

**MEETING MINUTES
WORCESTER TOWNSHIP BOARD OF SUPERVISORS
BUSINESS MEETING
WORCESTER TOWNSHIP COMMUNITY HALL
JANUARY 17, 2024 - 7:00 PM**

CALL TO ORDER

The meeting was called to order at 7:04 PM.

- **ANNOUNCEMENTS:**

- This meeting is being video recorded for broadcast
- The Board of Supervisors met on 12/13/2023 to discuss personnel, litigation, and real estate.

PLEDGE OF ALLEGIANCE

ATTENDANCE

All three Supervisors were in attendance.

INFORMATIONAL ITEMS

The Township closed on the Griffith property. Many thanks to the solicitor's office and of course, the Griffith family.

PUBLIC COMMENT

Kate McShane of Horseshoe Drive asked if this was the appropriate time to comment on the Variety Club matter. Ms. McKenna asked that Ms. McShane wait for the Conditional Use Application, if her comments were specific to that matter.

Bob Andorn of Valley Forge Road offered a comment on the 2024 budget and follow up to his comments from the prior Board meeting. He expressed concerns about the budget process.

OFFICIAL ACTION ITEMS

- a) Motion

Supervisor Betz motioned to approve the consent agenda including the Treasurer's Report and monthly reports for December 2023, bill payments for December 2023, the December 2023 Business Meeting Minutes, and the January 2, 2024, Reorganizational Meeting minutes. Supervisor Quigley seconded the motion.

There was no public comment. The motion passed unanimously.

Chair DeLello asked the solicitor to summarize the next motion. Ms. McKenna summarized the Valley Forge Corridor Improvement Project, which required the taking of strips of property along 363. The motion on this evening's agenda was for one of the final properties, located at 1721 Valley Forge Road.

Supervisor Betz motioned to authorize execution by the Township of the Valley Forge Corridor Stormwater Management Facilities Easement and to accept the Deed of Dedication of Streeer Right of Way signed by John and Marissa Czop regarding 1330 Dell Road. Supervisor Quigley seconded the motion. There was no public comment.

The motion passed unanimously.

- a) Conditional Use Application – Variety Club – 950 Potshop Road

Chair DeLello announced the meeting would be recessed for the Conditional use hearing for, Variety Club's request for athletic field lights.

OTHER BUSINESS

No other business was discussed.

PUBLIC COMMENT

Bob Andorn offered comment regarding information supplied to the Board as part of the Conditional Use Application. Ms. McKenna shared the Board had only received the Conditional Use Application prior to this meeting, because the hearing was held tonight, and the evidence presented at the hearing. Bob, a member of the Planning Commission, felt he should have received the information about the Conditional Use Application with more time to review prior to Variety Club attending the last Planning Commission meeting. He shared that he voted against the project for that reason.

Chair DeLello thanked Bob for his comments and shared that the Township must comply with the legal requirements of these processes, but also appreciates the recommendations of the Planning Commission. Bob stated that he was not aware that information was not provided to the Board ahead of time.

Supervisor Betz asked the Township Engineer about the review timeline for the plans associated with the work at Variety Club. Supervisor Betz offered that he understood the timelines were largely out of the Townships control but offered that he understood Bob's frustrations with the process.

ADJOURNMENT The meeting adjourned at 9:04 PM.

UPCOMING MEETINGS

Zoning Hearing Board Meeting
Planning Commission Meeting

Wednesday, January 31st
Thursday, January 25th

6:30 PM
7:00 PM

** Meeting to be held at the Township Building, 1721 Valley Forge Road.*

DRAFT

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures - Standard

Revenue Account Range: First to Last
Expend Account Range: First to Last
Print Zero YTD Activity: No

Include Non-Anticipated: No
Include Non-Budget: No

Year To Date As Of: 01/31/24
Current Period: 01/01/24 to 01/31/24
Prior Year: Thru 12/31/23

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-301-100-000	Property Taxes- Current	50,576.05	43,990.00	315.91	315.91	43,674.09 -	1
001-301-500-000	Property Taxes- Liened	785.07	500.00	5.30	5.30	494.70 -	1
001-301-600-000	Property Taxes- Interim	872.82	200.00	71.73	71.73	128.27 -	36
	301 Total	52,233.94	44,690.00	392.94	392.94	44,297.06 -	0
001-310-030-000	Per Capita Taxes- Delinquent	113.30	120.00	16.50	16.50	103.50 -	14
001-310-100-000	Real Estate Transfer Taxes	673,784.13	250,000.00	24,705.86	24,705.86	225,294.14 -	10
001-310-210-000	Earned Income Taxes	2,900,161.71	3,400,000.00	132,376.95	132,376.95	3,267,623.05 -	4
001-310-220-000	Earned Income Taxes- Prior Year	0.00	25.00	0.00	0.00	25.00 -	0
	310 Total	3,574,059.14	3,650,145.00	157,099.31	157,099.31	3,493,045.69 -	4
001-321-800-000	Franchise Fees	157,333.92	188,000.00	0.00	0.00	188,000.00 -	0
001-322-820-000	Road Opening Permits	901.00	300.00	0.00	0.00	300.00 -	0
001-322-900-000	Sign Permits	167.50	100.00	0.00	0.00	100.00 -	0
001-322-920-000	Solicitation Permits	532.00	500.00	0.00	0.00	500.00 -	0
	322 Total	1,600.50	900.00	0.00	0.00	900.00 -	0
001-331-120-000	Ordinance Violations	2,492.14	1,600.00	0.00	0.00	1,600.00 -	0
001-341-000-000	Interest Earnings	17,168.98	4,000.00	458.62	458.62	3,541.38 -	11
001-342-000-000	Rents & Royalties	22,627.62	21,167.37	1,721.51	1,721.51	19,445.86 -	8
001-342-120-000	Cell Tower Rental	178,718.64	165,900.00	14,851.48	14,851.48	151,048.52 -	9
	342 Rents & Royalties	201,346.26	187,067.37	16,572.99	16,572.99	170,494.38 -	8
001-355-010-000	Public Utility Realty Tax	3,384.33	3,384.33	0.00	0.00	3,384.33 -	0
001-355-040-000	Alcohol License Fees	600.00	600.00	0.00	0.00	600.00 -	0

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

02/16/2024
11:07 AM

<u>Revenue Account</u>	<u>Description</u>	<u>Prior Yr Rev</u>	<u>Anticipated</u>	<u>Curr Rev</u>	<u>YTD Rev</u>	<u>Excess/Deficit</u>	<u>% Real</u>
001-355-050-000	General Municipal Pension State Aid	45,040.40	45,040.40	0.00	0.00	45,040.40 -	0
001-355-070-000	Volunteer Fire Relief Association	102,451.40	102,451.40	0.00	0.00	102,451.40 -	0
	355 Total	151,476.13	151,476.13	0.00	0.00	151,476.13 -	0
001-361-300-000	Land Development Fees	750.00	3,000.00	0.00	0.00	3,000.00 -	0
001-361-330-000	Conditional Use Fees	1,000.00	900.00	0.00	0.00	900.00 -	0
001-361-340-000	Zoning Hearing Board Fees	15,300.00	16,150.00	0.00	0.00	16,150.00 -	0
001-361-500-000	Map And Publication Sales	0.00	5.00	0.00	0.00	5.00 -	0
	361 Total	17,050.00	20,055.00	0.00	0.00	20,055.00 -	0
001-362-410-000	Building Permit Fees	114,654.08	75,000.00	10,911.12	10,911.12	64,088.88 -	15
001-362-420-000	Zoning Permit Fees	22,797.00	19,500.00	3,481.00	3,481.00	16,019.00 -	18
001-362-450-000	Commercial U&O Fees	400.00	200.00	0.00	0.00	200.00 -	0
001-362-460-000	Driveway Permit Fees	1,147.00	500.00	112.00	112.00	388.00 -	22
	362 Total	138,998.08	95,200.00	14,504.12	14,504.12	80,695.88 -	15
001-367-408-000	Sports & Lesson Fees	1,903.00	3,000.00	0.00	0.00	3,000.00 -	0
001-367-420-000	Park Miscellaneous	13,019.75	13,400.00	0.00	0.00	13,400.00 -	0
	367 Total	14,922.75	16,400.00	0.00	0.00	16,400.00 -	0
001-381-000-000	Miscellaneous Income	125,594.38	1,000.00	6,133.88	6,133.88	5,133.88	613
001-381-001-000	Service Charge Fees	312.59	225.00	31.19	31.19	193.81 -	14
	381 Miscellaneous Income	125,906.97	1,225.00	6,165.07	6,165.07	4,940.07	503
001-383-200-000	Escrow Administration	1,320.00	880.00	220.00	220.00	660.00 -	25
001-395-000-000	Refund of Prior Year Expenditures	19,060.24 -	0.00	0.00	0.00	0.00	0
	Fund 001 Revenue Totals	4,436,848.57	4,361,638.50	195,413.05	195,413.05	4,166,225.45 -	4

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

02/16/2024
11:07 AM

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
001-400-000-000	LEGISLATIVE BODY:	0.00	0.00	0.00	0.00	0.00	0
001-400-110-000	Legislative- Payroll	7,500.00	7,500.00	630.00	630.00	6,870.00	8
001-400-150-000	Legislative- Benefits	27,854.18	55,210.98	2,531.81	2,531.81	52,679.17	5
001-400-312-000	Legislative- Consultant Services	36,687.50	22,750.00	0.00	0.00	22,750.00	0
001-400-337-000	Legislative- Mileage Reimbursement	0.00	400.00	0.00	0.00	400.00	0
001-400-420-000	Legislative- Dues & Subscriptions	5,776.00	4,625.00	0.00	0.00	4,625.00	0
001-400-460-000	Legislative- Meetings & Seminars	3,480.49	5,175.00	0.00	0.00	5,175.00	0
	400 LEGISLATIVE BODY:	81,298.17	95,660.98	3,161.81	3,161.81	92,499.17	3
001-401-000-000	MANAGER:	0.00	0.00	0.00	0.00	0.00	0
001-401-120-000	Management- Payroll	208,096.00	219,000.00	10,384.62	10,384.62	208,615.38	5
001-401-150-000	Management- Benefits	51,246.62	53,257.20	2,624.04	2,624.04	50,633.16	5
001-401-312-000	Management- Consultant Services	4,000.00	9,950.00	0.00	0.00	9,950.00	0
001-401-321-000	Management- Mobile Phone	1,348.58	1,380.00	106.97	106.97	1,273.03	8
001-401-337-000	Management- Mileage Reimbursement	5,362.42	5,160.00	400.00	400.00	4,760.00	8
001-401-460-000	Management- Meetings & Seminars	7,218.53	7,260.00	165.00	165.00	7,095.00	2
	401 MANAGER:	277,272.15	296,007.20	13,680.63	13,680.63	282,326.57	5
001-402-000-000	FINANCIAL ADMINISTRATION:	0.00	0.00	0.00	0.00	0.00	0
001-402-120-000	Finance- Payroll	83,244.77	89,250.00	6,613.31	6,613.31	82,636.69	7
001-402-150-000	Finance- Benefits	40,848.33	54,592.47	5,409.33	5,409.33	49,183.14	10
001-402-321-000	Finance- Mobile Phone	225.00	300.00	25.00	25.00	275.00	8
001-402-337-000	Finance- Mileage Reimbursement	234.63	250.00	0.00	0.00	250.00	0
001-402-460-000	Finance- Meeting & Seminars	115.00	1,300.00	0.00	0.00	1,300.00	0
	402 FINANCIAL ADMINISTRATION:	124,667.73	145,692.47	12,047.64	12,047.64	133,644.83	8
001-403-000-000	TAX COLLECTION:	0.00	0.00	0.00	0.00	0.00	0
001-403-110-000	Tax Collection- Payroll	2,780.70	2,234.50	109.38	109.38	2,125.12	5

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001-403-150-000	Tax Collection- Benefits	212.72	122.26	8.37	8.37	113.89	7
001-403-210-000	Tax Collection- Office Supplies	5,544.29	6,050.00	2,338.28	2,338.28	3,711.72	39
001-403-310-000	Tax Collection- Professional Services	36,912.34	37,400.28	1,292.43	1,292.43	36,107.85	3
	403 TAX COLLECTION:	45,450.05	45,807.04	3,748.46	3,748.46	42,058.58	8
001-404-000-000	LEGAL SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-404-310-000	Legal- General Services	279,943.05	180,000.00	0.00	0.00	180,000.00	0
001-404-320-000	Legal- RTK Services	0.00	12,000.00	0.00	0.00	12,000.00	0
	404 LEGAL SERVICES:	279,943.05	192,000.00	0.00	0.00	192,000.00	0
001-405-000-000	CLERICAL:	0.00	0.00	0.00	0.00	0.00	0
001-405-140-000	Clerical- Payroll	75,734.00	105,260.40	7,068.90	7,068.90	98,191.50	7
001-405-150-000	Clerical- Benefits	23,223.42	36,418.11	1,415.02	1,415.02	35,003.09	4
001-405-210-000	Clerical- Office Supplies	4,835.19	6,700.00	137.45	137.45	6,562.55	2
001-405-310-000	Payroll Services	12,077.80	13,500.00	976.61	976.61	12,523.39	7
001-405-321-000	Clerical- Telephone	4,139.02	4,893.00	281.84	281.84	4,611.16	6
001-405-325-000	Clerical- Postage	4,034.48	5,619.00	0.00	0.00	5,619.00	0
001-405-337-000	Clerical- Mileage Reimbursement	0.00	240.00	0.00	0.00	240.00	0
001-405-340-000	Clerical- Advertisement	4,314.94	6,900.00	102.73	102.73	6,797.27	1
001-405-460-000	Clerical- Meetings & Seminars	0.00	2,500.00	0.00	0.00	2,500.00	0
001-405-465-000	Clerical- Computer Expense	63,336.73	95,426.00	5,946.00	5,946.00	89,480.00	6
001-405-470-000	Clerical- Other Expense	11,502.76	14,370.00	904.84	904.84	13,465.16	6
	405 CLERICAL:	203,198.34	291,826.51	16,833.39	16,833.39	274,993.12	6
001-408-000-000	ENGINEERING SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-408-310-000	Engineering Services	63,567.74	41,250.00	0.00	0.00	41,250.00	0
001-409-000-000	GOVERNMENT BUILDINGS & PLANT:	0.00	0.00	0.00	0.00	0.00	0
001-409-136-000	Administration- Utilities	9,373.72	11,964.00	700.08	700.08	11,263.92	6

