part of land further described in an indenture dated the 26th day of August 2000 in Deed Book 5333 Page 314 and recorded at Norristown in the Office for the Recorder of Deeds of Montgomery County, Pennsylvania. Bounded and described in accordance with a plan made by McMahon Associates, Inc., Fort Washington, PA, entitled "PLAN OF REQUIRED RIGHT-OF-WAY FOR WORCESTER TOWNSHIP FROM LANDS OF JOHN G. CZOP AND MARISSA G. CZOP (PARDID# 67-00-01022-44-1 & 67-00-01022-41-4)" dated December 17, 2021, as follows to wit;

Beginning at a point of intersection of the westerly ultimate right-of-way line of Valley Forge Road (SR 0363) with southerly property line of lands of John G. Czop and Marissa G. Czop; extending thence the following courses:

- 1) Along the southerly property line of lands of John G. Czop and Marissa G. Czop, North 74 degrees 55 minutes 37 seconds West, a distance of 6.63 feet to a point.
- 2) Thence, through portions of lands of John G. Czop and Marissa G. Czop, on a curve to the left having a radius of 2,458.00 feet, an arc length of 156.00 feet, a central angle of 03 degrees 38 minutes 11 seconds, and being subtended by a chord bearing North 15 degrees 08 minutes 33 seconds East, a chord distance of 155.97 feet to a point in the westerly ultimate right-of-way line of Valley Forge Road.

Thence, along the westerly ultimate right-of-way line of Valley Forge Road the following two courses:

- 3) South 08 degrees 47 minutes 37 seconds West, a distance of 58.34 feet to a point.
- 4) Thence, South 15 degrees 02 minutes 07 seconds West, a distance of 97.98 feet to the point and place of beginning.

Containing 699.50 square feet, or 0.016 acres.





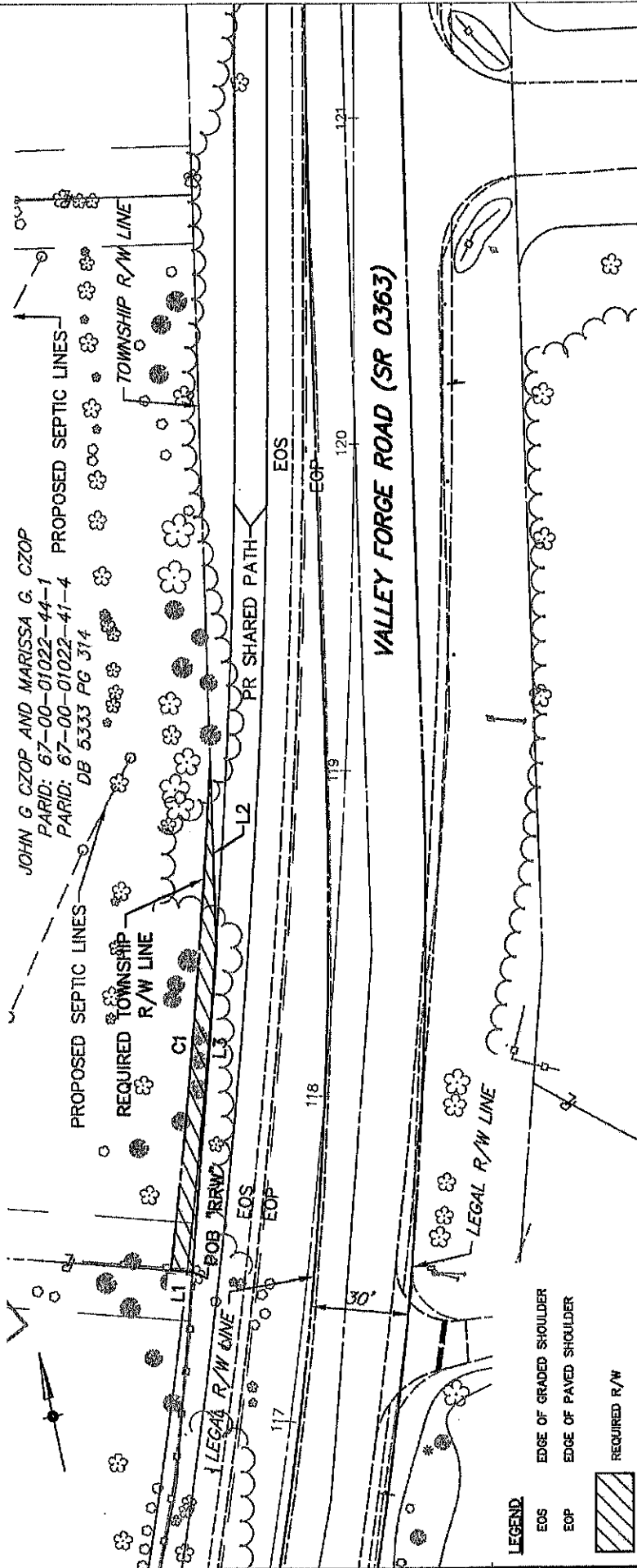
Exhibit "B"

Plan

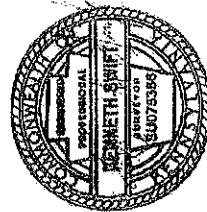
REQUIRED RIGHT-OF-WAY LINE TABLE		
LINE	BEARING	DISTANCE
L1	N74°58'37"W	6.83'
L2	S08°47'37"W	58.34'
L3	S15°02'07"W	97.98'

REQUIRED RIGHT-OF-WAY CURVE TABLE			
LINE	RADIUS	CHORD BRG	CHORD
C1	2458.00	N15°08'33"E	155.97

TOTAL AREA OF REQUIRED RIGHT-OF-WAY AREA = 889.50 SF. 0.016 AC
--



PLAN OF REQUIRED RIGHT-OF-WAY FOR WORCESTER TOWNSHIP  
 FROM THE LANDS OF JOHN G. CZOP AND MARISSA G. CZOP  
 (PARID# 67-00-01022-44-1 & 67-00-01022-41-4)



425 COMMERCE DRIVE  
 SUITE 200  
 FT WASHINGTON, PA. 19034  
 TELE: (215)-283-9444  
 FAX: (215)-283-9447



DECEMBER 17, 2021  
 JOB #819493.2A  
 SCALE: 1" = 30'  
 SHEET: 1 of 1  
 WORCESTER TOWNSHIP  
 MONTGOMERY COUNTY



Eastburn and Gray, PC

Attorneys at Law

**Marc D. Jonas, Esquire**

470 Norristown Road, Suite 320

Blue Bell, PA 19422

(215) 542-9345

[mjonas@eastburngray.com](mailto:mjonas@eastburngray.com)

November 14, 2023

Worcester Township  
ATTN: Sean Halbom  
1721 South Valley Forge Road  
P.O. Box 767  
Worcester, PA 19490

**RE: Conditional Use Application for Variety – The Children’s Charity of the Delaware Valley**

Dear Mr. Halbom:

On behalf of the applicant, Variety – The Children’s Charity of the Delaware Valley, enclosed are the following materials submitted relating to our client’s application for a conditional use:

1. 10 copies of the completed and signed Worcester Township application for conditional use including an explanatory addendum to the application.
2. 10 copies of the deed to the subject property.
3. 10 copies of the Lighting System plan, sheets 1-8, prepared by Musco Lighting, dated November 13, 2023.
4. A check in the amount of \$1,000.00 payable to Worcester Township for the application fee.
5. A flash drive containing a pdf of all application materials.

Please confirm receipt of the application, timestamp a copy of the application, and return to us.

Please provide us with notice of the date and time of the hearing on the application and of any other meeting at which the application will be discussed. Please send to us copies of any review letters or other communications received or sent by the Township relating to the application.

Should you have any questions or require additional information, please contact us.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marc D. Jonas". The signature is written in a cursive, flowing style with a prominent loop at the end of the last name.

MARC D. JONAS

# Bowman

January 16, 2024

Sean Halbom, Township Manager  
Township of Worcester  
1721 Valley Forge Road  
PO Box 767  
Worcester, PA 1940-0767

RE: Conditional Use Application – Lighting Review – Variety Charity Turf Field (Musco Lighting)  
Variety – the Children’s Charity of the Delaware Valley  
2950 Potshop Road, Norristown - Worcester Township, Montgomery County, PA  
Parcel #67-00-028420-00-7  
Bowman Project #313950-01-001

Dear Mr. Halbom:

In response to your request, Bowman has completed an independent review of the site lighting plans, with a focus on the sports field lighting at the proposed development to be located at 2950 Potshop Road in Worcester Township, Montgomery County, PA.

The following documents were reviewed in preparation of our comments:

- Variety Charity Turf Field prepared by Musco Lighting last revised 1/9/24 (229037H-Rev 1.pdf).

Based on our review of the document listed above, Bowman offers the following comments for consideration by the Township and action by the applicant.

**Zoning Ordinance Section 150-11.C.2.b. notes the following:**

*Outdoor recreational facilities and uses including sports fields, playgrounds, play courts, swimming pools, tree houses, ropes courses, amphitheaters, and other similar facilities. Outdoor recreational facilities are primarily for the use of special needs camp, school/developmental center students and staff, while also being available for rental and community use. The illumination of any outdoor recreational facility is permitted by conditional use approval of the Board of Supervisors in accordance with §150-215.*

With a review focused primarily on the sports field lighting, the plans provided show four athletic field lights with pole heights of 70 feet.

In accordance with Zoning Ordinance Section 150-200, Exterior Lighting, we offer the following comments:

**Note: This review focused solely on the sports field lighting as part of the Conditional Use Application.**

1. *150-200B(2): Notwithstanding the height limitation set forth in § 150-200A, exterior lighting of athletic fields on the grounds of a public or private high school shall be permitted to exceed 12 feet in*

height above grade when a conditional use is granted by the Township Board of Supervisors. The maximum pole height, the number of poles, the location of poles and the screening of the fixtures shall be approved by the Board of Supervisors to ensure that such lighting complies with the requirements of this section. No light pole heights shall be approved any higher than necessary to achieve safe, appropriate levels of illumination of an entire field for athletic events, without permitting the spillage of illumination off the school property in excess of the limitations set forth below. Notwithstanding anything in this Subsection B(2) to the contrary, no light pole shall be approved which exceeds 85 feet in height.

And;

150-200B(5): *The intensity of illumination projected onto a neighboring residentially zoned property or right-of-way shall not exceed 0.1 horizontal footcandles measured three feet above the ground and 0.5 vertical footcandles measured five feet above the ground (with the meter for vertical measurement aimed at the brightest fixture bank) at the property line or edge of pavement in the case of an abutting right-of-way.*

- **The plan submitted does present computer modeled photometric measurements along the property line for both horizontal and vertical illuminance; however, the plan does not present the whether the horizontal and vertical calculation points are placed 3 feet above the ground for horizontal and 5 feet above the ground aimed at the brightest fixture bank, as required under 150-200B(5). Update plan drawings accordingly and make the computer aided lighting analysis software file available for further review, as necessary by the Township.**
2. 150-200B(4): *Lighting plans and fixtures shall be designed by a certified lighting professional employed by a lighting system manufacturer or lighting engineering firm or lighting consulting firm and shall incorporate the maximum cutoff design which is reasonably possible in order to eliminate preventable light or glare spillover to adjacent properties, abutting rights-of-way, or the sky above the illuminated fields. Glare control and light trespass shall be achieved primarily through the use of such means as cutoff fixtures, shields and baffles, and the appropriate application of fixture mounting height, wattage, aiming angle and placement as approved by the Township or any professional consultants it chooses to employ. Vegetative screens shall not be employed to serve as the primary means for controlling glare. However, vegetative screens may be required as a secondary means for controlling glare as approved or required by the Township in its conditional use decision.*
- **In a previous review letter from CKS to the Township (Dated 12/5/23) – cut sheets of the proposed lighting, including poles, luminaires, and foundations must be included in future submissions. Only cut sheets of the luminaires were provided. Furthermore, arrangement of fixture in each fixture bank shall be included in the plans. A complete submission must be provided for a comprehensive review.**

3. 150-200B(7): *Lighting system controls shall be designed to permit the automatic and manual limitation and adjustment of both the times when any lighted field is illuminated and the intensity of the illumination on any field in accordance with this section.*

And,

*150-200B(10): All activities or events proposed for a lighted field shall be scheduled so that they shall be expected to end no later than 9:00 p.m. prevailing time Monday through Thursday and no later than 10:00 p.m. prevailing time Friday and Saturday. No use of the lights shall be permitted on Sundays. An additional 1/2 hour of lighting at a reduced intensity shall be permitted after the conclusion of an activity or event to allow for the safe exit of participants and spectators from the premises and the cleanup of the field and surrounding area.*

And,

*150-200B(12): No field shall be lighted in the early morning for practices or other permitted activities. No field shall be lighted during any time when no activity is taking place on the field or when an activity on that field can be conducted safely in natural lighting.*

- **The system controls are currently not specified in the plans. Provide details on the proposed system controls to meet 150-200B(7) and accommodations to prevent prohibited times of use in accordance with 150-200B(10) and 150-200B(12).**
- **In a previous review letter from CKS to the Township (Dated 12/5/23) – The applicant’s consultant should refer to Z.O. Section 150-215 to provide sufficient plans that demonstrate that there will be no adverse effect on neighboring land uses in any way and shall not impose upon its neighbors in any way but rather blend in with them in a harmonious manner. Furthermore, ask that the hours and days of the week that the field is permitted to be lighted by the Township be noted on the plans that will be recorded and also specified within any resolution to that approves the project.**

We trust that this review letter responds to your request. If you or the Township have any questions, or require clarification, please contact me or Casey Moore, P.E., Principal-in-Charge at Bowman.

Sincerely,



John W. Fuller, P.E  
Sr. Project Manager, ITS and Lighting Lead

JWF/CAM

cc: John Evarts, P.E., CKS Township Engineer (via email)  
Wendy Feiss McKenna, Esquire, Township Solicitor (via email)  
Variety – The Children’s Charity of Delaware (via email)  
File

Q:\PA-FTWA-MC\MCM\eng\WORCETO1\XXXXXX-XX-XXX - Variety Grading\Correspondence\2024-1-15 sample letter.docx



**Variety – the Children’s Charity of the Delaware Valley**  
Worcester, PA

**Lighting System**

Pole/Fixture Summary						
Pole ID	Pole Height	Mtg Height	Fixture Qty	Luminaire Type	Load	Circuit
P1-P16	12'	12'	1	Cree OSQ	0.10 kW	B
R1-R14	12'	12'	1	Cree OSQ	0.10 kW	B
S1-S4	70'	70'	1	TLC-LED-1200	1.17 kW	A
		70'	7	TLC-LED-1500	9.87 kW	A
<b>34</b>			<b>62</b>		<b>47.28 kW</b>	

Circuit Summary			
Circuit	Description	Load	Fixture Qty
A	Soccer	44.16 kW	32
B	Parking	3.12 kW	30

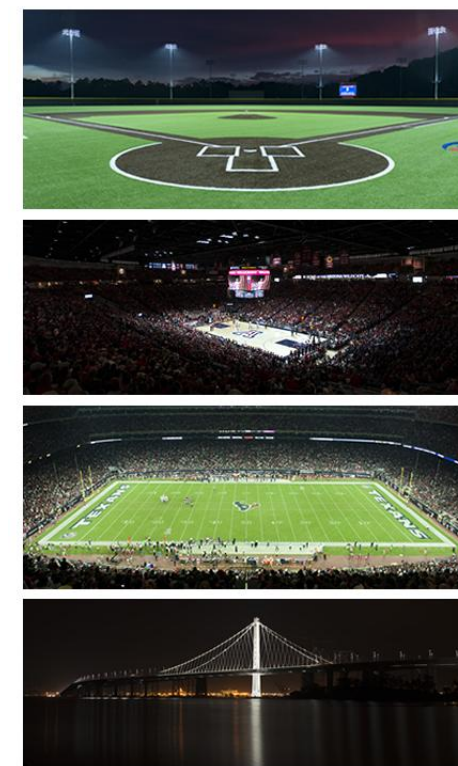
Fixture Type Summary							
Type	Source	Wattage	Lumens	L90	L80	L70	Quantity
Cree OSQ	LED 5700K - 70 CRI	104W	14,229	--	--	--	16
Cree OSQ	LED 5700K - 70 CRI	104W	14,973	--	--	--	14
TLC-LED-1200	LED 5700K - 75 CRI	1170W	150,000	>120,000	>120,000	>120,000	4
TLC-LED-1500	LED 5700K - 75 CRI	1410W	181,000	>120,000	>120,000	>120,000	28

Single Luminaire Amperage Draw Chart							
Driver Specifications (.90 min power factor)	Line Amperage Per Luminaire (max draw)						
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
Single Phase Voltage							
CREE OSQ	-	-	-	-	0.3	-	0.2
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6

**Light Level Summary**

Calculation Grid Summary									
Grid Name	Calculation Metric	Illumination					Circuits	Fixture Qty	
		Ave	Min	Max	Max/Min	Ave/Min			
Parking	Horizontal	2.33	0	13	117.84		B	30	
Property Spill - HZ	Horizontal	0	0	0	0.00		A,B	62	
Property Spill - VT	Max Vert Illuminance (by Light Bank)	0.06	0	2	1060.77		A,B	62	
Roadway	Horizontal	2.24	0	8	22.83		B	30	
Soccer	Horizontal Illuminance	51.8	45	64	1.43	1.15	A	32	