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001-409-137-000	Administration- Maintenance & Repairs	13,868.89	19,416.00	732.40	732.40	18,683.60	4
001-409-142-000	Administration- Alarm Service	3,276.68	4,632.00	235.58	235.58	4,396.42	5
001-409-147-000	Administration- Other Expenses	992.61	2,520.00	539.03	539.03	1,980.97	21
001-409-236-000	Garage- Utilities	13,666.75	15,540.00	976.96	976.96	14,563.04	6
001-409-237-000	Garage- Maintenance & Repairs	9,800.67	12,732.00	622.15	622.15	12,109.85	5
001-409-242-000	Garage- Alarm Service	1,742.45	2,892.00	151.29	151.29	2,740.71	5
001-409-247-000	Garage- Other Expenses	1,124.88	1,740.00	539.02	539.02	1,200.98	31
001-409-436-000	Community Hall- Utilities	6,971.62	6,396.00	407.33	407.33	5,988.67	6
001-409-437-000	Community Hall- Maintenance & Repairs	5,303.80	6,960.00	358.48	358.48	6,601.52	5
001-409-447-000	Community Hall- Other Expenses	122.24	660.00	0.00	0.00	660.00	0
001-409-536-000	Historical Bldg- Utilities	3,020.48	5,352.50	43.55	43.55	5,308.95	1
001-409-537-000	Historical Bldg- Maintenance & Repairs	777.41	1,848.00	0.00	0.00	1,848.00	0
001-409-636-000	Hollow Rd Rental- Utilities	0.00	250.00	0.00	0.00	250.00	0
001-409-637-000	Hollow Rd Rental- Maintenance & Repairs	245.00	4,248.00	0.00	0.00	4,248.00	0
001-409-737-000	Springhouse- Maintenance & Repairs	0.00	1,000.00	0.00	0.00	1,000.00	0
001-409-836-000	Dutchy Church- Utilities	117.37	600.00	39.64	39.64	560.36	7
	409 GOVERNMENT BUILDINGS & PLANT:	70,404.57	98,750.50	5,345.51	5,345.51	93,404.99	5
001-411-000-000	FIRE:	0.00	0.00	0.00	0.00	0.00	0
001-411-380-000	Fire Protection- Hydrant Rentals	5,485.70	30,849.00	7.26	7.26	30,841.74	0
001-411-540-000	Fire Protection- WVFD Contributions	386,352.40	467,847.40	0.00	0.00	467,847.40	0
	411 FIRE:	391,838.10	498,696.40	7.26	7.26	498,689.14	0
001-413-000-000	UCC & CODE ENFORCEMENT:	0.00	0.00	0.00	0.00	0.00	0
001-413-110-000	Fire Marshal- Payroll	8,115.00	16,380.00	618.00	618.00	15,762.00	4
001-413-110-150	Fire Marshal- Benefits	5,061.48	5,694.71	410.56	410.56	5,284.15	7
001-413-210-000	Code Enforcement- Supplies	1,195.00	7,805.00	0.00	0.00	7,805.00	0
001-413-312-000	Code Enforcement- Consultant Services	62,645.00	82,990.80	0.00	0.00	82,990.80	0

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Statement of Revenue and Expenditures

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001-413-321-000	Code Enforcement- Mobile Phone	262.86	300.00	27.53	27.53	272.47	9
001-413-337-000	Code Enforcement- Mileage Reimbursement	0.00	840.00	0.00	0.00	840.00	0
001-413-460-000	Code Enforcement- Meetings & Seminars	0.00	400.00	0.00	0.00	400.00	0
	413 UCC & CODE ENFORCEMENT:	77,279.34	114,410.51	1,056.09	1,056.09	113,354.42	1
001-414-000-000	PLANNING & ZONING:	0.00	0.00	0.00	0.00	0.00	0
001-414-140-000	Zoning- Payroll	2,400.00	4,400.00	150.00	150.00	4,250.00	3
001-414-150-000	Zoning- Benefits	183.75	337.04	11.49	11.49	325.55	3
001-414-310-000	Zoning- Professional Services	14,114.00	11,400.00	302.00	302.00	11,098.00	3
001-414-313-000	Zoning- Engineering	0.00	1,500.00	0.00	0.00	1,500.00	0
001-414-314-000	Zoning- Legal	34,326.12	36,100.00	0.00	0.00	36,100.00	0
001-414-315-000	Zoning- Conditional Use	0.00	8,700.00	0.00	0.00	8,700.00	0
001-414-341-000	Zoning- Advertisement	4,063.25	4,725.00	0.00	0.00	4,725.00	0
001-414-460-000	Zoning- Meetings & Seminars	0.00	200.00	0.00	0.00	200.00	0
	414 PLANNING & ZONING:	55,087.12	67,362.04	463.49	463.49	66,898.55	1
001-419-000-000	OTHER PUBLIC SAFETY:	0.00	0.00	0.00	0.00	0.00	0
001-419-242-000	PA One Call	2,801.16	2,580.00	0.00	0.00	2,580.00	0
001-430-000-000	PUBLIC WORKS - ADMIN:	0.00	0.00	0.00	0.00	0.00	0
001-430-140-000	Public Works- Payroll	507,620.52	602,837.46	43,238.71	43,238.71	559,598.75	7
001-430-150-000	Public Works- Benefits	264,482.47	354,015.27	29,026.05	29,026.05	324,989.22	8
001-430-238-000	Public Works- Uniforms	7,930.61	9,200.00	283.20	283.20	8,916.80	3
001-430-326-000	Public Works- Mobile phones	596.30	672.00	42.22	42.22	629.78	6
001-430-460-000	Public Works- Meetings & Seminars	270.00	1,900.00	0.00	0.00	1,900.00	0
001-430-470-000	Public Works- Other Expenses	1,977.00	1,615.00	715.00	715.00	900.00	44
	430 PUBLIC WORKS - ADMIN:	782,876.90	970,239.73	73,305.18	73,305.18	896,934.55	8
001-432-000-000	WINTER MAINTENANCE- SNOW REMOVAL:	0.00	0.00	0.00	0.00	0.00	0

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001-432-200-000	Snow Removal- Materials	9,194.96	40,625.00	5,920.54	5,920.54	34,704.46	15
001-432-450-000	Snow Removal- Contractor	0.00	1,500.00	0.00	0.00	1,500.00	0
	432 WINTER MAINTENANCE- SNOW REMOVA	9,194.96	42,125.00	5,920.54	5,920.54	36,204.46	14
001-433-000-000	TRAFFIC CONTROL DEVICES:	0.00	0.00	0.00	0.00	0.00	0
001-433-313-000	Traffic Signal- Engineering	4,051.02	5,000.00	0.00	0.00	5,000.00	0
001-433-361-000	Traffic Signal- Electricity	4,891.65	4,740.00	0.00	0.00	4,740.00	0
001-433-374-000	Traffic Signal- Maintenance	11,636.14	11,400.00	0.00	0.00	11,400.00	0
	433 TRAFFIC CONTROL DEVICES:	20,578.81	21,140.00	0.00	0.00	21,140.00	0
001-437-000-000	REPAIRS OF TOOLS AND MACHINERY:	0.00	0.00	0.00	0.00	0.00	0
001-437-250-000	Machinery & Tools- Vehicle Maintenance	67,357.31	82,200.00	754.19	754.19	81,445.81	1
001-437-260-000	Machinery & Tools- Small Tools	4,199.26	16,000.00	178.82	178.82	15,821.18	1
	437 REPAIRS OF TOOLS AND MACHINERY:	71,556.57	98,200.00	933.01	933.01	97,266.99	1
001-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
001-438-231-000	Gasoline	5,800.34	5,500.00	0.00	0.00	5,500.00	0
001-438-232-000	Diesel Fuel	20,439.17	28,300.00	962.74	962.74	27,337.26	3
001-438-242-000	Road Signs	2,582.80	3,000.00	49.06	49.06	2,950.94	2
001-438-245-000	Road Supplies	31,303.89	56,500.00	0.00	0.00	56,500.00	0
001-438-313-000	Engineering	18,086.33	25,000.00	0.00	0.00	25,000.00	0
001-438-370-000	Road Program- Contractor	0.00	13,500.00	0.00	0.00	13,500.00	0
	438 ROADS & BRIDGES:	78,212.53	131,800.00	1,011.80	1,011.80	130,788.20	1
001-446-000-000	STORM WATER MANAGEMENT:	0.00	0.00	0.00	0.00	0.00	0
001-446-313-000	Stormwater Management- Engineering	5,882.91	37,000.00	0.00	0.00	37,000.00	0
001-452-000-000	PARTICIPANT RECREATION:	0.00	0.00	0.00	0.00	0.00	0
001-452-248-000	Camps & Sport Leagues	1,800.00	2,800.00	0.00	0.00	2,800.00	0

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
001-452-250-000	Community Day	0.00	13,000.00	0.00	0.00	13,000.00	0
001-452-520-000	Library	8,444.00	8,866.00	0.00	0.00	8,866.00	0
	452 PARTICIPANT RECREATION:	10,244.00	24,666.00	0.00	0.00	24,666.00	0
001-454-000-000	PARKS:	0.00	0.00	0.00	0.00	0.00	0
001-454-436-000	Heebner Park- Utilities	7,412.13	3,456.00	0.00	0.00	3,456.00	0
001-454-437-001	Heebner Park- Athletic Fields	6,375.93	15,800.00	0.00	0.00	15,800.00	0
001-454-437-002	Heebner Park- Expenses	6,444.85	8,000.00	0.00	0.00	8,000.00	0
001-454-438-001	Mount Kirk Park- Athletic Fields	638.00	3,700.00	0.00	0.00	3,700.00	0
001-454-438-002	Mount Kirk Park- Expenses	2,354.20	1,550.00	0.00	0.00	1,550.00	0
001-454-438-003	Mount Kirk Park- Utilities	1,930.73	1,050.00	277.42	277.42	772.58	26
001-454-439-001	Sunny Brook Park- Athletic Fields	1,379.02	4,700.00	0.00	0.00	4,700.00	0
001-454-439-002	Sunny Brook Park- Expenses	1,519.56	3,602.00	0.00	0.00	3,602.00	0
001-454-446-000	Sunny Brook Park- Utilities	1,543.20	1,860.00	0.00	0.00	1,860.00	0
001-454-470-000	Heyser Park- Horse Ring	0.00	500.00	0.00	0.00	500.00	0
001-454-471-000	Heyser Park- Expenses	65.29	350.00	0.00	0.00	350.00	0
001-454-480-000	Trail Expenses	4,380.71	2,850.00	0.00	0.00	2,850.00	0
001-454-490-000	Other Parks	2,191.29	9,320.00	212.75	212.75	9,107.25	2
	454 PARKS:	36,234.91	56,738.00	490.17	490.17	56,247.83	1
001-459-000-000	PUBLIC RELATIONS:	0.00	0.00	0.00	0.00	0.00	0
001-459-340-000	Public Relations- Community Newsletter	22,423.67	22,900.00	0.00	0.00	22,900.00	0
001-459-341-000	Public Relations- Other Communications	2,248.14	1,600.00	0.00	0.00	1,600.00	0
	459 PUBLIC RELATIONS:	24,671.81	24,500.00	0.00	0.00	24,500.00	0
001-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
001-486-350-000	Insurances	102,547.80	129,619.40	22,104.00	22,104.00	107,515.40	17
001-492-300-000	Transfer To Capital Fund	2,444,235.79	934,956.73	0.00	0.00	934,956.73	0

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
	Fund 001 Expenditure Totals	5,259,044.51	4,361,028.51	160,108.98	160,108.98	4,200,919.53	4

001 Fund	<u>Prior</u>	<u>Current</u>	<u>YTD</u>
Revenues:	4,436,848.57	195,413.05	195,413.05
Expenditures:	5,259,044.51	160,108.98	160,108.98
Net Income:	822,195.94 -	35,304.07	35,304.07

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<u>Revenue Account</u>	<u>Description</u>	<u>Prior Yr Rev</u>	<u>Anticipated</u>	<u>Curr Rev</u>	<u>YTD Rev</u>	<u>Excess/Deficit</u>	<u>% Real</u>
008-341-000-000	Interest Earnings	61,072.33	10,000.00	5,633.00	5,633.00	4,367.00 -	56
008-364-110-000	Tapping Fees	76,545.50	48,577.62	6,406.80	6,406.80	42,170.82 -	13
008-364-120-000	Sewer Fees- Residential	580,832.18	599,148.56	123,049.50	123,049.50	476,099.06 -	21
008-364-130-000	Sewer Fees- Commercial	166,401.84	145,000.00	26,790.38	26,790.38	118,209.62 -	18
008-364-140-000	Late Fees	9,775.43	7,500.00	825.50	825.50	6,674.50 -	11
008-364-150-000	Certification Fees	925.00	1,000.00	25.00	25.00	975.00 -	2
	364 Total	834,479.95	801,226.18	157,097.18	157,097.18	644,129.00 -	19
008-381-000-000	Miscellaneous Income	0.00	25.00	0.00	0.00	25.00 -	0
008-395-000-000	Refund of Prior Year Expenditures	61.89	0.00	0.00	0.00	0.00	0
	Fund 008 Revenue Totals	895,614.17	811,251.18	162,730.18	162,730.18	648,521.00 -	20

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
008-429-000-000	WASTWATER COLLECTION AND TREATMENT	0.00	0.00	0.00	0.00	0.00	0
008-429-242-000	Alarm Services	551.88	1,232.00	0.00	0.00	1,232.00	0
008-429-300-000	Other Expenses	195,942.71	197,520.00	16,759.65	16,759.65	180,760.35	8
008-429-313-000	Engineering	3,034.75	12,500.00	0.00	0.00	12,500.00	0
008-429-314-000	Legal	7,525.53	10,000.00	0.00	0.00	10,000.00	0
008-429-316-000	Plant Operations	87,422.75	89,434.80	0.00	0.00	89,434.80	0
008-429-321-000	Telephone	983.60	1,080.00	131.65	131.65	948.35	12
008-429-361-000	Utilities	159,850.04	138,288.00	0.00	0.00	138,288.00	0
008-429-374-000	Equipment & Repairs	13,838.46	27,852.00	0.00	0.00	27,852.00	0
008-429-421-001	Center Point- Operations	5,910.00	6,388.20	0.00	0.00	6,388.20	0
008-429-421-002	Center Point- Utilities & Repairs	7,623.97	7,272.00	62.77	62.77	7,209.23	1
008-429-422-001	Meadowood- Operations	6,605.25	6,388.20	0.00	0.00	6,388.20	0
008-429-422-002	Meadowood- Utilities & Repairs	4,192.31	6,660.00	41.77	41.77	6,618.23	1
008-429-423-001	Heritage Village- Operations	5,910.00	6,388.20	0.00	0.00	6,388.20	0
008-429-423-002	Heritage Village- Utilities & Repairs	4,042.12	6,648.00	86.65	86.65	6,561.35	1