**From Hometown to Professional**



SHEET 1 OF 8



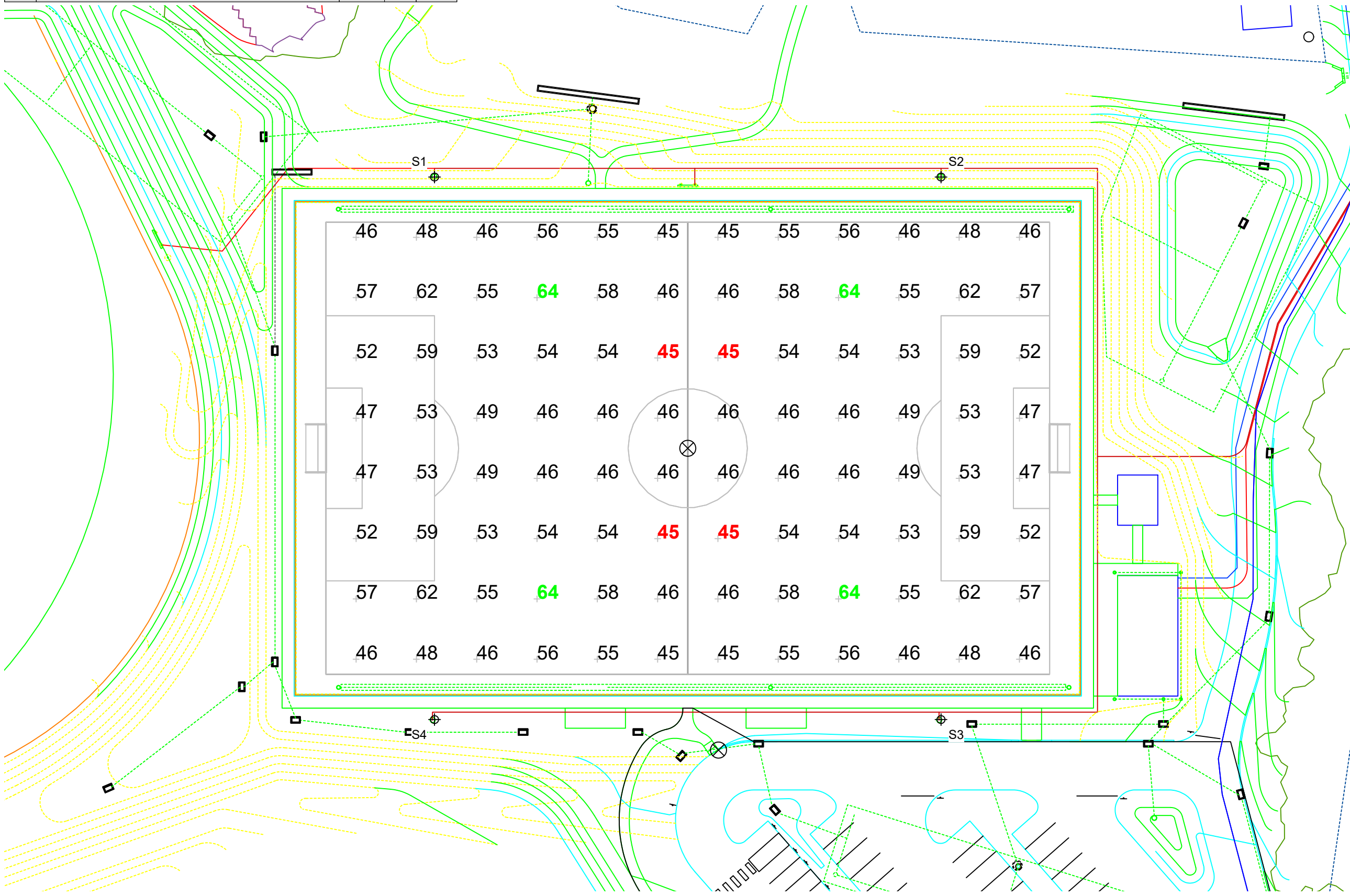
**We Make It Happen.**

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Equipment List For Areas Shown				Luminaires				
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
4	S1-S4	70'	-	70.0'	TLC-LED-1200	1	1	0
				70.0'	TLC-LED-1500	7	7	0
4				Totals		32	32	0

Grid Summary	
Name	Soccer
Size	360' x 225'
Spacing	30.0' x 30.0'
Height	3.0' above grade

Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Guaranteed Average	50
Scan Average	51.77
Maximum	64
Minimum	45
Avg/Min	1.16
Guaranteed Max/Min	2
Max/Min	1.43
UG (adjacent pts)	1.29
CU	0.78
No. of Points	96
<b>LUMINAIRE INFORMATION</b>	
Applied Circuits	A
No. of Luminaires	32
Total Load	44.16 kW



**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



Equipment List For Areas Shown								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
30	Totals					30	30	0

Grid Summary	
Name	Parking
Size	20.0' x 20.0'
Spacing	20.0' x 20.0'
Height	3.0' above grade

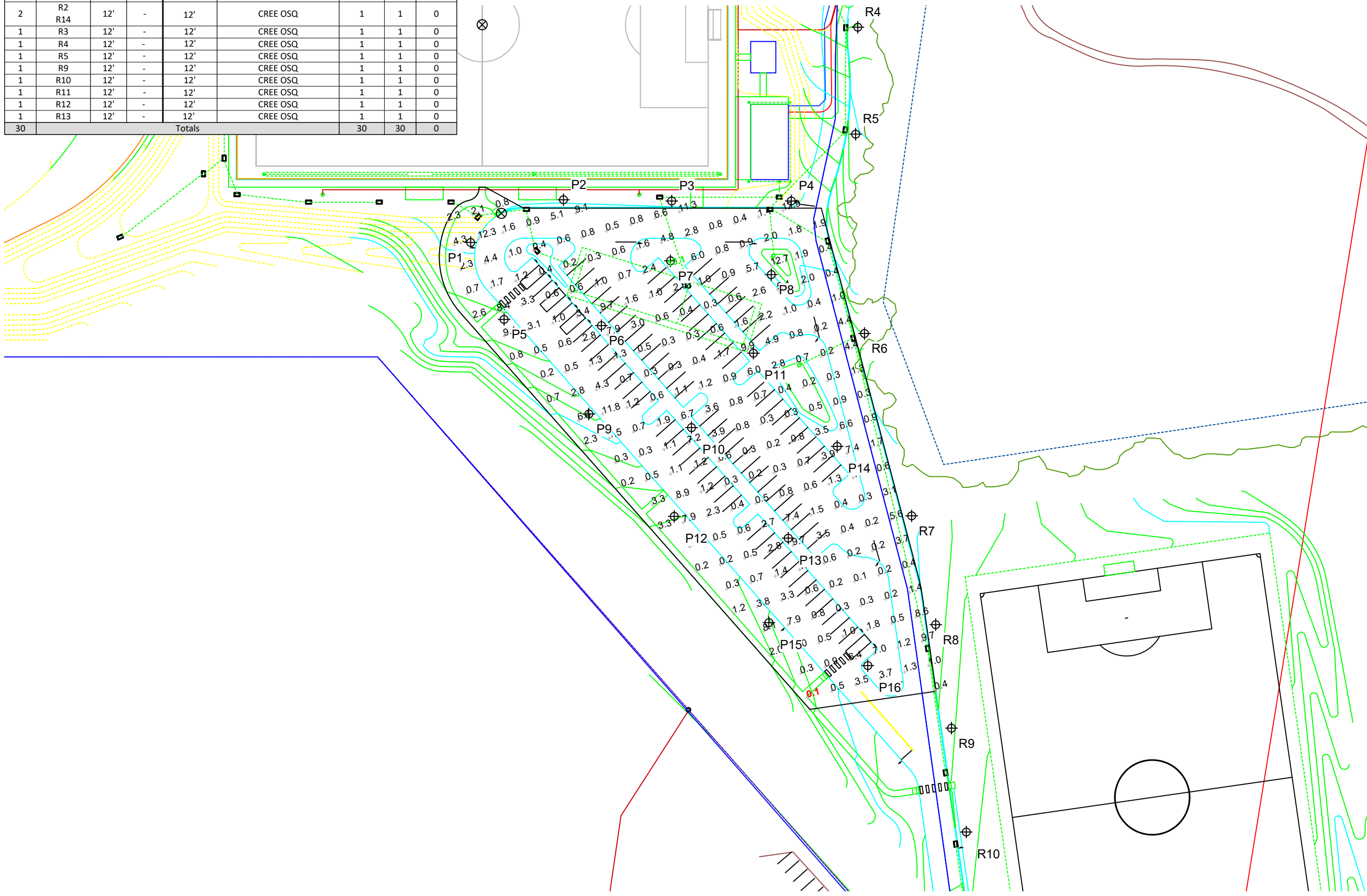
Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Scan Average	2.33
Maximum	13
Minimum	0
Avg/Min	21.04
Max/Min	117.84
UG (adjacent pts)	31.92
CU	0.45
No. of Points	229
LUMINAIRE INFORMATION	
Applied Circuits	B
No. of Luminaires	30
Total Load	3.12 kW

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



SCALE IN FEET 1 : 80  
0' 80' 160'  
ENGINEERED DESIGN By: Nathan Chizek, LC • File #229037E • 13-Nov-23

Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗

SHEET 3 OF 8

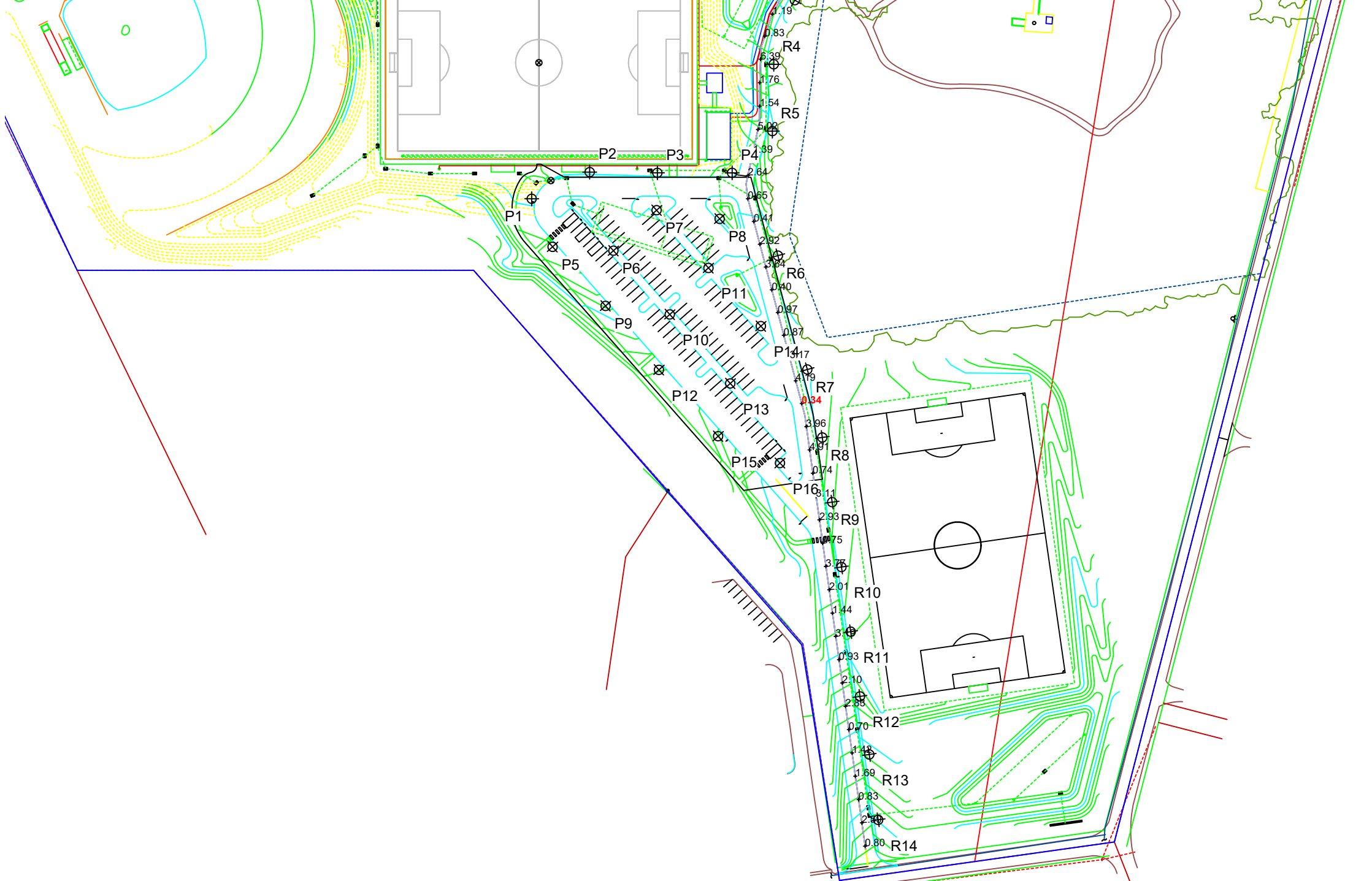


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ILLUMINATION SUMMARY



Equipment List For Areas Shown								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
30	Totals					30	30	0



Grid Summary	
Name	Roadway
Spacing	30.0' x 10.0'
Height	3' above grade

Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Scan Average	2.24
Maximum	8
Minimum	0
Avg/Min	6.61
Max/Min	22.83
UG (adjacent pts)	0.00
CU	0.06
No. of Points	43
<b>LUMINAIRE INFORMATION</b>	
Applied Circuits	B
No. of Luminaires	30
Total Load	3.12 kW

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
4	S1-S4	70'	-	70'	TLC-LED-1200	1	1	0
					TLC-LED-1500	7	7	0
34	Totals					62	62	0

Grid Summary	
Name	Property Spill - HZ
Size	360' x 225'
Spacing	30.0' x 10.0'
Height	3' above grade

Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Scan Average	0.00
Maximum	0
Minimum	0
Avg/Min	-
Max/Min	-
UG (adjacent pts)	0.00
CU	0.00
No. of Points	161
<b>LUMINAIRE INFORMATION</b>	
Applied Circuits	A,B
No. of Luminaires	62
Total Load	47.28 kW



**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

NOTES: The values shown on this sheet account for the elevation changes at the property line from field level.

SHEET 5 OF 8



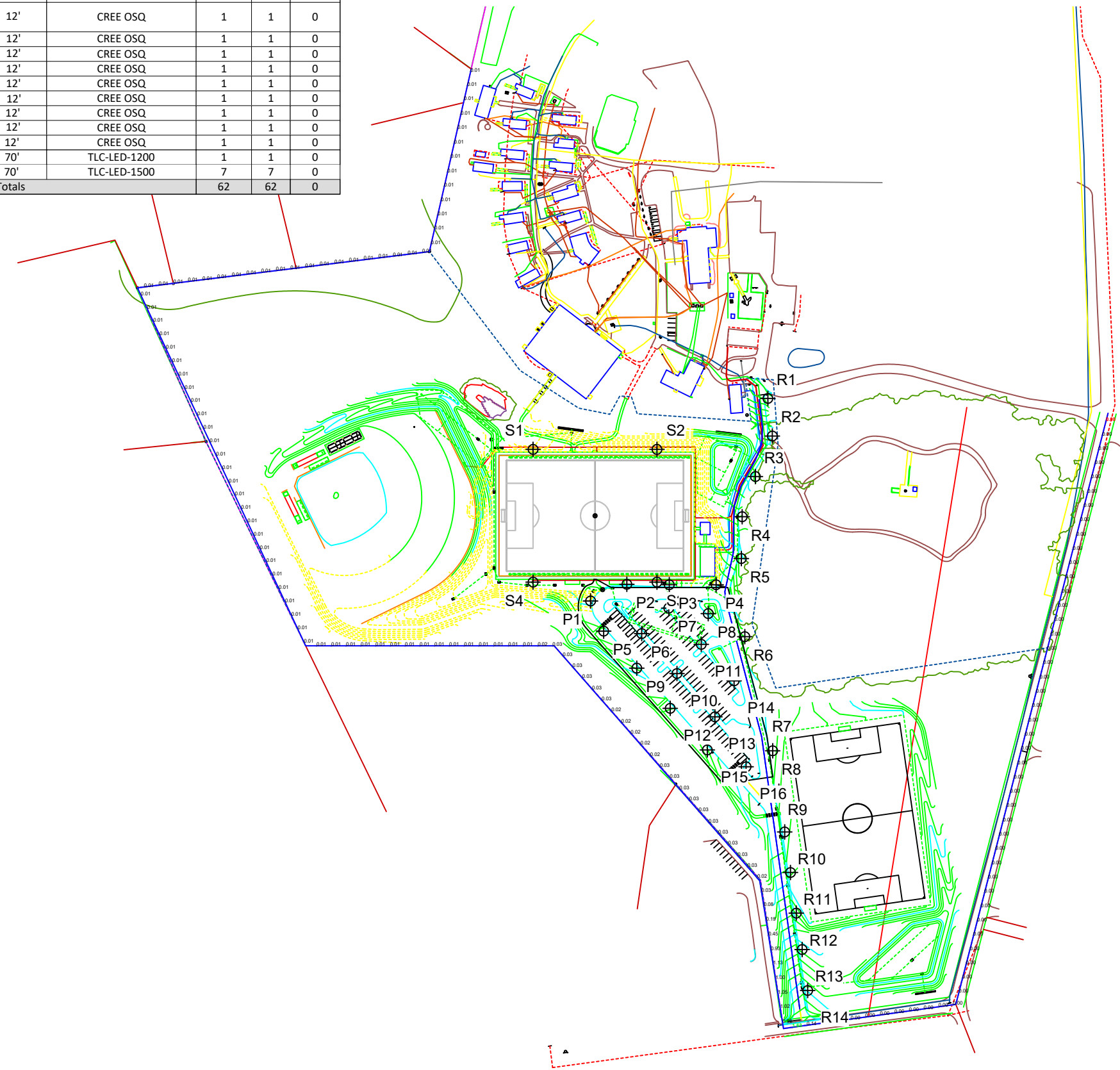
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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗

Equipment List For Areas Shown								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
4	S1-S4	70'	-	70'	TLC-LED-1200	1	1	0
					TLC-LED-1500	7	7	0
34				Totals		62	62	0

Grid Summary	
Name	Property Spill - VT
Size	360' x 225'
Spacing	30.0' x 10.0'
Height	5' above grade

Illumination Summary	
	MAINTAINED VERTICAL FOOTCANDLES: 90° TILT
Scan Average	0.06
Maximum	2
Minimum	0
Avg/Min	40.26
Max/Min	1060.77
UG (adjacent pts)	0.00
CU	0.00
No. of Points	161
<b>LUMINAIRE INFORMATION</b>	
Applied Circuits	A,B
No. of Luminaires	62
Total Load	47.28 kW



**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

NOTES: The values shown on this sheet account for the elevation changes at the property line from field level.

SHEET 6 OF 8



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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
4	S1-S4	70'	-	70'	TLC-LED-1200	1	1	0
					TLC-LED-1500	7	7	0
34	Totals					62	62	0

Grid Summary	
Name	Property Glare
Size	360' x 225'
Spacing	30.0' x 10.0'
Height	5' above grade

Illumination Summary	
MAINTAINED VERTICAL FOOTCANDLES: 90" TILT	
Scan Average	Entire Grid 5755.03
Maximum	11626
Minimum	99
Avg/Min	57.95
Max/Min	117.07
UG (adjacent pts)	0.00
CU	0.00
No. of Points	161
<b>LUMINAIRE INFORMATION</b>	
Applied Circuits	A,B
No. of Luminaires	62
Total Load	47.28 kW