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
008-429-424-001	Fawn Creek- Operations	6,013.00	6,388.20	0.00	0.00	6,388.20	0
008-429-424-002	Fawn Creek- Utilities & Repairs	3,750.21	5,652.00	41.80	41.80	5,610.20	1
008-429-425-001	Chadwick Place- Operations	5,910.00	6,388.20	0.00	0.00	6,388.20	0
008-429-425-002	Chadwick Place- Utilities & Repairs	3,119.42	5,520.00	41.77	41.77	5,478.23	1
008-429-426-001	Adair Pump- Operations	5,910.00	6,388.20	0.00	0.00	6,388.20	0
008-429-426-002	Adair Pump- Utilities & Repairs	3,314.63	4,680.00	88.00	88.00	4,592.00	2
008-429-700-000	Capital Improvements	1,230,849.87	67,800.00	0.00	0.00	67,800.00	0
	429 WASTWATER COLLECTION AND TREATM	1,762,300.50	620,468.00	17,254.06	17,254.06	603,213.94	3
008-471-000-000	DEBT PRINCIPAL:	0.00	0.00	0.00	0.00	0.00	0
008-471-200-000	General Obligation Bond- Principal	130,000.00	130,000.00	0.00	0.00	130,000.00	0
008-472-000-000	DEBT INTEREST:	0.00	0.00	0.00	0.00	0.00	0
008-472-200-000	General Obligation Bond- Interest	38,376.26	41,431.26	0.00	0.00	41,431.26	0
008-475-000-000	Fiscal Agent Fees- 2016 Bond	1,050.00	1,100.00	0.00	0.00	1,100.00	0
008-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
008-486-350-000	Insurance Expense	5,001.20	6,689.50	6,689.50	6,689.50	0.00	100
	Fund 008 Expenditure Totals	1,936,727.96	799,688.76	23,943.56	23,943.56	775,745.20	3

008 Fund	<u>Prior</u>	<u>Current</u>	<u>YTD</u>
Revenues:	895,614.17	162,730.18	162,730.18
Expenditures:	1,936,727.96	23,943.56	23,943.56
Net Income:	1,041,113.79 -	138,786.62	138,786.62

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<u>Revenue Account</u>	<u>Description</u>	<u>Prior Yr Rev</u>	<u>Anticipated</u>	<u>Curr Rev</u>	<u>YTD Rev</u>	<u>Excess/Deficit</u>	<u>% Real</u>
030-341-000-000	Interest Earnings	820,335.39	960,000.00	80,086.44	80,086.44	879,913.56 -	8
030-354-351-000	Grants	802,455.00	382,000.00	0.00	0.00	382,000.00 -	0
030-363-100-000	Traffic Impact Fees	7,954.00	14,204.00	0.00	0.00	14,204.00 -	0
030-381-000-000	Miscellaneous Income	49,120.00	2,000.00	0.00	0.00	2,000.00 -	0
030-392-010-000	Transfer From General Fund	2,444,235.79	934,956.73	0.00	0.00	934,956.73 -	0
030-395-000-000	Refund of Prior Year Expenditures	600.00	0.00	0.00	0.00	0.00	0
	Fund 030 Revenue Totals	4,124,700.18	2,293,160.73	80,086.44	80,086.44	2,213,074.29 -	3

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
030-405-000-000	SECRETARY/CLERK:	0.00	0.00	0.00	0.00	0.00	0
030-405-720-000	Office Equipment	3,229.05	32,000.00	2,149.50	2,149.50	29,850.50	7
030-409-000-000	GOVERNMENT BUILDINGS & PLANTS:	0.00	0.00	0.00	0.00	0.00	0
030-409-600-000	Building Improvements	29,410.42	38,300.00	1,111.89	1,111.89	37,188.11	3
030-430-600-000	Capital Roads	1,313,895.82	1,398,018.00	7,800.00	7,800.00	1,390,218.00	1
030-430-740-000	Equipment Purchases	111,997.24	514,710.62	0.00	0.00	514,710.62	0
	430 Total	1,425,893.06	1,912,728.62	7,800.00	7,800.00	1,904,928.62	0
030-433-600-000	Traffic Signs & Signals	0.00	15,300.00	0.00	0.00	15,300.00	0
030-454-600-000	Parks and Trails	214,565.24	674,800.00	1,314.91	1,314.91	673,485.09	0
030-454-710-000	Land Acquisition	800,441.06	31,000.00	0.00	0.00	31,000.00	0
	454 Total	1,015,006.30	705,800.00	1,314.91	1,314.91	704,485.09	0
030-472-200-000	Loan Interest	109,881.56	0.00	0.00	0.00	0.00	0
030-492-080-000	Transfer to Sewer Fund	574,659.31	0.00	0.00	0.00	0.00	0
	Fund 030 Expenditure Totals	3,158,079.70	2,704,128.62	12,376.30	12,376.30	2,691,752.32	0

030 Fund	<u>Prior</u>	<u>Current</u>	<u>YTD</u>
Revenues:	4,124,700.18	80,086.44	80,086.44

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

Expenditures:	3,158,079.70	12,376.30	12,376.30
Net Income:	966,620.48	67,710.14	67,710.14

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

02/16/2024
11:07 AM

<u>Revenue Account</u>	<u>Description</u>	<u>Prior Yr Rev</u>	<u>Anticipated</u>	<u>Curr Rev</u>	<u>YTD Rev</u>	<u>Excess/Deficit</u>	<u>% Real</u>
035-341-000-000	Interest Earnings	14,282.34	5,000.00	310.44	310.44	4,689.56 -	6
035-355-020-000	Liquid Fuel Funds	364,920.35	359,353.93	0.00	0.00	359,353.93 -	0
	Fund 035 Revenue Totals	379,202.69	364,353.93	310.44	310.44	364,043.49 -	0

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
035-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
035-438-370-000	Road Maintenance Contractor	347,000.00	350,000.00	0.00	0.00	350,000.00	0
	Fund 035 Expenditure Totals	347,000.00	350,000.00	0.00	0.00	350,000.00	0

035 Fund	Prior	Current	YTD
Revenues:	379,202.69	310.44	310.44
Expenditures:	347,000.00	0.00	0.00
Net Income:	32,202.69	310.44	310.44

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

02/16/2024
11:07 AM

<u>Revenue Account</u>	<u>Description</u>	<u>Prior Yr Rev</u>	<u>Anticipated</u>	<u>Curr Rev</u>	<u>YTD Rev</u>	<u>Excess/Deficit</u>	<u>% Real</u>
040-341-200-000	Interest Earnings Developers	1,237.32	0.00	114.52	114.52	114.52	0
	Fund 040 Revenue Totals	1,237.32	0.00	114.52	114.52	114.52	0

040 Fund	<u>Prior</u>	<u>Current</u>	<u>YTD</u>
Revenues:	1,237.32	114.52	114.52
Expenditures:	0.00	0.00	0.00
Net Income:	1,237.32	114.52	114.52

Grand Totals	<u>Prior</u>	<u>Current</u>	<u>YTD</u>
Revenues:	9,837,602.93	438,654.63	438,654.63
Expenditures:	10,700,852.17	196,428.84	196,428.84
Net Income:	863,249.24 -	242,225.79	242,225.79



Worcester Township

1721 Valley Forge Road
Worcester PA 19490
Phone: 610-584-1410

Permit Report - 01/01/2024 to 01/31/2024

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
Building Permit								
B-2023-238		Building Permit	\$0.00	\$4.50	1/15/2024	0.00		\$189.50
Contractor:	A Plus Landscaping LLC		Description: Frame end of existing porch and close with a masonry fireplace and natural gas insert.					
Parcel Info:								
Parcel Number:		Location Address:	2590 HAWTHORN DR		Zoning:		Owner:	TRAN MINA & WILLIAMS ERIC
B-2023-329		Building Permit	\$0.00	\$4.50	1/11/2024	0.00		\$157.50
Contractor:	Anthony & Sylvan Pools Corp.		Description: In-ground swimming pool					
Parcel Info:								
Parcel Number:		Location Address:	2260 OAK TER		Zoning:		Owner:	BORELLI DANIEL & KRISTIN M
B-2023-331		Building Permit	\$0.00	\$4.50	1/2/2024	0.00		\$242.50
Contractor:	Canty Masonry Corp.		Description: In-Ground Pool					
Parcel Info:								
Parcel Number:		Location Address:	2131 BETHEL RD		Zoning:		Owner:	LEE KWANG W & JENNIFER
B-2023-332		Building Permit	\$0.00	\$4.50	1/11/2024	0.00		\$2,093.11
Contractor:	Mikelen LLC (DelGripco Builders)		Description: Construction of new SFD					
Parcel Info:								
Parcel Number:		Location Address:	1101 ARDEN DR		Zoning:		Owner:	ARDEN RESERVE LLC
B-2023-342		Building Permit	\$0.00	\$4.50	12/19/2023	0.00		\$132.50
Contractor:	Gehman Design Remodeling		Description: Remove pantry and coat closet in foyer and install cabinets to form a butlers pantry.					
Parcel Info:								
Parcel Number:		Location Address:	2677 HAWTHORN DR		Zoning:		Owner:	KATTELMAN MARC & FRANCES R
B-2023-345		Building Permit	\$0.00	\$4.50	12/28/2023	0.00		\$356.50
Contractor:	Marczak Construction LLC		Description: Residential Alterations					
Parcel Info:								
Parcel Number:		Location Address:	183 ORCHARD CIR		Zoning:		Owner:	STITH SHEILA D



Worcester Township

1721 Valley Forge Road
Worcester PA 19490
Phone: 610-584-1410

Permit Report - 01/01/2024 to 01/31/2024

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
Building Permit								
B-2023-350		Building Permit	\$0.00	\$4.50	1/15/2024	0.00		\$152.50
Contractor:	Solar States	Description: Solar Panels						
Parcel Info:								
Parcel Number:		Location Address:	1610 SHEFLEY LN	Zoning:		Owner:	WESTHOFF STEVEN MICHAEL &	
B-2023-351		Building Permit	\$0.00	\$4.50	12/29/2023	0.00		\$94.50
Contractor:	Zoom Drain	Description: Excavate and repair broken section of sewer lateral						
Parcel Info:								
Parcel Number:		Location Address:	1301 DELL RD	Zoning:		Owner:	VOGAN FRANCIS J & CICCOTOSTO MAEVE R	
B-2023-352		Building Permit	\$0.00	\$4.50	1/15/2024	0.00		\$4,584.61
Contractor:	Toll Mid-Atlantic L.P. Co., Inc.	Description: Construct a new SFD						
Parcel Info:								
Parcel Number:		Location Address:	2502 Severn Court	Zoning:		Owner:		
B-2023-354		Building Permit	\$0.00	\$4.50	12/29/2023	0.00		\$32.50
Contractor:	Scott Ziegler	Description: Install 200 AMP 3 Phase meter and panel.						
Parcel Info:								
Parcel Number:		Location Address:	1616 WHITEHALL RD	Zoning:		Owner:	DELLIGATTI JOHN & DIANA	
B-2024-2		Building Permit	\$0.00	\$4.50	1/22/2024	0.00		\$2,093.11
Contractor:	Mikelen LLC (DelGrippo Builders)	Description: New SFD - Shannon Model						
Parcel Info:								
Parcel Number:		Location Address:	2961 ARTMAR RD	Zoning:		Owner:	MIKELEN LLC	
B-2024-3		Building Permit	\$0.00	\$4.50	1/9/2024	0.00		\$270.90
Contractor:	Lapp Structures	Description: Construction of 720 square foot garage with a 198 square foot driveway connection .						
Parcel Info:								
Parcel Number:		Location Address:	1637 KRIEBEL MILL RD	Zoning:		Owner:	SANTANA ANDREW DAVID & MEGAN	



Worcester Township

1721 Valley Forge Road
Worcester PA 19490
Phone: 610-584-1410

Permit Report - 01/01/2024 to 01/31/2024

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
Building Permit								
B-2024-4		Building Permit	\$0.00	\$4.50	1/15/2024	0.00		\$164.50
Contractor: Bill Frusco		Description: New sewage ejector and discharge line pump.						
Parcel Info:								
Parcel Number:		Location Address: 920 VIENNA AVE		Zoning:		Owner: CATAGNUS NICHOLAS V & CARA A		
B-2024-5		Building Permit	\$0.00	\$4.50	1/16/2024	0.00		\$89.50
Contractor: Horizon Services		Description: Heat Pump Replacement						
Parcel Info:								
Parcel Number:		Location Address: 2909 CLYSTON RD		Zoning:		Owner: SYKES ROBERT W & DENNIS-SYKES CAROLYN A		
B-2024-6		Building Permit	\$0.00	\$4.50	1/22/2024	0.00		\$32.50
Contractor: Tesla Energy Operations, Inc.		Description: Installation of one 13.5kw energy storage unit.						
Parcel Info:								
Parcel Number:		Location Address: 2910 TOWNSHIP LINE RD		Zoning:		Owner: KRIEBLE DONALD B & CHERYL G		
B-2024-7		Building Permit	\$0.00	\$4.50	1/9/2024	0.00		\$94.50
Contractor: TLC Plumbing Heating Cooling		Description: Emergency Sewer Lateral, Excavate and trap in grass 2 way clean out 4 feet deep.						
Parcel Info:								
Parcel Number:		Location Address: 2904 DEFFORD RD		Zoning:		Owner: SWEIGART PAUL & CAROL F		
B-2024-8		Building Permit	\$0.00	\$4.50	1/15/2024	0.00		\$262.50
Contractor: Bonucci Masonry & Structures, LLC		Description: Adding 870 square feet of paver patio, walkway, retaining walls with outdoor kitchen with sink under pergola.						
Parcel Info:								
Parcel Number:		Location Address: 2621 HAWTHORN DR		Zoning:		Owner: JOHNSON KEVIN & KATHY		
B-2024-9		Building Permit	\$0.00	\$4.50	1/15/2024	0.00		\$518.50
Contractor: White Hill Realty Inc.		Description: Residential Alterations.						
Parcel Info:								
Parcel Number:		Location Address: 168 HEDGE ROW CIR		Zoning:		Owner: WHITEHILL REALTY LLC		



Worcester Township

1721 Valley Forge Road
Worcester PA 19490
Phone: 610-584-1410

Permit Report - 01/01/2024 to 01/31/2024

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
Building Permit								
B-2024-10		Building Permit	\$0.00	\$4.50	1/16/2024	0.00		\$132.50
Contractor:	Description: Constructing a partial roof over existing deck.							
Parcel Info:								
Parcel Number:	Location Address: 2252 LOCUST DR		Zoning:	Owner: KAKKAR SACHIT K & ARPITA				
B-2024-11		Building Permit	\$0.00	\$4.50	1/11/2024	0.00		\$74.50
Contractor:	Scavello and Sons Description: Installation of new meter pit and water line.							
Parcel Info:								
Parcel Number:	Location Address: 2757 TOWNSHIP LINE RD		Zoning:	Owner: PASSEAU KIMBERLY A				
B-2024-12		Building Permit	\$0.00	\$4.50	1/16/2024	0.00		\$132.50
Contractor:	Description: Construct a covered porch over existing patio with wood burning fireplace included.							
Parcel Info:								
Parcel Number:	Location Address: 3255 HEDWIG LN		Zoning:	Owner: MACDOUGALL KENNETH JR & CHERYL L				
B-2024-14		Building Permit	\$0.00	\$4.50	1/22/2024	0.00		\$152.50
Contractor:	Venture Solar Description: Installation of 9.775kw of 23 mounted solar modules.							
Parcel Info:								
Parcel Number:	Location Address: 2588 MORRIS RD		Zoning:	Owner: MUNIO THOMAS				
B-2024-16		Building Permit	\$0.00	\$4.50	1/22/2024	0.00		\$89.50
Contractor:	Adam Mechanical Description: Install ductless heat pump							
Parcel Info:								
Parcel Number:	Location Address: 2286 WARNER RD		Zoning:	Owner: ROMANO ANTHONY P & AUDRA V				
B-2024-18		Building Permit	\$0.00	\$4.50	1/25/2024	0.00		\$89.50
Contractor:	Quality Degree, Inc Description: Replacement of 2 gas furnaces and 2 air conditioners							
Parcel Info:								
Parcel Number:	Location Address: 2572 MUIRFIELD WAY		Zoning:	Owner: AUFENANGER ANDREAS &				



Worcester Township

1721 Valley Forge Road
Worcester PA 19490
Phone: 610-584-1410

Permit Report - 01/01/2024 to 01/31/2024

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
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Building Permit

B-2024-20		Building Permit	\$0.00	\$4.50	2/1/2024	0.00		\$3,385.50
Contractor: MJ Contractor LLC		Description: Install Eore grinder sewer pump system from side of home to Township street force main.						