**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

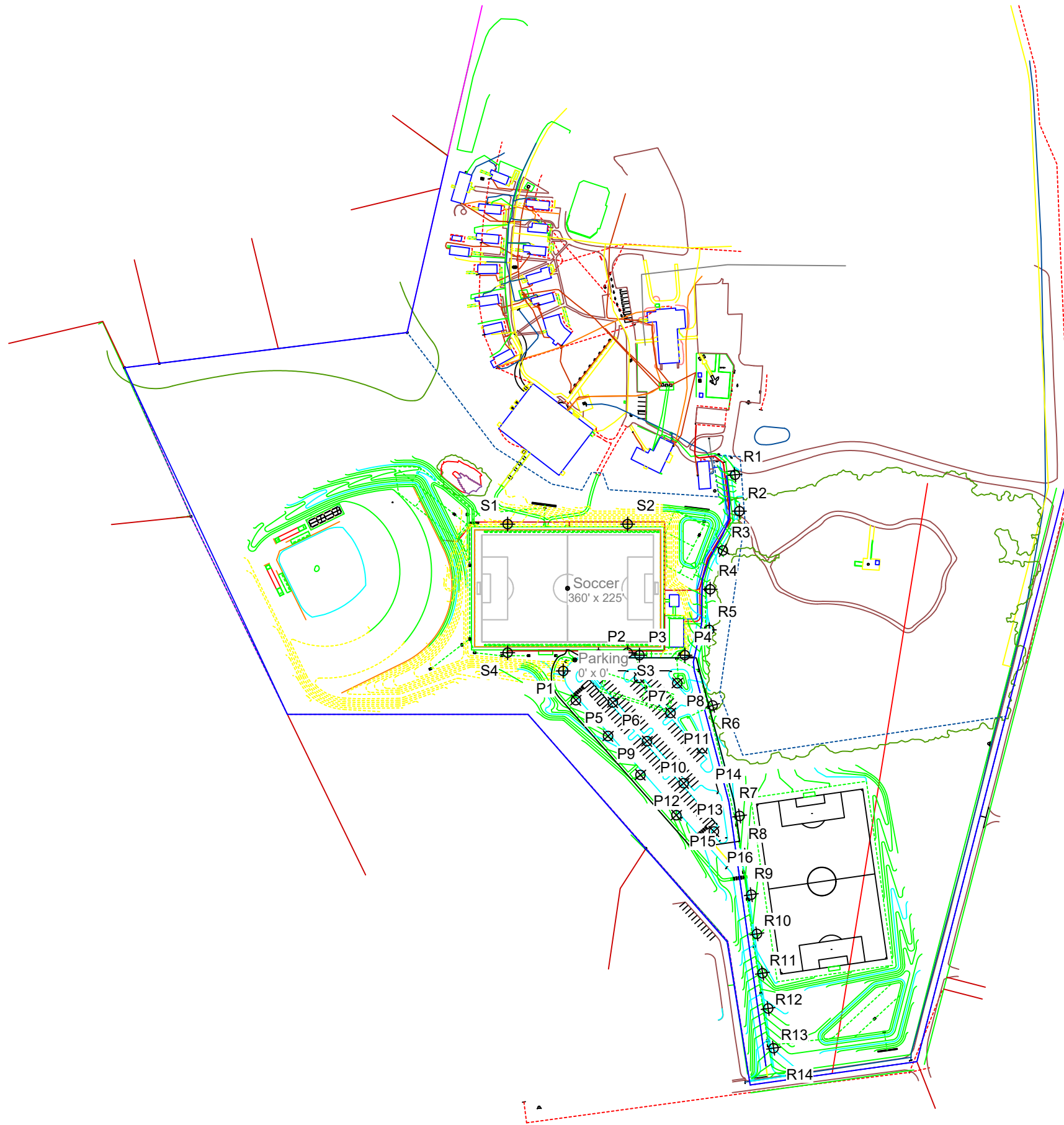
NOTES: The values shown on this sheet account for the elevation changes at the property line from field level.

SHEET 7 OF 8



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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



**Equipment Layout**

**INCLUDES:**  
 - Parking  
 - Soccer

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

**Equipment List For Areas Shown**

QTY	Pole			Luminaires		
	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1
1	R1	12'	-	12'	CREE OSQ	1
2	R2 R14	12'	-	12'	CREE OSQ	1
1	R3	12'	-	12'	CREE OSQ	1
1	R4	12'	-	12'	CREE OSQ	1
1	R5	12'	-	12'	CREE OSQ	1
1	R9	12'	-	12'	CREE OSQ	1
1	R10	12'	-	12'	CREE OSQ	1
1	R11	12'	-	12'	CREE OSQ	1
1	R12	12'	-	12'	CREE OSQ	1
1	R13	12'	-	12'	CREE OSQ	1
4	S1-S4	70'	-	70'	TLC-LED-1200	1
				70'	TLC-LED-1500	7
34	Totals					62

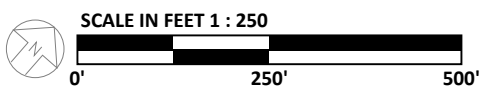
**Single Luminaire Amperage Draw Chart**

Driver Specifications (.90 min power factor)	Line Amperage Per Luminaire (max draw)						
Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
CREE OSQ	-	-	-	-	0.3	-	0.2
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6

SHEET 8 OF 8



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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



DEED OF TRUST

THIS INDENTURE, made the 25<sup>th</sup> day of April  
1949,

BETWEEN LEO POSEL and VERA POSEL, his wife, of Philadelphia, Pennsylvania, (hereinafter designated as "SETTLORS") parties of the first part, and THE PHILADELPHIA VARIETY CLUB CAMP, a non-profit corporation, organized in the State of Pennsylvania (hereinafter designated as "TRUSTEE"), party of the second part, and VARIETY CLUB OF PHILADELPHIA, a non-profit corporation organized in the State of Pennsylvania, which caused TRUSTEE to be formed as a corporation for the purpose of operating its major-charitable project, party of the third part,

WITNESSETH: That the SETTLORS, for the purpose of founding and endowing in perpetuity a summer camp for handicapped or underprivileged children, to be known as "THE PHILADELPHIA VARIETY CLUB CAMP", (hereinafter designated as "CAMP") do hereby make, constitute and appoint TRUSTEE and its successors to erect, equip, maintain, direct and manage the CAMP upon, under and subject to the trusts and conditions hereinafter declared, and for that purpose have granted, bargained, sold, aliened, conveyed, released, conveyed and confirmed, and by these presents, do grant, bargain, sell, alien convey, release, convey and confirm unto TRUSTEE, its successors and assigns:

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected SITUATE in the Township of Worcester, County of Montgomery, Commonwealth of Pennsylvania and described according to a plan thereof made by Will D. Hiltner, Registered Surveyor, Horriatown, Pennsylvania in December 1948 as follows, to wit: BEGINNING at a point formed by the intersection of the center line of Potshop (also known as Krause) Road and the center line of Valley Forge (also known as Fairview) Road; thence extending South Fifty-two degrees, twenty-one minutes, thirty seconds East along the center line of Potshop Road Nine hundred seventy-one and fifty-nine one-hundredths feet to a point, an angle in the said road; thence South Forty degrees, ten minutes East still along the center line of Potshop Road Four hundred thirteen and ninety-seven one-hundredths feet to a spike set in the center of said road; thence South Fifty-three degrees, two minutes West along other land of Leo Posel of which this was a part Three hundred feet to a stake;

thence South Forty degrees, ten minutes East still along other land of Leo Pocol Four hundred fifty-seven and sixty-eight one-hundredths feet to a stake; thence South Twenty-eight degrees, no minutes East still along other land of Leo Pocol One thousand two hundred fifty-eight and sixty-three one-hundredths feet to a spike set in the center line of Church Road; thence South Forty-four degrees, thirty-five minutes West along the center line of Church Road Seven hundred fourteen and five one-hundredths feet to a spike; thence North Sixty-three degrees, twenty-six minutes, ten seconds West along line of land of Eugene F. Kinslan One thousand seven hundred fifty-three and eighty one-hundredths feet to a stake; thence North Forty-four degrees, seventeen minutes East along line of land of Howard A. Brunner Five hundred ninety-seven and eighty-one one-hundredths feet to a spike set in root of a thirty inch Maple; thence North Twenty-four degrees, sixteen minutes, twenty seconds West still along line of land of Howard A. Brunner One thousand two hundred seventy-four and eighty-five one-hundredths feet to a spike in the center line of said Valley Forge Road; thence North Thirty-nine degrees, thirty-nine minutes East along the center line of Valley Forge Road Five hundred thirty-five and seventy-three one-hundredths feet to a spike; and thence North Twenty-nine degrees, seven minutes East still along the center line of Valley Forge Road Three hundred twelve and fifty-two one-hundredths feet to the first mentioned point and place of beginning. Containing Seventy-nine and six hundred twelve one-thousandths (.79.612) acres.

BEING a part of the same premises which The First National Bank of Lansdale, a corporation incorporated under the laws of the United States of America, by deed bearing date the 8th day of August, 1944, and recorded in the Office for Recording of Deeds in and for the County of Montgomery, State of Pennsylvania in Deed Book 1593, page 1, etc. granted and conveyed unto the said Leo Pocol in fee.

TOGETHER with all and singular the buildings, improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances, to the same belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and every part and parcel thereof, and all the estate, right, title interest, use, trust property, possession, claim and demand whatsoever, both in law and equity, of the said parties of the first part, of, in and to the said premises, with the appurtenances, to have and to hold the said premises with all and singular the appurtenances, unto the said party of the second part, its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part, its successors and assigns forever.

Upon and subject to the trusts and confidences and for the several uses, intents, and purposes hereinafter mentioned declared of and concerning the same, that is to say: in trust for a permanent CAMP for underprivileged or handicapped children, and

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the requisite teachers, counsellors, and other persons necessary in and about such CAMP, and the maintenance and support as herein-after prescribed of such children: to collect and receive the rents, revenues, and income therefrom, if any, and apply the entire net revenue, income, rents, issues and profits thereof to support and maintain the said CAMP, and increase the facilities and efficiency thereof, and to use the same in such manner as is in their discretion most advantageous to the purposes of the trust, to keep the said lands and buildings thereon in good repair, to renew and improve the same when necessary by erecting new buildings thereon, to direct and supervise the disposition of the products thereof, the revenues or income derived therefrom to be paid to and received and collected by the TRUSTEE as hereinbefore provided.

1. In consideration of the conveyance of said demised premises to it by SETTLORS, TRUSTEE covenants and agrees as follows:

(a) To operate the demised premises as a camp for underprivileged or handicapped children and for no other purpose or purposes.

(b) To operate and conduct the CAMP continuously without interruption, during each and every CAMP season hereafter in a lawful, efficient and proper manner; PROVIDED, however, it shall not be deemed a violation of this covenant if TRUSTEE shall be prevented from operating said premises as a camp in any season or seasons by reason of fire, the effects of storm, or other acts of God, disease, pestilence, war, condemnation, or other acts or happenings beyond control of TRUSTEE; and PROVIDED FURTHER, that in the event the demised premises become unsuitable for the purposes of a recreational camp due to adjacent industrial or commercial developments or the growth of the towns or cities in its vicinity, and TRUSTEE shall, in its discretion, make such determination, then, in that event, TRUSTEE shall sell said

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property and distribute the proceeds in accordance with Paragraph 10 hereinafter provided.

(c) To promptly repair, rebuild and restore the buildings and equipment thereon, or any of them, immediately after the same or any part thereof shall or may have become damaged or destroyed by fire, casualty or other cause, and to generally keep and maintain the buildings, structures, and improvements, now erected thereon, or which may be hereafter erected, in good order and repair, reasonable wear and tear excepted. Failure on the part of the TRUSTEE to comply with the terms of this covenant for and during any period of two years after the said repairs, rebuilding or restoration shall have become necessary shall be deemed a violation of this covenant.

(d) To pay promptly for any and all labor, material or other costs incident to all repairs and improvements that may be made to the demised premises and to indemnify and save harmless the SETTLORS from any and all liability for the same or any part thereof, or from liability and costs of mechanic's or other liens that may be imposed upon the demised premises by reason of obligations incurred by the TRUSTEE.

(e) To promptly pay all taxes, if any, and other lawful levies and charges that may be assessed or imposed upon the demised premises and/or those imposed upon any building or buildings, improvement or improvements, now erected, or which may in the future be erected upon the demised premises, and to indemnify and save harmless the SETTLORS, their and each of their heirs, executors, administrators and assigns, from the payment of the same, or any of it, or any costs and expenses incident thereto.

(f) To fully and adequately insure the demised premises, including all buildings now erected, or which may in the future be erected thereon, such insurance to include protection against the hazards of fire, flood, storm, earthquake and public liability. That said TRUSTEE shall at all times keep and main-



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tain the aforesaid insurance in full force and effect by prompt and due payment of the necessary premiums, and by the faithful observance of any and all rules and regulations of the various insurance companies which shall or may insure the devised premises.

(r) To first operate the CAMP during the camp season of the year 1949, provided, however, that TRUSTEE may temporarily limit the number of children who may attend in accordance with the accommodations available and completed at that time.

(h) Comply with any and all requirements and regulations of any of the constituted public authorities and with the terms of any state or federal statute, or local ordinance or regulation applicable to the TRUSTEE in its use of the devised premises and to save harmless the said SETTLORS, their heirs and assigns forever, from any penalties, fees, costs or damages resulting or arising from failure on the part of TRUSTEE so to do.

(1) To employ and maintain at all times upon the devised premises a competent watchman or caretaker.

2. As a further condition of this Trust, TRUSTEE shall be operated and managed by a Board of Directors consisting of such number of members as shall be fixed in TRUSTEE's by-laws, one of whom, at all times during his lifetime, shall be the said LEO POSEL, and said LEO POSEL shall at all times be elected as the President of TRUSTEE and Chairman of its Board of Directors, unless he shall have by writing addressed to the Directors indicated his refusal to accept to serve in the said offices or in the office of Director; upon the death of LEO POSEL a lineal descendant of his, if of full age, sui juris and willing to serve, shall be immediately elected to the Board of Directors of said TRUSTEE, and thereafter, during the term of this Deed of Trust, at all elections of Directors, a lineal descendant of LEO POSEL, if willing to serve, shall be elected as a Director of TRUSTEE, provided such person shall be of full age and sui

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juris; that as Chairman of the Board of Directors and President of the TRUSTEE, LEO POSEL shall have and possess all the usual supervisory powers of the President of a corporation, including the right to select the CAMP DIRECTOR, subject to the approval of the Board of Directors of TRUSTEE, the latter to have full powers of hiring and firing all other employees of the CAMP.

3. The CAMP upon the devised premises shall be operated and conducted by TRUSTEE, exclusively and by no other corporation or organization; that the said CAMP shall at all times hereafter bear the name "PHILADELPHIA VARIETY CLUB CAMP", and no other name, title, variation or modification thereof. At all times the phrase "Erected on land donated by LEO and VERA POSEL" shall be inscribed upon and appear in full directly following the name of the CAMP upon all stationery, advertising, signs, writings or insignia used or employed in connection with the operation of said CAMP by TRUSTEE, or by any other corporation to which the premises may be conveyed in accordance with Paragraph 10 hereof. The said TRUSTEE shall at no time hereafter change, alter or modify its name or corporate title, by legal proceedings or otherwise.

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4. The SETTLORS and their immediate family, at all times during the lifetime of the SETTLORS or the survivor of them, shall have the right to use and occupy the main dwelling house now erected upon the devised premises, together with free and uninterrupted ingress and egress thereto, as well as reasonable facilities and conveniences related thereto; provided, however, that the SETTLORS shall have the right to authorize and permit the use of any part of the said dwelling house by other persons for uses related to the operation of said CAMP; provided further that the office for the administration of the CAMP may, at the discretion of the Executive Committee of the Board of Directors, be maintained in the said dwelling house.

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5. If it so happen in the future that gifts, bequests, devises of real or personal property may be made to or for the benefit of the CAMP, TRUSTEE is authorized to accept all such gifts, bequests, devises, whenever the terms, conditions, restrictions, or limitations of such gifts, bequests, devises, are not in the opinion of the TRUSTEE in contravention of the objects and purposes of this deed, and all such gifts, bequests, devises, whether made to the CAMP by name, or to the TRUSTEE, or in any manner whatever, shall be paid or transferred by proper conveyance to the TRUSTEE, and be added to and become a part of the corpus or principal of the trust estate or of the income, in aid of which the said gifts, bequests, devises, or any of them may have been made, in the absence of any direction accompanying any such gift, bequest, devise, as to whether the corpus or principal of the trust estate or income is intended to be the recipient of such gift, bequest, devise, the TRUSTEE shall have the power to determine to which of the funds, or in what proportion to both, such gift, bequest, or devise, shall be paid or transferred; provided, however, that if any lands or other real property shall be given, conveyed, or devised, to be held, enjoyed or used for the benefit or purposes of the CAMP, the title to the same shall be held by the TRUSTEE under the same trusts as are herein declared of and concerning the lands conveyed to the TRUSTEE, and with the same power to sell and dispose of the said lands or other real property so given, conveyed, or devised, and under the same trusts, as to the proceeds thereof, as are hereinafter declared of and concerning lands which may be sold by the said TRUSTEE.

6. The TRUSTEE shall on or before the first day of December in each year make out and deliver to the Variety Club of Philadelphia Tent #13 separate statements of principal and income of the trust estate, showing the revenues, receipts,

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expenses and disbursements for the year ending with the 30th day of September immediately preceding.

7. The TRUSTEE may lease any part or portion of the lands conveyed by this deed, or which may have been bought or otherwise acquired, which in the judgment of the TRUSTEE is not necessary to be kept for the purposes of the CALP, the rental income of the land so leased shall be held by the TRUSTEE and applied to the maintenance of the CALP. The TRUSTEE shall not, however, during the lifetime of SETTLORS, lease the main dwelling house now erected thereon to any person or persons.

8. No part of the corpus or principal of the trust estate, or of the income, arising from the property hereby conveyed, or gifts, bequests, or devises, or other accretions thereto, and all moneys and securities arising therefrom, or made with or acquired by the principal or income thereof, or accretions thereto, shall at any time be applied to any other purpose or purposes than those herein mentioned and appointed.

9. All moneys, gifts, bequests and devises received by the TRUSTEE shall be received, held and used by the TRUSTEE for, upon and subject to the trusts and confidences, and for the uses and purposes hereinafter declared of and concerning the same, and for none other, that is to say:

Out of the moneys received by the TRUSTEE to erect suitable buildings and appurtenances, to lodge, board and instruct as many children as, in the opinion of the TRUSTEE, the revenue and other sources of income authorized to be expended for the purpose will provide for, and to lodge and board as many other persons, such as officers, teachers, agents, workmen and servants, as in the opinion of the



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TRUSTEE it may be necessary or convenient, shall reside upon the premises, for the purpose of fully carrying out the design in view, and of completely establishing and successfully maintaining the CAMP herein intended to be founded; to furnish and fully equip the CAMP with such furniture, materials, machinery, tools, books, equipment and all things needful to carry into effect the general purpose, as in the judgment of the TRUSTEE may be necessary or convenient for the purpose; to pay the insurance, repairs, and renewals of the property, to pay the compensation of officers, agents, teachers, workmen, servants, or other employees, materials and supplies, the maintenance, clothing and instruction, medical, nursing and recreational facilities of the children, the expense of boarding and lodging of such officers and employees whom the TRUSTEE may think it proper shall reside at the CAMP, and any other charge or expense contracted or payable by the TRUSTEE, for, or by reason of the management, maintenance, support, renewal, improvement or repair of the CAMP, its appurtenances and equipment thereto belonging, and of the lands, buildings, and improvements under their care and management. The decision of the TRUSTEE as to what are or may be necessary expenses for the maintenance, support, management, renewal or repairs of the CAMP, and its appurtenances and equipment thereto belonging or appertaining, and of the lands, buildings and improvements under their care and management, shall be final and conclusive upon the subject.

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10. In the event the VARIETY CLUB OF PHILADELPHIA in its sole discretion and in accordance with the proper procedure, provided for in the by-laws of said VARIETY CLUB OF PHILADELPHIA, shall decide to discontinue supporting CAMP as a charitable project, it shall so notify TRUSTEE and SETTLORS in writing. Upon receipt of said written notice TRUSTEE, within fifteen (15) days shall offer to sell, transfer, convey and deliver possession of the said CAMP, including the premises with the appurtenances and buildings erected thereon, for such consideration, nominal or otherwise, as TRUSTEE, in its sole discretion shall deem proper, unto another charity or charitable organization which shall be suitably organized and competent to operate the same and who shall agree by proper instrument in writing to operate the said CAMP under the terms and conditions of this trust, and not otherwise, and the TRUSTEE shall have a period of six months within which to obtain such successor or organization.