Parcel Info:

Parcel Number:	Location Address: 1804 GREEN BRIAR DR	Zoning:	Owner: DREHER DANA W & LAURA A
Total Const. Cost: \$0.00		Total UCC Fee: \$112.50	
		Total Cost: \$15,618.23	

Zoning Permit

Z-2023-150		Zoning Permit	\$0.00	\$0.00	2/1/2024	0.00		\$28.00
Contractor: Poseidons Custom Pools		Description: Fence around in ground swimming pool.						

Parcel Info:

Parcel Number:	Location Address: 2208 WEBER RD	Zoning:	Owner: GUNNING JOHN DAVID & SHARON RUPERT
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Z-2024-1		Zoning Permit	\$0.00	\$0.00	1/11/2024	0.00		\$28.00
Contractor: Heritage Fence & Deck, LLC		Description: Fence in entire property with 4' aluminum fence for security and fence in animals.						

Parcel Info:

Parcel Number:	Location Address: 2625 HAWTHORN DR	Zoning:	Owner: ISHMAEL TERRENCE & JASTY SUNEETHA
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Z-2024-2		Zoning Permit	\$0.00	\$0.00	1/8/2024	0.00		\$28.00
Contractor: Horgan Brothers		Description: Driveway Extension						

Parcel Info:

Parcel Number:	Location Address: 2682 HAWTHORN DR	Zoning:	Owner: SHARMA SANJAY & ARCHANA
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Z-2024-3		Zoning Permit	\$0.00	\$0.00	1/11/2024	0.00		\$28.00
Contractor: Heritage Fence & Deck, LLC		Description: Fence in front yard 3ft high ranch split, rail fence.						

Parcel Info:

Parcel Number:	Location Address: 2139 SCHULTZ RD	Zoning:	Owner: MIZAK GERARD G & ANNE MARIE V
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Z-2024-4		Zoning Permit	\$0.00	\$0.00	1/15/2024	0.00		\$28.00
Contractor: Prestige Fence Co., INC.		Description: 4 ft. fence in side and rear yard.						

Parcel Info:

Parcel Number:	Location Address: 2696 HAWTHORN DR	Zoning:	Owner: SNOWDEN ANDREW & SELAM
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Worcester Township

1721 Valley Forge Road
Worcester PA 19490
Phone: 610-584-1410

Permit Report - 01/01/2024 to 01/31/2024

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
Zoning Permit								
Z-2024-5		Zoning Permit	\$0.00	\$0.00	1/15/2024	0.00		\$28.00
Contractor:	Paramount Fencing	Description: Aluminum 4 ft. fence in rear yard for security.						
Parcel Info:								
Parcel Number:		Location Address:	2693 ELDER WAY	Zoning:		Owner:	PAK YONG SIK & KWON EUNICE HUI	
Z-2024-6		Zoning Permit	\$0.00	\$0.00	1/15/2024	0.00		\$28.00
Contractor:	Bonucci Masonry & Structures, LLC	Description: Zoning review for walkway, patio with retaining walls, outdoor kitchen and pergola.						
Parcel Info:								
Parcel Number:		Location Address:	2621 HAWTHORN DR	Zoning:		Owner:	JOHNSON KEVIN & KATHY	
Z-2024-7		Zoning Permit	\$0.00	\$0.00		0.00		\$28.00
Contractor:	Blue Tree Landscaping	Description: Zoning review for in-ground pool						
Parcel Info:								
Parcel Number:		Location Address:	2867 HICKORY HILL DR	Zoning:		Owner:	BOOKHEIMER TITUS & GENA	
Z-2024-8		Zoning Permit	\$0.00	\$0.00		0.00		\$28.00
Contractor:	Toll Landscape	Description: 4 ft. black aluminum fence in rear yard for aesthetics.						
Parcel Info:								
Parcel Number:		Location Address:	2682 HAWTHORN DR	Zoning:		Owner:	SHARMA SANJAY & ARCHANA	
Z-2024-9		Zoning Permit	\$0.00	\$0.00	1/23/2024	0.00		\$28.00
Contractor:	County Line Fence	Description:						
Parcel Info:								
Parcel Number:		Location Address:	1898 CASSEL RD	Zoning:		Owner:	CANTARA WILLIAM ANTHONY & CANTARA SHRADHA ISHWAD	
Z-2024-10		Zoning Permit	\$0.00	\$0.00	1/26/2024	0.00		\$28.00
Contractor:	B & T LANDSCAPING	Description: Paver Patio in Rear Yard.						
Parcel Info:								
Parcel Number:		Location Address:	2283 WARNER RD	Zoning:		Owner:	BURNS JAMES M JR & RUSSO DONNA M	



Worcester Township

1721 Valley Forge Road
Worcester PA 19490
Phone: 610-584-1410

Permit Report - 01/01/2024 to 01/31/2024

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
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Zoning Permit

Z-2024-11		Zoning Permit	\$0.00	\$0.00	2/5/2024	0.00		\$28.00
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Contractor: Fence City Description: 4 ft. farm fence in front, side and rear yard to fence in animals.

Parcel Info:

Parcel Number:	Location Address: 1557 VALLEY FORGE RD	Zoning:	Owner: EVANS MICHAEL & LINDA
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Z-2024-12		Zoning Permit	\$0.00	\$0.00	2/9/2024	0.00		\$28.00
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Contractor: Horgan Brothers Description: 345 square foot Driveway Extension

Parcel Info:

Parcel Number:	Location Address: 2614 HAWTHORN DR	Zoning:	Owner: PALLELA VENKATARAMANA R & MALLIKA
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Total Const. Cost:	\$0.00	Total UCC Fee:	\$0.00	Total Cost:	\$364.00
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Grading Permit

G-2023-68		Grading Permit	\$0.00	\$0.00	2/1/2024	0.00		\$365.00
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Contractor: Poseidons Custom Pools Description: Grading for in ground pool. Stormwater management facilities are required as party of this project and the Township will require inspections of these facilities to ensure facilities are constructed in accordance with approved plans.

Parcel Info:

Parcel Number:	Location Address: 2208 WEBER RD	Zoning:	Owner: GUNNING JOHN DAVID & SHARON RUPERT
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G-2023-69		Grading Permit	\$0.00	\$0.00	2/1/2024	0.00		\$365.00
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Contractor: Cork County Homes, LLC Description: Grading for New SFD Lot #3

Parcel Info:

Parcel Number:	Location Address: 2694 CAPRI LN	Zoning:	Owner: MCCALLION JAMES & LISA
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G-2024-1		Grading Permit	\$0.00	\$0.00	1/9/2024	0.00		\$365.00
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Contractor: Site Preparations LLC Description: Grading for a 720 square foot garage with a 198 square foot driveway connection for access. FYI. IF YOU ARE BUILDING AT THE SETBACK LIMITS, ENSURE YOU DO NOT GO OVER OR YOU WILL REQUIRE ZONING RELIEF.

Parcel Info:

Parcel Number:	Location Address: 1637 KRIEBEL MILL RD	Zoning:	Owner: SANTANA ANDREW DAVID & MEGAN
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Worcester Township

1721 Valley Forge Road
Worcester PA 19490
Phone: 610-584-1410

Permit Report - 01/01/2024 to 01/31/2024

Permit #	Applicant	Type	Const. Cost	UCC Fee	Issue Date	Lot Size (Sq. Ft.)	Lot #	Total Cost
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Grading Permit

G-2024-2		Grading Permit	\$0.00	\$0.00	1/15/2024	0.00		\$365.00
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Contractor: Bonucci Masonry & Structures, LLC Description: Grading for 870 square foot of walls, patio, pergola and walkway

Parcel Info:

Parcel Number:	Location Address: 2621 HAWTHORN DR	Zoning:	Owner: JOHNSON KEVIN & KATHY
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G-2024-3		Grading Permit	\$0.00	\$0.00		0.00		\$365.00
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Contractor: Mikelen LLC (DelGrippo Builders) Description: Grading for New SFD

Parcel Info:

Parcel Number:	Location Address: 1102 ARDEN DR	Zoning:	Owner: ARDEN RESERVE LLC
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G-2024-4		Grading Permit	\$0.00	\$0.00		0.00		\$365.00
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Contractor: Blue Tree Landscaping Description: Grading for In ground pool

Parcel Info:

Parcel Number:	Location Address: 2867 HICKORY HILL DR	Zoning:	Owner: BOOKHEIMER TITUS & GENA
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Total Const. Cost:	\$0.00	Total UCC Fee:	\$0.00	Total Cost:	\$2,190.00
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Grand Total Const. Cost:	\$0.00	Grand Total UCC Fee:	\$112.50	Grand Total Cost:	\$18,172.23
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Public Works Department Report

January 2024

1) Road Maintenance

- A. Cleared inlets and drains throughout the Township**
- B. Filled potholes throughout the Township**
- C. Weber Road Culvert – Existing structure removed; PECO gas main relocation one hold due to lack of materials.**
- D. Clearing drains/pipe of leaves and debris**
- E. Flood and washout cleanup**
- F. Adding stone to roadway edge erosion areas**

2) Storm Maintenance

- A. 1.4.24 Brined Township roadways**
- B. 1.6.24 Snow event requiring after hours roadway cleanup**
- C. 1.15.24 Brined Township roadways**
- D. 1.16.24 Snow event requiring after hours roadway cleanup**
- E. 1.19.24 Snow event requiring after hours roadway cleanup**
- F. 1.21.24 Plowing off drifted areas after wind event**

3) Parks

- A. Twice weekly cleaning of restrooms, emptying trash receptacles, and stocking dog bags**
- B. Repairing washouts and general trail maintenance**
- C. Removal of dead trees on Township properties/parks**

4) Vehicle Maintenance

- A. Performed weekly maintenance of all Township vehicles**
- B. 64-25 hydraulic tank leak and salt controller**
- C. 64-62 Inspection**
- D. 64-46 auger motor replacement**
- E. Prepping of vehicles/equipment for winter maintenance**

5) Miscellaneous

- A. Setting up and cleaning of Community Hall for rentals and Township events**
- B. Nike Compost facility open to residents twice weekly**
- C. Public Works – WVFD training**
- D. Removal of holiday decorations from Township properties**
- E. Sanitary force main issue on Valley Forge Road**

Skippack EMS
January 2024 calls
Worcester Township

Calls dispatched	73
Transported	42
Refusals	1
No services *	4
Fire	0
Covered by other squads (A station off status)	25
Lift assist	1

* includes: accidental/false alarm for medical alert alarm, no patient found or police matters

Worcester Volunteer Fire Department

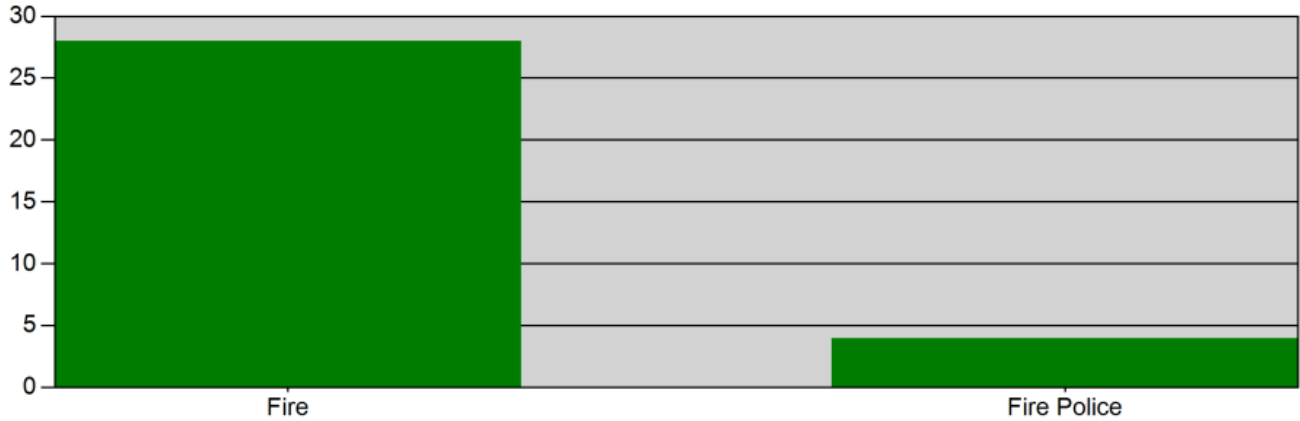
Worcester, PA

This report was generated on 2/4/2024 4:23:02 PM



Incidents by Shift for Date Range

Start Date: 01/01/2024 | End Date: 01/31/2024



SHIFT	# INCIDENTS
Fire	28
Fire Police	4
TOTAL:	32

Fire Call Average Attendance: 22.3

FP Call Average Attendance: 3.5

Drill Average Attendance: 42.75

Daytime Calls Twp Employees Assisted On: 10

Call Man Hours: 738.21

Drill Man Hours: 364:00

Events: 0

Total Elapsed Time on Calls: 32:10:41

Worcester Volunteer Fire Department

Worcester, PA

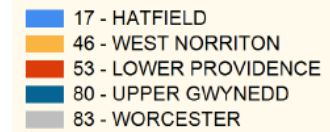
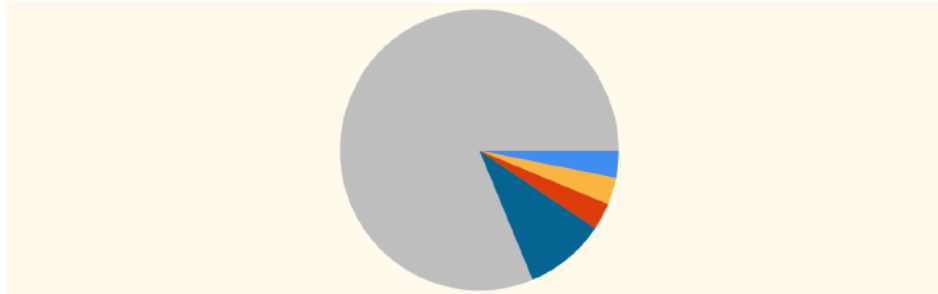
This report was generated on 2/2/2024 7:39:19 PM



Count of Incidents by Incident Type per Zone

Incident Status: Reviewed | Start Date: 01/01/2024 | End Date: 01/31/2024

% of Incidents per Zone



INCIDENT TYPE	# INCIDENTS	% of TOTAL
17 - HATFIELD		
571 - Cover assignment, standby, moveup	1	3.13%
Zone: 17 - HATFIELD Total Incident:	1	3.13%
46 - WEST NORRITON		
571 - Cover assignment, standby, moveup	1	3.13%
Zone: 46 - WEST NORRITON Total Incident:	1	3.13%
53 - LOWER PROVIDENCE		
111 - Building fire	1	3.13%
Zone: 53 - LOWER PROVIDENCE Total Incident:	1	3.13%
80 - UPPER GWYNEDD		
111 - Building fire	1	3.13%
651 - Smoke scare, odor of smoke	1	3.13%
652 - Steam, vapor, fog or dust thought to be smoke	1	3.13%
Zone: 80 - UPPER GWYNEDD Total Incident:	3	9.38%
83 - WORCESTER		
111 - Building fire	2	6.25%
311 - Medical assist, assist EMS crew	3	9.38%
322 - Motor vehicle accident with injuries	10	31.25%
445 - Arcing, shorted electrical equipment	1	3.13%
551 - Assist police or other governmental agency	2	6.25%
631 - Authorized controlled burning	1	3.13%
650 - Steam, other gas mistaken for smoke, other	1	3.13%
651 - Smoke scare, odor of smoke	1	3.13%
736 - CO detector activation due to malfunction	2	6.25%
745 - Alarm system activation, no fire - unintentional	3	9.38%
Zone: 83 - WORCESTER Total Incident:	26	81.25%
TOTAL INCIDENTS FOR ALL ZONES:	32	100%

Report shows count of incidents for Status selected.





PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Number of Records Returned: 149

Search Criteria: which_cad='P' and occ_date between '01/01/2024' and '01/30/2024' and municipality='46226' and final_case_type<>'TS' and jurisdiction='PA'

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Jan-01-2024	03:45:46	736	PFA VIOLATION, IN PROGRESS	PFA VIOLATION	3407 MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-736	GENERAL OFFENSE
Jan-01-2024	17:59:40	4537	PATROL CHECK CC	PATROL CHECK CC	WEBER RD / CURTIS LN WORCESTER TWP (MONTGOMERY)	Yes	2024-4537	CLOSED CAD CALL
Jan-01-2024	18:26:48	4646	DOG LAW VIOLATION	DOG LAW VIOLATION	2565 CRESTLINE DR WORCESTER TWP (MONTGOMERY)	Yes	2024-4646	GENERAL OFFENSE
Jan-02-2024	13:28:52	8099	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	VALLEY FORGE RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-8099	CLOSED CAD CALL
Jan-02-2024	14:20:00	8320	REQUEST ASSIST - LOCAL PD GO	REQUEST ASSIST - LOCAL PD GO	15 CHADWICK CIR WORCESTER TWP (MONTGOMERY)	Yes	2024-8320	GENERAL OFFENSE
Jan-02-2024	15:08:04	8502	MVC - REPORTABLE, NO INJURIES	MVC - INJURIES	2874 MORRIS RD WORCESTER TWP (MONTGOMERY)	Yes	2024-8502	TRACS CRASH REPORT
Jan-02-2024	15:30:14	8621	DISABLED MOTORIST CC	DISABLED MOTORIST CC	269 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-8621	CLOSED CAD CALL
Jan-02-2024	19:12:15	9390	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	SKIPPACK PIKE / CEDARS HILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-9390	CLOSED CAD CALL
Jan-03-2024	00:56:43	10109	ALARM - BURGLAR	ALARM FALSE FAULT CC	1716 LANDIS RD WORCESTER TWP (MONTGOMERY)	Yes	2024-10109	CLOSED CAD CALL
Jan-03-2024	07:07:50	10681	MVC - NON-REPORTABLE	MVC - REPORTABLE, NO INJURIES	VALLEY FORGE RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-10681	TRACS CRASH REPORT
Jan-03-2024	11:41:49	12146	PATROL CHECK CC	PATROL CHECK CC	1600 BLOCK SHEFLEY LN [HEEBNER PARK] WORCESTER TWP (MONTGOMERY)	Yes	2024-12146	CLOSED CAD CALL
Jan-03-2024	16:31:16	13360	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	2140 BERKS RD WORCESTER TWP (MONTGOMERY)	Yes	2024-13360	CLOSED CAD CALL
Jan-04-2024	08:40:48	15760	MVC - REPORTABLE, NO INJURIES	REFER TO OTHER AGENCY - PD R	LONG MEADOW RD / N WALES RD WORCESTER TWP (MONTGOMERY)	Yes	2024-15760	REFER
Jan-04-2024	09:10:16	15899	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	S VALLEY FORGE RD / EMERGENCY ACCESS RD WORCESTER TWP (MONTGOMERY)	Yes	2024-15899	CLOSED CAD CALL
Jan-04-2024	12:37:19	16800	THEFT - FRAUD/FORGERY	BURGLARY OR ATTEMPTED BURGLARY	D - 931 N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2024-16800	GENERAL OFFENSE
Jan-04-2024	16:42:44	17736	INTERSTATE HIGHWAY - STATIONARY PATROL CC	INTERSTATE HIGHWAY - STATIONARY PATROL CC	270 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-17736	CLOSED CAD CALL



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Jan-04-2024	18:28:15	18112	POLICE INFORMATION CC	POLICE INFORMATION CC	WEBER RD / CURTIS LN WORCESTER TWP (MONTGOMERY)	Yes	2024-18112	CLOSED CAD CALL
Jan-04-2024	18:54:43	18189	911 HANG UP CALL GO	911 HANG UP CALL GO	3455 GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-18189	GENERAL OFFENSE
Jan-04-2024	20:09:18	18395	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	2979 GERMANTOWN PIKE [DOLLAR TREE WORCESTER TWP (MONTGOMERY)	Yes	2024-18395	TRACS CRASH REPORT
Jan-04-2024	22:05:56	18635	REQUEST ASSIST - OTHER AGENCY GO	CANCELLED BY COMPLAINANT X	2933 POTSHOP RD WORCESTER TWP (MONTGOMERY)	Yes	2024-18635	CANCELLED
Jan-05-2024	03:37:40	19166	ALARM - BURGLAR	ALARM FALSE FAULT CC	3065 SUNNY AYRE DR WORCESTER TWP (MONTGOMERY)	Yes	2024-19166	CLOSED CAD CALL
Jan-05-2024	07:23:30	19710	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	KRIEBEL MILL RD / GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-19710	CLOSED CAD CALL
Jan-05-2024	08:08:08	19989	FIRE - INVESTIGATION	FIRE - UNDETERMINED	2933 POTSHOP ROAD[POTSHOP RD WORCESTER TWP (MONTGOMERY)	Yes	2024-19989	GENERAL OFFENSE
Jan-05-2024	14:16:06	21641	SEE OFFICER GO	SEE OFFICER GO	19 ESSEX CT WORCESTER TWP (MONTGOMERY)	Yes	2024-21641	GENERAL OFFENSE
Jan-05-2024	14:55:15	21767	MVC - NON-REPORTABLE	MVC - REPORTABLE, NO INJURIES	1723 N WALES RD WORCESTER TWP (MONTGOMERY)	Yes	2024-21767	TRACS CRASH REPORT
Jan-05-2024	15:06:05	21848	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	272 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-21848	CLOSED CAD CALL
Jan-05-2024	15:23:02	21916	DISABLED MOTORIST CC	DISABLED MOTORIST CC	SKIPPACK PIKE / N WHITEHALL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-21916	CLOSED CAD CALL
Jan-05-2024	17:00:56	22364	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	SKIPPACK PIKE / SHUTT MILL RD [WORCESTER ELEMENTARY WORCESTER TWP (MONTGOMERY)	Yes	2024-22364	CLOSED CAD CALL
Jan-05-2024	19:26:04	22862	SEE OFFICER GO	PFA VIOLATION	3407 MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-22862	GENERAL OFFENSE
Jan-05-2024	22:36:51	23368	SUSPICIOUS PERSON GO	CANCELLED BY COMPLAINANT X	1696 VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-23368	CANCELLED
Jan-06-2024	13:11:37	25577	MVC - INJURIES	MVC - INJURIES	1845 N WHITEHALL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-25577	TRACS CRASH REPORT
Jan-06-2024	13:38:36	25714	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	TOWNSHIP LINE RD / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-25714	TRACS CRASH REPORT
Jan-06-2024	13:42:57	25728	MVC - REPORTABLE, NO INJURIES	MVC - NON-REPORTABLE	TOWNSHIP LINE RD / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-25728	TRACS CRASH REPORT
Jan-06-2024	14:37:39	25998	PATROL CHECK CC	PATROL CHECK CC	STUMP HALL RD / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-25998	CLOSED CAD CALL
Jan-06-2024	15:37:39	26433	MVC - UNKNOWN INJURIES	MVC - REPORTABLE, NO INJURIES	S VALLEY FORGE RD / STEELMAN RD WORCESTER TWP (MONTGOMERY)	Yes	2024-26433	TRACS CRASH REPORT
Jan-06-2024	15:47:25	26480	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	2246 BERKS RD WORCESTER TWP (MONTGOMERY)	Yes	2024-26480	TRACS CRASH REPORT



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Jan-06-2024	17:53:19	27021	MVC - REPORTABLE, NO INJURIES	MVC - NON-REPORTABLE	257 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-27021	TRACS CRASH REPORT
Jan-06-2024	18:26:24	27142	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	268 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-27142	TRACS CRASH REPORT
Jan-07-2024	07:39:27	28713	ALARM - PANIC	ALARM FALSE NO FAULT	2067 STEELMAN RD WORCESTER TWP (MONTGOMERY)	Yes	2024-28713	CLOSED CAD CALL
Jan-08-2024	07:34:42	31938	ALARM - PANIC	ALARM FALSE FAULT	2067 STEELMAN RD WORCESTER TWP (MONTGOMERY)	Yes	2024-31938	CLOSED CAD CALL
Jan-09-2024	11:37:00	38450	THEFT	BURGLARY OR ATTEMPTED BURGLARY	3205 SKIPPACK PIKE [MEADOWOOD WORCESTER TWP (MONTGOMERY)	Yes	2024-38450	GENERAL OFFENSE
Jan-09-2024	11:48:55	38528	FOUND ITEM GO	FOUND ITEM GO	1235 VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-38528	GENERAL OFFENSE
Jan-09-2024	12:14:16	38657	IDENTITY THEFT	IDENTITY THEFT	3064 MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-38657	GENERAL OFFENSE
Jan-10-2024	05:33:19	41589	PATROL CHECK CC	PATROL CHECK CC	SKIPPACK PIKE / S VALLEY FORGE RD [SR73 WORCESTER TWP (MONTGOMERY)	Yes	2024-41589	CLOSED CAD CALL
Jan-10-2024	07:32:12	42239	MOTOR CARRIER SAFETY	MOTOR CARRIER SAFETY	2900 BLOCK SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-42239	WARNING (TRAFFIC STOP)
Jan-10-2024	08:55:38	42783	ALARM - BURGLAR	ALARM FALSE FAULT	1045 QUARRY HALL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-42783	CLOSED CAD CALL
Jan-10-2024	09:00:28	42827	ROAD HAZARD - ANIMAL - DEBRIS	PATROL CHECK CC	2700 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-42827	CLOSED CAD CALL
Jan-10-2024	09:48:28	43107	ALARM - BURGLAR	CANCELLED BY COMPLAINANT X	1885 CASSEL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-43107	CANCELLED
Jan-10-2024	12:11:43	43977	DOMESTIC SECURITY CHECK - SCHOOL	DOMESTIC SECURITY CHECK - SCHOOL	3000 BLOCK SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-43977	CLOSED CAD CALL
Jan-10-2024	13:40:03	44408	MOTOR CARRIER SAFETY	MOTOR CARRIER SAFETY	251 I476 S [I476 S WORCESTER TWP (MONTGOMERY)	Yes	2024-44408	WARNING (TRAFFIC STOP)
Jan-11-2024	13:03:00	48944	REQUEST ASSIST - OTHER AGENCY	CANCELLED BY COMPLAINANT X	3423 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-48944	CANCELLED
Jan-11-2024	14:08:45	49210	POLICE INFORMATION	POLICE INFORMATION	919 N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2024-49210	CLOSED CAD CALL
Jan-11-2024	16:31:33	49872	POLICE INFORMATION	POLICE INFORMATION	1005 KRIEBEL MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-49872	CLOSED CAD CALL
Jan-11-2024	17:06:35	49965	THEFT	SEE OFFICER	1461 HOLLOW RD WORCESTER TWP (MONTGOMERY)	Yes	2024-49965	GENERAL OFFENSE
Jan-11-2024	18:09:48	50178	MVC - NON-REPORTABLE	MVC - DUI - NON-REPORTABLE	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-50178	GENERAL OFFENSE