In the event TRUSTEE cannot obtain a charity which will operate said CAMP in accordance with the terms and conditions of this trust, then SETTLORS, or the survivor of them, shall have the opportunity to obtain such a charity within a further period of six (6) months. At the end of said further six (6) month period, if SETTLORS, or the survivor of them, have failed to obtain a charity to operate the CAMP under the terms and conditions of this trust; then TRUSTEE shall forthwith sell demised premises at public or private sale and, out of the proceeds of said sale, the sum of Thirty-five thousand dollars (\$35,000.00), representing the cost of said premises to SETTLORS, shall be paid to SETTLORS, or the survivor of them, or the heirs, devisees or representatives of the said SETTLORS, or the survivor of them, and the balance of the proceeds shall be paid forthwith to the Heart Fund of the VARIETY CLUB OF PHILADELPHIA.

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IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and affixed their seals the day and year first above written.

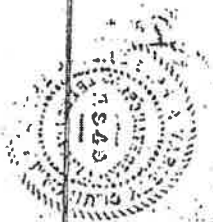
Signed, Sealed and Delivered in the presence of:

Rose McSpowan      W. P. Leo (SEAL)  
Isabel M. McRee      W. P. Kern (SEAL)

PARTY OF THE FIRST PART

THE PHILADELPHIA VARIETY CLUB CAMP, of the County of Philadelphia, Pennsylvania, hereby accepts the trusts declared in the above Deed on its part to be observed, kept and performed.

IN WITNESS WHEREOF, it has affixed its corporate seal hereto this 25<sup>th</sup> day of April 1949 and caused the same to be executed by its duly authorized officers and Board of Directors.



Adrius Emanuel  
Vice President  
Louis J. Hoffman  
Secretary

I hereby certify that the consideration is ~~not less~~ One Hundred Dollars

Henry S. Adams

011805

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No. 664/S

Printed for and Sold by John C. Clark Co., 1326 Walnut St., Phila.

# This Indenture, Made the

2nd day of July in the year of our Lord one thousand nine hundred eighty-five (1985)

Between RAMON POSEL and SIDNEY POSEL, Trustees of Residuary Trust under the Will of Leo Posel, deceased, parties of the first part, and PHILADELPHIA VARIETY CLUB CAMP, a Pennsylvania non-profit corporation, party of the second part

Witnesseth, That the said parties of the first part, for and in consideration of the sum of Fifty-Five Thousand Dollars (\$55,000.00)

lawful money of the United States of America, to — them — well and truly paid by the said party of the second part, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, — have — remised, released and quit-claimed, and by these presents, — do — remise, release and quit-claim unto the said party of the second part, and to its successors

and assigns forever, All

158963 COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF REVENUE  
REALTY TRANSFER TAX JUL 29 85  
550.00  
P3.1160

REALTY TRANS. TAX PAID  
STATE 550.00  
LOCAL 550.00  
FER JB

MONTGOMERY COUNTY COMMISSIONERS REGISTRY  
47 00-02042-00-7 WORCESTER DBK 1598  
POTSHOP RD PG 0001  
POSEL LEO  
B 017 U 001 # 2110 DATE 7/29/85 1720

BOOK 4773 PG 1479

16.50  
2

B

ALL THAT CERTAIN lot or piece of land situate in the Township of Worcester, Montgomery County, State of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at a round spike set in the center of Fairview Road (33 feet wide) said point being also the corner of land of Arthur Brunner and the Worcester United Evangelical Church; thence along center line of Fairview Road by other land now or late of Milton O. Landis North 38 degrees 54 minutes East passing through the round spike set in the intersection of the center line in the Fairview Road at the Heebner Road 535.73 feet to round spike; thence bearing to the left still along the center line of the Fairview Road and the land now or late of Milton O. Landis North 28 degrees 22 minutes East 313.49 feet to a point set in the intersection of the Fairview Road and the Krause Road center line; thence along the said Krause Road center line and still by land now or late of Milton O. Landis South 52 degrees 21 minutes East 840.69 feet to an iron pin in the center of Krause Road (33 feet wide) being also a corner of land now or late of Arthur Brunner; thence by the latter South 52 degrees 14 minutes West 1,150.84 feet to an iron pin in a line of land now or late of Arthur Brunner; thence by the latter North 24 degrees 39 minutes West 578.29 feet to the place of beginning.

CONTAINING within said metes and bounds 15.241 acres, be the same more or less.

ALL THAT CERTAIN message and farm, situate in the Township of Worcester, Montgomery County, State of Pennsylvania bounded and described as follows, to wit:

BEGINNING at a point in the middle of a public road called Krause Avenue leading to Fairview Village and Center Point Road; thence by land now or late of D. D. Forter South 50 degrees West 74 perches more or less to line of land now or late of Mary C. Port; thence by said line now or late of Mary C. Port North 63 degrees 40 minutes West 80.30 perches to a corner; thence by land now or late of Arthur Brunner North 43 degrees 45 minutes East 35.96 perches and North 24 degrees 18 minutes West 41.11 perches to a corner; thence by land now or late of Milton O. Landis North 50 degrees 30 minutes East 69.71 perches to a corner of middle of first mentioned public road; thence by middle of said road South 52 degrees 40 minutes East 9.17 perches to a stone; thence still by same South 40 degrees 10 minutes East 54.88 perches; thence still by said public road South 23 degrees 25 minutes East 47.80 perches to first mentioned point and place of beginning.

CONTAINING 65.20 acres of land, be the same more or less.

ALSO ALL THAT CERTAIN lot or tract of land with the buildings thereon, situate in the Township of Worcester, County of Montgomery and State of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at an iron pin in the center line of a public road leading from Krause Avenue to the Schwenksfelder Church a corner of land now or late of Mary C. Port; thence along the line of said Mary C. Port North 57 degrees 50 minutes West 430 feet to a stake a corner; thence along land now or late of William Bidden North 50 degrees East 1220.34 feet to an iron pin in the center of Krause Avenue; thence along the center line of said Krause Avenue South 17 degrees 20 minutes East 444.25 feet to an iron pin at the intersection of the center line of the said Krause Avenue and the Road leading to the Schwenksfelder Church; thence along the center line of said public road leading from Krause Avenue to Schwenksfelder Church Southwesterly 900 feet more or less to the place of beginning.

CONTAINING according to a survey by Hiltner and Hitchcock C.E. 10.60 acres.

EXCEPTING THEREOUT AND THEREFROM ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected situate in the Township of Worcester, County of Montgomery, Commonwealth of Pennsylvania and described according to a plan thereof made by Will D. Hiltner, Registered Surveyor, Norristown, Pennsylvania in December 1948 as follows, to wit:

BEGINNING at a point formed by the intersection of the center line of Potshop (also known as Krause) Road and the center line of Valley Forge (also known as Fairview) Road; thence extending South 52 degrees 21 minutes 30 seconds East along the center line of Potshop Road 971.59 feet to a point, an angle in the said road; thence South 40 degrees 10 minutes East still along the center line of Potshop Road 413.97 feet to a spike set in the center of said road; thence South 53 degrees 02 minutes West along other land now or late of Leo Posel of which this was a part 300 feet to a stake; thence South 40 degrees 10 minutes East still along other land now or late of Leo Posel 457.68 feet to a stake; thence South 28 degrees 00 minutes East still along other land now or late of Leo Posel 1,258.63 feet to a spike set in the center line of Church Road; thence South 44 degrees 35 minutes West along the center line of Church Road 714.50 feet to a spike; thence North 63 degrees 26 minutes 10 seconds West along line of land of Eugene F. Kindlan 1,753.81 feet to a stake; thence North 44 degrees 17 minutes East along line of land of Howard A. Brunner 597.81 feet to a stake set in root of a 30 inch Maple; thence North 24 degrees 16 minutes 20 seconds West still along line of land now or late of Howard A. Brunner 1,274.85 feet to a spike in the center line of said Valley Forge Road; thence North 39 degrees 39 minutes East along the center line of Valley Forge Road 535.73 feet to a spike; thence North 29 degrees 07 minutes East still along the center line of Valley Forge Road 312.52 feet to the first mentioned point and place of beginning.

CONTAINING 79.612 acres.

ALSO EXCEPTING THEREOUT AND THEREFROM A certain tract or parcel of land in Worcester Township, Montgomery County, Commonwealth of Pennsylvania, bounded and described as follows:

BEGINNING at a point in a boundary line between lands now or late of Leo Posel, et ux and lands of the Philadelphia Variety Club, et al, and being situate North 22 degrees 48 minutes West 700.00 feet more or less, from the center of Church Road and the common corner between the aforesaid land; thence from the aforesaid point of beginning and binding said lands of the Philadelphia Variety Club as follows: (1) North 22 degrees 48 minutes West 540.00 feet, more or less (2) North 10 degrees 38 minutes West 70.00 feet, more or less, to a point; thence leaving said lands and running over and across the aforesaid lands now or late of Leo Posel as follows: (1) North 58 degrees 00 minutes East 170.00 feet, more or less (2) South 32 degrees 00 minutes East 570.00 feet, more or less (3) South 53 degrees 30 minutes West 250.00 feet, more or less to the point or place of beginning.

CONTAINING 2.80 acres of land, more or less.

BEING ASSESSMENT PARCEL NUMBER 67-00-02842-00-7.

BEING part of the same premises which The First National Bank of Lansdale by Deed dated August 8, 1944 and recorded in Montgomery County, in Deed Book 1598 page 1 conveyed unto Leo Posel in fee.

And the said Leo Posel died on June 3, 1975, leaving a Will probated and registered at Montgomery County as Will No. 46-75-1526, wherein Letters Testamentary were granted unto Ramon Posel on June 26, 1975.

And by Adjudication of the First and Final Account of Ramon Posel, Executor of the Estate of Leo Posel, deceased, and Schedule of Distribution in accordance therewith approved and filed 6/21/1979 in Orphans Court #77271 the premises was awarded to Ramon Posel and Sidney Posel, Trustees of Residuary Trust per Item Second of the Will of Leo Posel, deceased.