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Jan-11-2024	21:12:57	50711	PATROL CHECK CC	TRAF VIOL FLEE/ELUDE	1600 GREEN HILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-50711	GENERAL OFFENSE
Jan-12-2024	12:15:55	53242	THEFT - FRAUD/FORGERY	THEFT - FRAUD/FORGERY	3205 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-53242	GENERAL OFFENSE
Jan-12-2024	17:04:55	54414	ALARM - BURGLAR	ALARM FALSE FAULT CC	1421 CREDLEY LN WORCESTER TWP (MONTGOMERY)	Yes	2024-54414	CLOSED CAD CALL
Jan-12-2024	19:03:08	54827	HARASSMENT - COMM - STALK - OTHER	SEE OFFICER GO	2646 HAWTHORN DR WORCESTER TWP (MONTGOMERY)	Yes	2024-54827	GENERAL OFFENSE
Jan-13-2024	02:06:56	55647	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	259 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2024-55647	CLOSED CAD CALL
Jan-13-2024	04:58:19	55775	MVC - UNKNOWN INJURIES	MVC - REPORTABLE, NO INJURIES	SCHULTZ RD / N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2024-55775	TRACS CRASH REPORT
Jan-13-2024	08:58:52	56447	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	GREEN HILL RD / KRIEBEL MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-56447	TRACS CRASH REPORT
Jan-13-2024	12:58:23	57204	WELFARE CHECK GO	WELFARE CHECK GO	E - 1200 N GRANGE AVE WORCESTER TWP (MONTGOMERY)	Yes	2024-57204	GENERAL OFFENSE
Jan-13-2024	13:09:56	57234	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	2659 BEAN RD WORCESTER TWP (MONTGOMERY)	Yes	2024-57234	CLOSED CAD CALL
Jan-13-2024	15:27:45	57691	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	N GRANGE AVE / GREEN HILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-57691	CLOSED CAD CALL
Jan-13-2024	16:31:23	57946	REFER TO OTHER AGENCY - PD R	REFER TO OTHER AGENCY - PD R	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-57946	REFER
Jan-13-2024	17:55:47	58164	SEE OFFICER GO	SEE OFFICER GO	201 MEADOWLARK PT WORCESTER TWP (MONTGOMERY)	Yes	2024-58164	GENERAL OFFENSE
Jan-14-2024	14:05:28	60915	WELFARE CHECK GO	WELFARE CHECK GO	W GERMANTOWN PIKE / E MOUNT KIRK AVE WORCESTER TWP (MONTGOMERY)	Yes	2024-60915	GENERAL OFFENSE
Jan-14-2024	21:06:27	62053	DRUG - OVERDOSE	REQUEST ASSIST - OTHER AGENCY GO	2933 GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-62053	GENERAL OFFENSE
Jan-15-2024	03:15:25	62666	WELFARE CHECK GO	PATROL CHECK CC	2010 N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2024-62666	CLOSED CAD CALL
Jan-15-2024	06:59:20	62989	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	1211 N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2024-62989	CLOSED CAD CALL
Jan-15-2024	07:15:42	63171	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	267 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2024-63171	CLOSED CAD CALL
Jan-15-2024	16:04:18	65351	MVC - NON- REPORTABLE	MVC - NON- REPORTABLE	HOLLOW RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-65351	TRACS CRASH REPORT
Jan-15-2024	22:02:40	66348	DISABLED MOTORIST CC	DISABLED MOTORIST CC	255 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2024-66348	CLOSED CAD CALL



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Jan-16-2024	00:01:46	66541	MVC - UNKNOWN INJURIES	DISABLED MOTORIST CC	VALLEY FORGE RD / WOODLYN AVE WORCESTER TWP (MONTGOMERY)	Yes	2024-66541	CLOSED CAD CALL
Jan-16-2024	00:25:53	66574	MVC - REPORTABLE, NO INJURIES	MVC - DUI - ALCOHOL	VALLEY FORGE RD / MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-66574	GENERAL OFFENSE
Jan-16-2024	04:20:20	66831	MVC - REPORTABLE, NO INJURIES	DISABLED MOTORIST CC	1704 VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-66831	CLOSED CAD CALL
Jan-16-2024	06:09:40	66967	ALARM - BURGLAR	ALARM FALSE FAULT CC	1547 N TROOPER RD WORCESTER TWP (MONTGOMERY)	Yes	2024-66967	CLOSED CAD CALL
Jan-16-2024	06:51:08	67135	DISABLED MOTORIST ON ROAD CC	MVC - NON-REPORTABLE	1704 VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-67135	ADVISE
Jan-16-2024	07:23:12	67400	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	256 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2024-67400	TRACS CRASH REPORT
Jan-16-2024	08:29:34	67832	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	KRIEBEL MILL RD / GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-67832	CLOSED CAD CALL
Jan-16-2024	10:33:18	68407	MVC - NON-REPORTABLE	DISABLED MOTORIST CC	259 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-68407	CLOSED CAD CALL
Jan-16-2024	10:49:44	68480	MVC - UNKNOWN INJURIES	MVC - REPORTABLE, NO INJURIES	1639 VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-68480	TRACS CRASH REPORT
Jan-16-2024	13:44:53	69154	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	MORRIS RD / S VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-69154	TRACS CRASH REPORT
Jan-16-2024	19:00:03	70264	MVC - UNKNOWN INJURIES	REFER TO OTHER AGENCY - PD R	W TOWNSHIP LINE RD / N WALES RD WORCESTER TWP (MONTGOMERY)	Yes	2024-70264	REFER
Jan-17-2024	07:07:22	71420	ALARM - BURGLAR	ALARM FALSE NO FAULT CC	2217 WEBER RD WORCESTER TWP (MONTGOMERY)	Yes	2024-71420	CLOSED CAD CALL
Jan-17-2024	08:06:29	71735	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	3100 BLOCK W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-71735	WARNING (TRAFFIC STOP)
Jan-17-2024	08:54:52	71992	ABANDONED VEHICLE GO	ABANDONED VEHICLE GO	1010 KRIEBEL MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-71992	GENERAL OFFENSE
Jan-17-2024	18:11:02	74486	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	266 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-74486	TRACS CRASH REPORT
Jan-18-2024	03:35:13	75587	ALARM - BURGLAR	CANCELLED BY COMPLAINANT X	2622 HAWTHORN DR WORCESTER TWP (MONTGOMERY)	Yes	2024-75587	CANCELLED
Jan-18-2024	08:06:15	76330	DOMESTIC SECURITY CHECK CC	DOMESTIC SECURITY CHECK CC	BUSTARD RD / SADDLE WOOD CT [FISCHER PARK WORCESTER TWP (MONTGOMERY)	Yes	2024-76330	CLOSED CAD CALL
Jan-18-2024	08:46:35	76526	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	SKIPPACK PIKE / S VALLEY FORGE RD [WORCESTER ELEM WORCESTER TWP (MONTGOMERY)	Yes	2024-76526	CLOSED CAD CALL



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Jan-18-2024	09:32:00	76747	DOMESTIC SECURITY CHECK CC	DOMESTIC SECURITY CHECK CC	VALLEY FORGE RD / HICKORY HILL RD [HEEBNER PARK WORCESTER TWP (MONTGOMERY)	Yes	2024-76747	CLOSED CAD CALL
Jan-18-2024	12:43:13	77531	SPEECH CC	SPEECH CC	KRIEBEL MILL RD / GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-77531	CLOSED CAD CALL
Jan-18-2024	13:37:23	77751	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	GERMANTOWN PIKE / KRIEBEL MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-77751	TRACS CRASH REPORT
Jan-19-2024	07:26:30	80538	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	N WHITEHALL RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-80538	CLOSED CAD CALL
Jan-19-2024	07:58:04	80688	DISABLED MOTORIST CC	DISABLED MOTORIST CC	N WALES RD / BEAN RD WORCESTER TWP (MONTGOMERY)	Yes	2024-80688	CLOSED CAD CALL
Jan-19-2024	08:06:44	80792	MVC - NON-REPORTABLE	MVC - REPORTABLE, NO INJURIES	1800 BLOCK N WHITEHALL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-80792	TRACS CRASH REPORT
Jan-19-2024	08:11:31	80812	DISABLED MOTORIST CC	DISABLED MOTORIST CC	1700 BLOCK N WHITEHALL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-80812	CLOSED CAD CALL
Jan-19-2024	09:04:35	81082	DISABLED MOTORIST CC	DISABLED MOTORIST CC	BETHEL RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-81082	CLOSED CAD CALL
Jan-19-2024	14:55:18	82164	DISABLED MOTORIST ON ROAD CC	DISABLED MOTORIST ON ROAD CC	STUMP HALL RD / GREEN HILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-82164	CLOSED CAD CALL
Jan-19-2024	15:06:23	82255	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	STUMP HALL RD / GREEN HILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-82255	TRACS CRASH REPORT
Jan-19-2024	15:17:18	82297	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	1122 VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-82297	TRACS CRASH REPORT
Jan-19-2024	15:51:32	82440	DISABLED MOTORIST CC	DISABLED MOTORIST CC	GREEN HILL RD / ANDERS RD WORCESTER TWP (MONTGOMERY)	Yes	2024-82440	CLOSED CAD CALL
Jan-19-2024	15:53:52	82449	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	265 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2024-82449	TRACS CRASH REPORT
Jan-20-2024	10:13:01	84807	ALARM - BURGLAR	ALARM FALSE FAULT CC	3209 BARLEY LN WORCESTER TWP (MONTGOMERY)	Yes	2024-84807	CLOSED CAD CALL
Jan-20-2024	12:57:24	85224	ROAD HAZARD - ANIMAL - DEBRIS CC	REFER TO OTHER AGENCY - PD R	VALLEY FORGE RD / HICKORY HILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-85224	REFER
Jan-20-2024	22:29:03	86821	REFER TO OTHER AGENCY - PD R	REFER TO OTHER AGENCY - PD R	6 - 3205 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-86821	REFER
Jan-21-2024	09:08:49	88113	DOMESTIC SECURITY CHECK CC	DOMESTIC SECURITY CHECK CC	VALLEY FORGE RD / HICKORY HILL RD [HEEBNER PARK WORCESTER TWP (MONTGOMERY)	Yes	2024-88113	CLOSED CAD CALL
Jan-21-2024	10:24:42	88306	DOMESTIC SECURITY CHECK CC	DOMESTIC SECURITY CHECK CC	BUSTARD RD / SADDLE WOOD CT [FISCHER PARK WORCESTER TWP (MONTGOMERY)	Yes	2024-88306	CLOSED CAD CALL
Jan-21-2024	14:26:26	89035	ALARM - BURGLAR	CANCELLED BY COMPLAINANT X	3 - 2960 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-89035	CANCELLED



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Jan-22-2024	07:41:53	91183	MOTOR CARRIER SAFETY	MOTOR CARRIER SAFETY CC	1000 BLOCK VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-91183	WARNING (TRAFFIC STOP)
Jan-22-2024	11:07:18	92381	ALARM - BURGLAR	ALARM FALSE FAULT CC	2960 TOWNSHIP LINE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-92381	CLOSED CAD CALL
Jan-22-2024	11:41:06	92578	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	3017 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-92578	CLOSED CAD CALL
Jan-22-2024	16:24:20	93930	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	S VALLEY FORGE RD / STEELMAN RD [S VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-93930	CLOSED CAD CALL
Jan-22-2024	21:19:07	94926	MVC - REPORTABLE, NO INJURIES	MVC - REPORTABLE, NO INJURIES	VALLEY FORGE RD / GRIFFITH RD WORCESTER TWP (MONTGOMERY)	Yes	2024-94926	TRACS CRASH REPORT
Jan-23-2024	08:46:39	96584	ALARM - BURGLAR	CANCELLED BY COMPLAINANT X	2960 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-96584	CANCELLED
Jan-23-2024	12:31:44	97802	DISABLED MOTORIST CC	DISABLED MOTORIST CC	SKIPPACK PIKE / BETHEL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-97802	CLOSED CAD CALL
Jan-23-2024	16:32:54	98929	ALARM - BURGLAR	CANCELLED BY COMPLAINANT X	2241 OAK TER WORCESTER TWP (MONTGOMERY)	Yes	2024-98929	CANCELLED
Jan-23-2024	18:08:07	99316	DISABLED MOTORIST ON ROAD CC	TOWED VEHICLE GO	SKIPPACK PIKE / N WHITEHALL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-99316	GENERAL OFFENSE
Jan-24-2024	07:57:44	101091	THEFT - VEHICLE	THEFT - VEHICLE	2221 WEBER RD WORCESTER TWP (MONTGOMERY)	Yes	2024-101091	GENERAL OFFENSE
Jan-24-2024	08:05:33	101234	THEFT	BURGLARY OR ATTEMPTED BURGLARY	BERKS RD / CAPRI LN WORCESTER TWP (MONTGOMERY)	Yes	2024-101234	GENERAL OFFENSE
Jan-24-2024	08:48:15	101436	SEE OFFICER GO	SEE OFFICER GO	2960 W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-101436	GENERAL OFFENSE
Jan-24-2024	09:35:23	101676	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	S VALLEY FORGE RD / EMERGENCY ACCESS RD WORCESTER TWP (MONTGOMERY)	Yes	2024-101676	CLOSED CAD CALL
Jan-24-2024	10:13:26	101873	MVC - UNKNOWN INJURIES	MVC - DUI - INJURIES	265 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2024-101873	GO & TRACS (CRASH WITH GO)
Jan-24-2024	13:15:04	102766	ASSAULT	SEE OFFICER GO	2658 HAWTHORN DR WORCESTER TWP (MONTGOMERY)	Yes	2024-102766	GENERAL OFFENSE
Jan-24-2024	20:41:06	104304	LICENSE/REGISTRATION SEIZURE GO	LICENSE/REGISTRATION SEIZURE GO	1000 BLK GERMANTOWN PIKE [GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-104304	GENERAL OFFENSE
Jan-24-2024	20:52:39	104332	THEFT - FRAUD/FORGERY	THEFT - FRAUD/FORGERY	2547 CRESTLINE DR WORCESTER TWP (MONTGOMERY)	Yes	2024-104332	GENERAL OFFENSE
Jan-25-2024	07:40:57	105566	FIGHT	HARASSMENT - COMM - STALK - OTHER	1005 KRIEBEL MILL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-105566	GENERAL OFFENSE



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Jan-25-2024	10:25:49	106358	REQUEST ASSIST - LOCAL PD GO	WARRANT - MISDEMEANOR/FELONY GO	2106 BUSTARD RD WORCESTER TWP (MONTGOMERY)	Yes	2024-106358	GENERAL OFFENSE
Jan-25-2024	16:39:56	107937	PATROL CHECK CC	PATROL CHECK CC	2953 POTSHOP RD WORCESTER TWP (MONTGOMERY)	Yes	2024-107937	CLOSED CAD CALL
Jan-25-2024	17:03:06	108000	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	275 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-108000	CLOSED CAD CALL
Jan-25-2024	17:19:38	108069	DOMESTIC SECURITY CHECK - SCHOOL CC	DOMESTIC SECURITY CHECK - SCHOOL CC	KRIEBEL MILL RD / GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-108069	CLOSED CAD CALL
Jan-26-2024	08:47:21	110252	DISABLED MOTORIST ON ROAD CC	DISABLED MOTORIST CC	MORRIS RD / N WALES RD WORCESTER TWP (MONTGOMERY)	Yes	2024-110252	CLOSED CAD CALL
Jan-26-2024	10:56:20	110796	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	255 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-110796	CLOSED CAD CALL
Jan-26-2024	12:42:11	111273	THEFT	THEFT	2030 WENTZ CHURCH RD WORCESTER TWP (MONTGOMERY)	Yes	2024-111273	GENERAL OFFENSE
Jan-26-2024	19:15:08	113042	SEE OFFICER GO	PFA ORDER SERVICE CC	3229 MEADOW LN WORCESTER TWP (MONTGOMERY)	Yes	2024-113042	CLOSED CAD CALL
Jan-26-2024	23:14:50	113789	OTHER GO	WARRANT - MISDEMEANOR/FELONY GO	2846 HIGHVIEW DR WORCESTER TWP (MONTGOMERY)	Yes	2024-113789	GENERAL OFFENSE
Jan-27-2024	00:50:11	114041	SEE OFFICER GO	CANCELLED BY COMPLAINANT X	3218 STUMP HALL RD WORCESTER TWP (MONTGOMERY)	Yes	2024-114041	CANCELLED
Jan-27-2024	07:55:00	114896	FIRE MARSHAL TELEPHONE ASSIST CC	FIRE MARSHAL TELEPHONE ASSIST CC	1911 N WALES RD WORCESTER TWP (MONTGOMERY)	Yes	2024-114896	CLOSED CAD CALL
Jan-27-2024	11:51:17	115741	MVC - NON-REPORTABLE	MVC - NON-REPORTABLE	260 I476 S WORCESTER TWP (MONTGOMERY)	Yes	2024-115741	TRACS CRASH REPORT
Jan-28-2024	08:31:05	119085	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	INTERSTATE HIGHWAY - CLEAR LINE ZONE CC	267 I476 N WORCESTER TWP (MONTGOMERY)	Yes	2024-119085	CLOSED CAD CALL
Jan-28-2024	22:07:11	121073	WELFARE CHECK GO	HARASSMENT - COMM - STALK - OTHER	1440 CREDLEY LN WORCESTER TWP (MONTGOMERY)	Yes	2024-121073	GENERAL OFFENSE
Jan-29-2024	06:08:31	121778	MVC - REPORTABLE, NO INJURIES	MVC - NON-REPORTABLE	W GERMANTOWN PIKE / VALLEY FORGE RD WORCESTER TWP (MONTGOMERY)	Yes	2024-121778	TRACS CRASH REPORT
Jan-29-2024	07:19:28	122184	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	SKIPPACK PIKE / ASPEN WAY WORCESTER TWP (MONTGOMERY)	Yes	2024-122184	CLOSED CAD CALL
Jan-29-2024	07:20:31	122189	MOTOR CARRIER SAFETY CC	MOTOR CARRIER SAFETY CC	SKIPPACK PIKE / ASPEN WAY WORCESTER TWP (MONTGOMERY)	Yes	2024-122189	CLOSED CAD CALL



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call Date	Time	Call Number	Original Call Type	Final Call Type	Location	Founded	Report #	Cleared By
Jan-29-2024	09:12:49	122881	ROAD HAZARD - ANIMAL - DEBRIS CC	ROAD HAZARD - ANIMAL - DEBRIS CC	VALLEY FORGE RD / SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-122881	CLOSED CAD CALL
Jan-29-2024	17:48:50	125392	ATTEMPT LOCATE PERSON - VEHICLE GO	ATTEMPT LOCATE PERSON - VEHICLE GO	3031 SKIPPACK PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-125392	GENERAL OFFENSE
Jan-30-2024	09:56:03	128363	THEFT - VEHICLE	THEFT - VEHICLE	3217 W GERMANTOWN PIKE WORCESTER TWP (MONTGOMERY)	Yes	2024-128363	GENERAL OFFENSE

MEMO

to: Board of Supervisors
from: Andrew Raquet, Fire Marshal
cc: Sean Halbom, MPA, Township Manager
date: February 16, 2024
re: Codification Updates – Fire Hydrant Colors

Below find a brief summary of the proposed code changes and updates.

1. Currently, there are no requirements in the Township code that speaks to the colors of fire hydrants in Worcester. North Penn Water Authority is the only water company that currently paints their hydrants to closely resemble what the NFPA recommends.
2. Accordingly, this ordinance will require that all hydrants in the Township have their bonnets (tops) painted to signify what size main is flowing underneath. This allows firefighters to know approximately how much water they can expect to receive from the hydrant. Some fires that require a lot of water require either a secondary hydrant or an alternate source of water (tankers, pumping from a body of water, etc). If it is known early on in a fire that a hydrant may not be able to supply an adequate supply of water, a secondary source will become an earlier priority.
3. The proposed ordinance loosely follows the NFPA's recommendation for color coding, but adds an additional color to account for (5) different main sizes; 4" 6", 8", 12", and 16". Additionally, NFPA 291 recommends hydrants to be painted based on the expected gallons per minute (GPM), however, the expected GPM is closely assimilated with the size of the main.



4259 W. Swamp Road
Suite 410
Doylestown, PA 18902

www.cksenineers.com
215.3400600

February 15, 2024
Ref. #7200-204A

Worcester Township
1721 Valley Forge Road
PO Box 767
Worcester, PA 19490-0767

Attention: Sean Halbom, Township Manager

Reference: Weber Road Culvert Replacement
Contract No. 7200-204A
Change Order No. One (1)

Dear Sean:

Enclosed are four copies of Change Order No. One (1) for the above referenced contract. Please execute them in the appropriate places, return three copies to us and retain one copy for your file. PLEASE NOTE THIS IS NOT AN INVOICE. Payment for this work has been included with Pay Estimate No. Three (3).

Please note this Change Order pertains to additional costs to the Contract as a result of delays associated with the PECO gas main relocation work.

Please contact us if you have any questions concerning this matter.

Very truly yours,
CKS ENGINEERS
Township Engineers

A handwritten signature in black ink, appearing to read 'J. J. Kelso', with a long horizontal flourish extending to the right.

J. J. Kelso
Construction Manager

JJK/kgc

Encl: Change Order No. One (1)

cc: John Evarts, CKS Engineers
James F. Weiss, CKS Engineers
File

WORCESTER TOWNSHIP
WEBER ROAD CULVERT REPLACEMENT
REFERENCE #7200-204A
CHANGE ORDER

Change Order No.: One (1)

Date: February 15, 2024

DESCRIPTION	UNIT	UNIT PRICE	QTY.	ADDITION TO CONTRACT	DELETE FROM CONTRACT
A. Additional costs associated with the rental of detour signage	Month	\$980.00	5.75	\$5,635.00	\$0.00
B. One-time charge for changing detour signage dates	LS	\$795.00	LS	\$795.00	\$0.00
C. Additional costs associated with the rental of a larger fuel tank for the bypass pump operation	Month	\$968.00	1	\$968.00	\$0.00
D. Additional costs associated with the rental of the bypass pump for the stream diversion	Day	\$854.00	26	\$22,204.00	\$0.00
*Contract delays are mostly related to PECO gas material delays associated with the gas main relocation work					
				\$29,602.00	\$0.00

TOTAL COST OF ADDITION/DELETION- \$29,602.00

Approved: Date _____ Approved: Date _____

D. J. Pinciotti, Construction Co., Inc.

CKS Engineers

By: _____

By: _____

Approved: Date _____

Worcester Township

By: _____



4259 W. Swamp Road
Suite 410
Doylestown, PA 18902

www.cksenineers.com
215.340.0600

February 15, 2024
Ref: #7200-204A

Worcester Township
1721 Valley Forge Road
PO Box 767
Worcester, PA 19490-0767

Attention: Sean Halbom, Township Manager

Reference: Weber Road Culvert Replacement
Contract No. 7200-204A
Estimate No. Three (3)

Dear Sean:

Enclosed are four (4) copies of Estimate No. Three (3) for the above referenced contract in the amount of \$65,207.70. Please execute them in the appropriate places and return one (1) copy to us, one (1) copy to the contractor with payment and retain two (2) copies for your file.

The contractor's address is:

D. J. Pinciotti Construction Co., Inc.
6 Commerce Drive
Ivyland, PA 18974

Please contact us if you have any questions concerning this matter.

Very truly yours,
CKS ENGINEERS
Township Engineers

A handwritten signature in black ink, appearing to read 'J. J. Kelso', with a long horizontal flourish extending to the right.

J. J. Kelso
Construction Manager

JJK/kgc

Encl: Estimate No. Three (3)

cc: John W. Evarts, CKS Engineers
James F. Weiss, CKS Engineers
File

**WORCESTER TOWNSHIP
WEBER ROAD CULVERT REPLACEMENT**

CONTRACT NO. 7200-204A

Bid Amount: \$280,535.00

Estimate No. Three (3)

Work Performance Cut-Off Date: February 2, 2024

Value of Work Complete to Date Under:		
Materials	\$121,972.00	
Change Orders (Page #3)	\$29,602.00	
Total Value of Work Completed to Date		\$151,574.00
Previous Total Value of Work Completed		\$79,121.00
Value of Work Completed this Estimate		\$72,453.00
Retainage (10% of Total Value of Work Completed to Date)		\$15,157.40
Total Value of Work Completed to Date, less Retainage		\$136,416.60
Total Value of Work Completed, Previously Certified		\$71,208.90
Amount to be Paid to Contractor Under this Estimate		\$65,207.70

The sum of Sixty-Five Thousand, Two Hundred Seven Dollars and Seventy Cents (\$65,207.70) is payable to D. J. Pinciotti Construction Co., Inc. as a payment for work completed under this Estimate.

Approved: Date _____ Approved: Date _____

D. J. Pinciotti Construction Co., Inc.

CKS Engineers

By: _____ By: _____

Approved: Date _____

Worcester Township

By: _____

WORCESTER TOWNSHIP
WEBER ROAD CULVERT REPLACEMENT

CONTRACT NO. 7200-204A

Bid Amount: \$280,535.00

Item No.	Description	Units	Qty.	Unit Prices	Amount/ Percent Complete	Total Item Prices
1	Demolition and Site Preparation, Complete	LS	LS	\$39,105.00	100%	\$39,105.00
2	Temporary Cofferdam and Pump Bypass System	LS	LS	\$12,550.00	50%	\$6,275.00
3	Temporary Rock Filters	EA	1	\$2,580.00	1	\$2,580.00
4	Temporary Traffic Barrier Drums, Including Installation and Removal	LS	LS	\$5,415.00	100%	\$5,415.00
5	Earthwork, Excavation and Grading, Complete	LS	LS	\$26,250.00		\$0.00
6	Furnish and Install 6' x 10' Precast Reinforced Concrete Box Culvert, Including Excavation and Backfill	LF	30	\$3,200.00	9.5	\$30,400.00
7	Furnish and Install Precast Reinforced Concrete Wingwalls/Footings	EA	4	\$12,378.00	2	\$24,756.00
8	Furnish and Install Precast Reinforced Concrete Parapets	EA	2	\$934.00	1	\$934.00
9	Furnish and Install Reinforced Concrete Cut-Off Walls, either Precast or Cast-in-Place	EA	2	\$4,520.00	1.6	\$7,232.00
10	Unclassified Excavation Below Subgrade	CY	5	\$75.00		\$0.00
11	Excavation as Directed by Engineer	CY	5	\$75.00		\$0.00
12	Reconstruct Existing Stone Walls	LS	LS	\$4,550.00		\$0.00
13	Bituminous Concrete Pavement Restoration, Consisting of 6" Aggregate Subbase, 4-1/2" Superpave Base, 2" Binder and 1-1/2" Superpave Wearing Surface	SY	80	\$263.00		\$0.00
14	Furnish and Install Post-Mounted Signs	EA	2	\$300.00		\$0.00
15	Unimproved Area Restoration, Topsoil, Seed, Mulch, Erosion Control Blankets, etc.	SY	100	\$60.00		\$0.00
16	Maintenance and Protection of Traffic	LS	LS	\$5,275.00	100%	\$5,275.00
TOTAL						\$121,972.00

SUMMARY OF CHANGE ORDERS COMPLETE TO DATE			
C.O. #	DESCRIPTION	AMOUNT ADDED	AMOUNT DELETED
1.A	Additional costs associated with detour signage rental (\$980/mo.)	\$5,635.00	\$0.00
1.B	Change dates on detour signage	\$795.00	\$0.00
1.C	Additional costs for rental of larger fuel tank for bypass pump operation	\$968.00	\$0.00
1.D	Additional costs for rental of bypass pump for stream diversion (\$854/day)	\$22,204.00	\$0.00
TOTAL		\$29,602.00	\$0.00

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION 2024-06

A RESOLUTION AUTHORIZING THE SUBMISSION OF A GRANT APPLICATION FOR THE 2024 ROUND OF
THE MONTCO 2040 IMPLEMENTATION GRANT PROGRAM

WHEREAS, Montgomery County has established the Montco 2040 Implementation Grant Program as a competitive funding program to assist municipalities in implementing the goals of the county comprehensive plan, *Montco 2040: A Shared Vision*; and

WHEREAS, the County is accepting applications for projects that advance specific goals under either of the county comprehensive plan's three themes: Connecting Communities, Sustainable Places, and a Vibrant Economy; and

WHEREAS, applications and projects must meet all stated requirements within the Montco 2040 Implementation Grant Program Guidebook; and

WHEREAS, Worcester Township wishes to obtain \$350,000 from the Montco 2040 Implementation Grant Program to provide funding for a stream restoration project that extends approximately 1,100 linear feet along the Zacharias Creek between Hollow Road and Green Hill Road with a total estimated project cost of approximately \$750,000. This project is being implemented as part of a Multi-Municipal Pollution Reduction Plan in conjunction with Towamencin Township, Hatfield Township, Skippack Township and Lower Providence Township to achieve pollutant reductions in the Skippack Creek Watershed.

NOW, THEREFORE, IN CONSIDERATION OF THE FOREGOING,

IT IS HEREBY RESOLVED by the Board of Supervisors of Worcester Township will commit to a provide the funding for the balance of the project which exceeds the required 20% match with the understanding that the costs will be distributed among the participating municipalities in accordance with the Inter-government Agreement for the Multi-Municipal Pollution Reduction Plan for the Skippack Creek Watershed.

RESOLVED and **ENACTED** this 21st day of February, 2024 by the Worcester Township Board of Supervisors.

FOR WORCESTER TOWNSHIP

By: _____

Richard DeLello, Chairman
Board of Supervisors

Attest: _____

Sean Halbom, Secretary



Eastburn and Gray, PC

Attorneys at Law

Marc D. Jonas, Esquire

470 Norristown Road, Suite 320

Blue Bell, PA 19422

(215) 542-9345

mjonas@eastburngray.com

November 14, 2023

Worcester Township
ATTN: Sean Halbom
1721 South Valley Forge Road
P.O. Box 767
Worcester, PA 19490

RE: Conditional Use Application for Variety – The Children’s Charity of the Delaware Valley

Dear Mr. Halbom:

On behalf of the applicant, Variety – The Children’s Charity of the Delaware Valley, enclosed are the following materials submitted relating to our client’s application for a conditional use:

1. 10 copies of the completed and signed Worcester Township application for conditional use including an explanatory addendum to the application.
2. 10 copies of the deed to the subject property.
3. 10 copies of the Lighting System plan, sheets 1-8, prepared by Musco Lighting, dated November 13, 2023.
4. A check in the amount of \$1,000.00 payable to Worcester Township for the application fee.
5. A flash drive containing a pdf of all application materials.