UNDER AND SUBJECT to certain rights of record.

BOOK 4773 PG 1482



Together with all and singular, the tenements, hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversions, remainders, rents, issues and profits thereof: And also, all the estate, right, title, interest,

property, claim and demand whatsoever, as well in law as in equity, of the said parties of the first part, of, in, or to the above-described premises, and every part and parcel thereof, with the appurtenances.

To have and to hold all and singular the above-mentioned and described premises, together with the appurtenances, unto the said part Y- of the second part, its successors

and assigns forever, SUBJECT as aforesaid.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals the day and year first above written.

Sealed and Delivered }  
IN THE PRESENCE OF US: }

Ramon Posel (SEAL)  
RAMON POSEL

Sidney Posel (SEAL)  
SIDNEY POSEL

Trustees of Residuary Trust  
under the Will of Leo Posel,  
deceased

55.710-  
A. H. H. H. H. H.

The State of Pennsylvania  
Notary Public

Commonwealth of Pennsylvania }  
County of Philadelphia } SS.

On this, the second day of July, 1985, before me, the undersigned Officer, a Notary Public in and for the County and State aforesaid,

RAMON POSEL and SIDNEY POSEL, Trustees of Residuary Trust under the Will of Leo Posel, deceased, personally appeared known to me (satisfactorily proven) to be the persons whose names (are) subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

Bess Connor  
Notary Public

(NOTARIAL SEAL)

My Commission Expires:

BESS CONNOR  
Notary Public, Phila., F.M.A. Co.  
My Commission Expires Dec. 7, 1988

BOOK 4773:1483



Commonwealth of Pennsylvania  
County of

SS.

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, before me

the undersigned Officer, personally appeared \_\_\_\_\_ who acknowledged himself to be the \_\_\_\_\_ of \_\_\_\_\_, a corporation, and that he as such \_\_\_\_\_, being authorized to do so executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself (herself) as

~~In Witness Whereof, I hereunto set my hand and official seal.~~

COPIES RETURNED TO THE INSURANCE COMPANY  
c 782 684 ROS  
**DEED.**

~~RAMON POSEL, and SIDNEY POSEL,~~  
Trustees of Residuary Trust  
under the Will of Leo Posel,  
deceased

TO

PHILADELPHIA VARIETY CLUB  
CAMP, a Pennsylvania  
non-profit corporation

Premises:

Fairview and Krause Roads  
Worcester Township  
Montgomery County, PA

CEN NO. 67-00-02842-00-7

1983 John C. Clark Company, Philadelphia. 664/S

Prepared By:

James R. Williams, Esquire  
WOLF, BLOCK, SCHORR and  
SOLIS-COHEN  
Twelfth Floor, Packard Bldg.  
Philadelphia, PA 19102



Montgomery County S. S. .  
Recorded in the Office for Recording of Deeds & c.  
In and for said county in Deeds book  
No. 4773 Page 1479 & c.  
Witness my hand and seal of office this 29  
day of July 19 85

*James R. Price*  
Recorder

BOOK 4773 PG 1484

The address of the above-named Grantee  
is W. Penn. Hotel, Phila. Pa. 19103

On behalf of the Grantee

ERECTED INTO A TOWNSHIP IN 1733  
**TOWNSHIP OF WORCESTER**  
AT THE CENTER POINT OF MONTGOMERY COUNTY  
PENNSYLVANIA

1721 Valley Forge Road  
P.O. Box 767  
Worcester, PA 19490

Phone (610) 584-1410  
Fax (610) 584-8901

**THIS SECTION COMPLETED ONLY BY TOWNSHIP:**

APPEAL NO. : \_\_\_\_\_ DATE FILED: \_\_\_\_\_, 20\_\_\_\_

APPLICATION:  **BOARD OF SUPERVISORS**  
 **ZONING HEARING BOARD**

1. Date of Application: \_\_\_\_\_

2. Classification of Appeal (Check one or more, if applicable):

- a. Appeal from the Zoning Officer's Determination
- b. Request for Variance
- c. Request for Special Exception
- d. Challenges to the Validity of Zoning Ordinance or Map
- e. Request for Conditional Use Hearing
- f. Request for Amendment to Zoning Map
- g. Request for Zoning Ordinance Amendment
- h. Request for a Curative Amendment
- i. Request for other relief within the Jurisdiction of the Zoning Hearing Board as established in Section 909.1(a) of the Pennsylvania Municipalities Code

3. Applicant:

- a. Name: Variety-The Children's Charity of the Delaware Valley
- b. Mailing address: 2950 Potshop Road, P.O. Box 609  
Worcester, PA 19490
- c. Telephone number: 610-584-4366
- d. State whether owner of legal title, owner of equitable title, or tenant with the permission of owner legal title: \_\_\_\_\_ **(REQUIRED)** Legal owner

**Please attach Deed to prove ownership, an Agreement of Sale to prove equitable ownership, or an Affidavit allowing Tenant to apply for necessary relief.**

4. Applicant's attorney, if any:

- a. Name: Marc D. Jonas, Esq.
- b. Address: 470 Norristown Road, Suite 302  
Blue Bell, PA 19422
- c. Telephone number: 215-542-9345

5. Property Details:

- a. Present Zoning Classification: AGR Agricultural District
- b. Present Land Use: Special needs, camp, school/development center
- c. Location (Street Address):  
2950 Potshop Road, Worcester, PA 19490
- d. Parcel #: 67-00-02842-00-7
- e. Lot Dimensions:
  - (1) Area: 78.035 acres
  - (2) Frontage: \_\_\_\_\_
  - (3) Depth: \_\_\_\_\_
- f. Circle all that apply in regards to the above specified property:
  - Public Water       Public Sewer
  - Private Well       Private Septic
- g. Size, construction, and use of existing improvements; use of land, if unimproved: **(Please submit as an attachment)**

6. Proposed Use(s):

- a. Proposed use(s) and construction: Please provide size, construction and proposed use(s). **(Please submit as an attachment)**

7. Legal grounds for appeal (Cite specific sections of Pennsylvania Municipalities Planning Code, Zoning Ordinance, Subdivision Regulations, and/ or other Acts or Ordinances). All sections that apply must be listed in which relief is required and an explanation provided. **(Please submit as an attachment)**

8. Has any previous appeal been filed concerning the subject matter of this appeal?  
 Yes     No

If yes: specify: **(Please submit as an attachment)**

9. Challenges please list requested issues of fact or interpretation:  
**(Please submit as an attachment)**

10. Worcester Township to provide the list of names and addresses of properties situated in the vicinity of the subject property as per Township Code Section 150-224

**CERTIFICATION**

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.

*Juan Berub*  
Signature

DOMINIQUE BERNARDO  
Printed Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name

COMMONWEALTH OF PENNSYLVANIA:

COUNTY OF Bucks : SS

The undersigned, being duly sworn according to law, deposes and says the he/she is the above names applicant, that he/she is authorized to and does take this affidavit on behalf of the owner, and foregoing facts are true and correct.

John Berul  
Applicant

\_\_\_\_\_  
Applicant

Sworn to and subscribed before me this 10<sup>th</sup> day of November, 2023

Elizabeth Haney  
\_\_\_\_\_  
Notary Public

Commonwealth of Pennsylvania - Notary Seal  
ELIZABETH A. HANEY, Notary Public  
Bucks County  
My Commission Expires May 30, 2025  
Commission Number 1066212

Date Received: \_\_\_\_\_

\_\_\_\_\_  
Zoning Officer

**Worcester Township**  
**Conditional Use Application of Variety – the Children’s Charity of the Delaware Valley**

**Addendum to Application**

**6. Proposed use**

Applicant, Variety – the Children’s Charity of the Delaware Valley (“Variety”), is the record owner of the property located at 2950 Potshop Road, Worcester, Pa 19490 (“Property”) located within the AGR Agricultural District of Worcester Township (“Township”). Variety is a nonprofit organization operating a “Special needs camp, school/development center” on the Property.

Variety is proposing to construct three athletic fields on the Property in two phases. The first phase will consist of a synthetic turf field with lighting. The second phase will include a natural grass athletic field, baseball field, playground, and a parking area with lighting.

**7. Legal grounds for conditional use application**

Variety submits this application for a conditional use pursuant to section 150-11(C)(2)(b) of the Worcester Township Zoning Ordinance (“Zoning Ordinance”) to install lighting for the turf field and the parking area on the Property. Section 150-11(C)(2)(b) of the Zoning Ordinance provides that a special needs camp, school/developmental center may include:

Outdoor recreational facilities and uses including sports fields, playgrounds, play courts, swimming pools, tree houses, ropes courses, amphitheaters, and other similar facilities. Outdoor recreational facilities are primarily for the use of special needs camp, school/developmental center students and staff, while also being available for rental and community use. The illumination of any outdoor recreational facility is permitted by conditional use approval of the Board of Supervisors, in accordance with § 150-215. [Emphasis added.]

As depicted on the plans submitted with this application, the lighting system for the turf field will include four light poles, each with a 70-foot mounting height; and the lighting system for the parking area will include sixteen light poles, each with a 12-foot mounting height.

Section 150-215 of the Zoning Ordinance provides the general criteria applicable to all conditional uses. Variety's proposed lighting system for the turf field and parking area satisfies the standards in section 150-215 for grant of a conditional use. In particular, the lighting system complies with both the legislative intent of Article I of the Zoning Ordinance and the AGR District by allowing for safe use of the fields and parking areas by the public.

The lighting will not adversely affect neighboring land uses or impose upon neighbors. There are few residential neighboring properties, and natural buffers exist on the Property between the proposed field and parking area locations and those residences. The lighting system will not be served by public service systems and will have no impact on traffic.

Finally, as shown on the plans submitted with this application, the field and parking areas for which the lighting systems are intended are properly designed with regard to internal circulation, parking, buffering, and all other elements of proper design.