Please confirm receipt of the application, timestamp a copy of the application, and return to us.

Please provide us with notice of the date and time of the hearing on the application and of any other meeting at which the application will be discussed. Please send to us copies of any review letters or other communications received or sent by the Township relating to the application.

Should you have any questions or require additional information, please contact us.

Very truly yours,

A handwritten signature in black ink that reads "Marc D. Jonas". The signature is written in a cursive, flowing style with a large initial "M".

MARC D. JONAS

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Phone (610) 584-1410
Fax (610) 584-8901

THIS SECTION COMPLETED ONLY BY TOWNSHIP:

APPEAL NO. : _____ DATE FILED: _____, 20____

APPLICATION: **BOARD OF SUPERVISORS**
 ZONING HEARING BOARD

1. Date of Application: _____

2. Classification of Appeal (Check one or more, if applicable):

- a. Appeal from the Zoning Officer's Determination
- b. Request for Variance
- c. Request for Special Exception
- d. Challenges to the Validity of Zoning Ordinance or Map
- e. Request for Conditional Use Hearing
- f. Request for Amendment to Zoning Map
- g. Request for Zoning Ordinance Amendment
- h. Request for a Curative Amendment
- i. Request for other relief within the Jurisdiction of the Zoning Hearing Board as established in Section 909.1(a) of the Pennsylvania Municipalities Code

3. Applicant:

- a. Name: Variety-The Children's Charity of the Delaware Valley
- b. Mailing address: 2950 Potshop Road, P.O. Box 609
Worcester, PA 19490
- c. Telephone number: 610-584-4366
- d. State whether owner of legal title, owner of equitable title, or tenant with the permission of owner legal title: _____ **(REQUIRED)** Legal owner

Please attach Deed to prove ownership, an Agreement of Sale to prove equitable ownership, or an Affidavit allowing Tenant to apply for necessary relief.

4. Applicant's attorney, if any:

- a. Name: Marc D. Jonas, Esq.
- b. Address: 470 Norristown Road, Suite 302
Blue Bell, PA 19422
- c. Telephone number: 215-542-9345

5. Property Details:

- a. Present Zoning Classification: AGR Agricultural District
- b. Present Land Use: Special needs, camp, school/development center
- c. Location (Street Address):
2950 Potshop Road, Worcester, PA 19490
- d. Parcel #: 67-00-02842-00-7
- e. Lot Dimensions:
 - (1) Area: 78.035 acres
 - (2) Frontage: _____
 - (3) Depth: _____
- f. Circle all that apply in regards to the above specified property:
 - Public Water Public Sewer
 - Private Well Private Septic
- g. Size, construction, and use of existing improvements; use of land, if unimproved: **(Please submit as an attachment)**

6. Proposed Use(s):

- a. Proposed use(s) and construction: Please provide size, construction and proposed use(s). **(Please submit as an attachment)**

7. Legal grounds for appeal (Cite specific sections of Pennsylvania Municipalities Planning Code, Zoning Ordinance, Subdivision Regulations, and/ or other Acts or Ordinances). All sections that apply must be listed in which relief is required and an explanation provided. **(Please submit as an attachment)**

8. Has any previous appeal been filed concerning the subject matter of this appeal?
 Yes No

If yes: specify: **(Please submit as an attachment)**

9. Challenges please list requested issues of fact or interpretation:
(Please submit as an attachment)

10. Worcester Township to provide the list of names and addresses of properties situated in the vicinity of the subject property as per Township Code Section 150-224

CERTIFICATION

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.

Juan Berub
Signature

DOMINIQUE BERNARDO
Printed Name

Signature

Printed Name

COMMONWEALTH OF PENNSYLVANIA:

COUNTY OF Bucks : SS

The undersigned, being duly sworn according to law, deposes and says the he/she is the above names applicant, that he/she is authorized to and does take this affidavit on behalf of the owner, and foregoing facts are true and correct.

John Berul
Applicant

Applicant

Sworn to and subscribed before me this 10th day of November, 2023

Elizabeth Haney

Notary Public

Commonwealth of Pennsylvania - Notary Seal
ELIZABETH A. HANEY, Notary Public
Bucks County
My Commission Expires May 30, 2025
Commission Number 1066212

Date Received: _____

Zoning Officer

Worcester Township
Conditional Use Application of Variety – the Children’s Charity of the Delaware Valley

Addendum to Application

6. Proposed use

Applicant, Variety – the Children’s Charity of the Delaware Valley (“Variety”), is the record owner of the property located at 2950 Potshop Road, Worcester, Pa 19490 (“Property”) located within the AGR Agricultural District of Worcester Township (“Township”). Variety is a nonprofit organization operating a “Special needs camp, school/development center” on the Property.

Variety is proposing to construct three athletic fields on the Property in two phases. The first phase will consist of a synthetic turf field with lighting. The second phase will include a natural grass athletic field, baseball field, playground, and a parking area with lighting.

7. Legal grounds for conditional use application

Variety submits this application for a conditional use pursuant to section 150-11(C)(2)(b) of the Worcester Township Zoning Ordinance (“Zoning Ordinance”) to install lighting for the turf field and the parking area on the Property. Section 150-11(C)(2)(b) of the Zoning Ordinance provides that a special needs camp, school/developmental center may include:

Outdoor recreational facilities and uses including sports fields, playgrounds, play courts, swimming pools, tree houses, ropes courses, amphitheaters, and other similar facilities. Outdoor recreational facilities are primarily for the use of special needs camp, school/developmental center students and staff, while also being available for rental and community use. The illumination of any outdoor recreational facility is permitted by conditional use approval of the Board of Supervisors, in accordance with § 150-215. [Emphasis added.]

As depicted on the plans submitted with this application, the lighting system for the turf field will include four light poles, each with a 70-foot mounting height; and the lighting system for the parking area will include sixteen light poles, each with a 12-foot mounting height.

Section 150-215 of the Zoning Ordinance provides the general criteria applicable to all conditional uses. Variety's proposed lighting system for the turf field and parking area satisfies the standards in section 150-215 for grant of a conditional use. In particular, the lighting system complies with both the legislative intent of Article I of the Zoning Ordinance and the AGR District by allowing for safe use of the fields and parking areas by the public.

The lighting will not adversely affect neighboring land uses or impose upon neighbors. There are few residential neighboring properties, and natural buffers exist on the Property between the proposed field and parking area locations and those residences. The lighting system will not be served by public service systems and will have no impact on traffic.

Finally, as shown on the plans submitted with this application, the field and parking areas for which the lighting systems are intended are properly designed with regard to internal circulation, parking, buffering, and all other elements of proper design.

BOARD OF SUPERVISORS
OF WORCESTER TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

- - -

Conditional Use Hearing
Variety - Children's Charity of the Delaware Valley

- - -

A public hearing was held before
the Board of Supervisors of Worcester Township at
the Community Hall, 1031 Valley Forge Road,
Fairview Village, Pennsylvania, on Wednesday,
January 17, 2024, commencing at 7:20 p.m.

- - -

BOARD MEMBERS PRESENT:

RICHARD DELELLO, Chairman
STEPHEN QUIGLEY, Vice Chair
LOU BETZ

- - -

COUNSEL APPEARED AS FOLLOWS:

WENDY F. McKENNA, ESQUIRE
for the Board of Supervisors

MARC D. JONAS, ESQUIRE
JOHN P. McSHEA, ESQUIRE
for the Applicant

- - -

ALSO PRESENT:

SEAN HALBOM, Manager/Zoning Officer

- - -

I N D E X

APPLICANT'S EVIDENCE

<u>Witness</u>	<u>VDire</u>	<u>Direct</u>	<u>Cross</u>	<u>Redir</u>	<u>Recr</u>
DOMINIQUE BERNARDO		12			
By The Board					26
By Mr. Hynes					50
By Mr. Andorn					64

- - -

E X H I B I T S

TOWNSHIP'S

<u>Number</u>	<u>Description</u>	<u>Marked</u>	<u>Rec'd</u>
T-1	Conditional Use Application	9	9
T-2	E-mail of Waiver	9	9
T-3	Legal Notice	9	9
T-4	Affidavit of Publication	9	9
T-5	Affidavit of Posting	9	9
T-6	Mailing List of Property Owners	9	9
T-7	Affidavit of Mailing of Legal Notice	9	9
T-8	Worcester Township Planning Commission Meeting Minutes	9	9
T-9	CKS Engineers Review Letter	9	9
T-10	Bowman Lighting Review Letter	9	9

- - -

I N D E X, Continued

- - -

E X H I B I T SAPPLICANT'S

<u>Number</u>	<u>Description</u>	<u>Marked</u>	<u>Rec'd</u>
A-1	Deed	10	
A-2	Variety at a Glance	10	
A-3	Aerial Image of Property	10	
A-4	Site Plan	10	
A-5	Township's Engineer's Review Letter	10	
A-6	Letter to Neighboring Property Owners	10	
A-7	Curriculum Vitae of Michael Bowker	10	
A-8	Rendering of Illuminated Turf Field	10	
A-9	Curriculum Vitae of Robert Zoeller	10	
A-10	Evolution of Glare Control Technology	10	
A-11	Luminaire Fixtures	10	
A-12	View of Lighting Poles	10	
A-13	Lighting System Plan	10	
A-14	Preliminary Foundation and Pole Assembly Plan	10	
A-15	Shaded Plot Plan	10	
A-16	Letters in Support	10	

1
2 MR. DELELLO: Next up, we will
3 have a conditional use application for the Variety
4 Club. I will hand that over to Wendy so she can,
5 sort of, explain the mechanics. If folks have
6 attended a Zoning Hearing Board meeting, it's
7 similar to that, but I will let Wendy, sort of,
8 explain the parameters, and then we will proceed.

9 MS. MCKENNA: So this
10 evening -- actually, we're going to -- the public
11 meeting that we are presently in we will recess
12 from it at this point, and we are now opening the
13 public hearing with respect to the conditional use
14 application of the Variety Club regarding the
15 property at 2950 Potshop Road. The Applicant is
16 seeking conditional use approval to install
17 lighting at an athletic field to be constructed at
18 the property.

19 A conditional use application,
20 for folks here that may not know the process, this
21 is a quasi-judicial hearing. It is similar to a
22 zoning hearing, as Mr. Delello indicated. The
23 Board, in this case, sits essentially as judges who
24 will hear the testimony presented this evening by
25 the Applicant. The Applicant is here and is

1
2 represented by counsel. There is a court reporter
3 here that will take down the testimony.

4 If there is anyone here who is
5 interested in the application, it is possible to
6 request party status. What that means is that if
7 someone has standing as a party, they would be able
8 to present evidence with respect to the application
9 and also would be able to participate in an appeal
10 in the event the proceedings -- in the event,
11 following the decision of the Board, if there were
12 an appeal to the Court of Common Pleas, someone
13 with party status would have that ability.

14 It is not necessary to request
15 party status or be admitted as a party if you would
16 like to ask questions or make statements with
17 respect to the application. However, you would not
18 be able to present evidence.

19 So in order to be considered a
20 party, it is necessary that an individual have
21 standing. That essentially means that they are
22 affected in a substantial way with respect to the
23 application. Generally, it's common that someone
24 within 500 feet would be eligible to have party
25 status.

1
2 So I will ask. Is there
3 anybody here -- and in the event someone is
4 requesting party status, the Applicant's attorney
5 would have the ability to ask them questions to
6 determine if it is actually appropriate for them to
7 have party status.

8 So I will ask. Is there
9 anybody here in the audience this evening that
10 would like party status with respect to this
11 application?

12 It appears that there are none.

13 So, again, this is a
14 quasi-judicial proceeding. The Applicant will
15 proceed and will present testimony and evidence.

16 I understand that there are, I
17 believe, three witnesses. The order will be that
18 the Applicant's attorney will call a witness, will
19 present testimony of that witness.

20 Following that, the Board will
21 have the opportunity to ask questions of the
22 witness.

23 And then anyone in the audience
24 who has any general questions can ask questions.
25 Not present evidence but ask questions.

1
2 Later, assuming that the
3 proceedings are completed this evening -- and I am
4 not sure that they will be. We will have a hard
5 stop this evening at 9:00. So it is possible that
6 we will need to return for another night in
7 February.

8 So with that, I'm going to go
9 through a couple housekeeping items.

10 There are some exhibits that I
11 have marked as the Township exhibits.

12 Exhibit T-1 is the conditional
13 use application of Variety - the Children's Charity
14 of the Delaware Valley, which was submitted by the
15 Applicant's attorney. And the application includes
16 deeds for the subject property and some plans that
17 I expect will be reviewed in detail this evening.

18 Exhibit T-2 is e-mail
19 correspondence from counsel for the Applicant
20 indicating that he's waived the time requirement to
21 schedule the conditional use hearing agreeing to a
22 continuance to this evening.

23 Exhibit T-3 is the legal notice
24 for the conditional use hearing.

25 Exhibit T-4 is the affidavit of

1
2 publication that the legal notice was advertised in
3 the Times Herald on December 20th, 2023, and
4 December 27th, 2023.

5 Exhibit T-5 is an affidavit of
6 posting by the Township Director of Public Works
7 affirming that the notice of these proceedings was
8 published on the property on January 10th, 2024 --
9 sorry, not published -- posted on the property on
10 January 10th, 2024.

11 Exhibit T-6 is the mailing list
12 of property owners within 500 feet who received
13 notice of the proceedings this evening.

14 Exhibit T-7 is the affidavit of
15 mailing of that legal notice signed by myself as
16 solicitor for the Township.

17 Exhibit T-8 is the draft
18 minutes of the Worcester Township Planning
19 Commission of their meeting on December 14th, 2023,
20 when the Planning Commission reviewed the
21 application.

22 Exhibit T-9 is correspondence
23 dated December 5th, 2023, from the Township
24 Engineer, CKS Engineers, regarding the application.

25 And then Exhibit T-10 is the

1
2 Township lighting consultant, Bowman Company, their
3 review letter dated January 16th, 2024, regarding
4 the application.

5 So those are the Township
6 exhibits.

7 - - -

8 (Documents marked Township's
9 Exhibits T-1 through T-10 for identification and
10 received in evidence.)

11 - - -

12 MS. MCKENNA: With that, I will
13 turn the floor over to Mr. Jonas, and he can
14 proceed.

15 MR. JONAS: Thank you.

16 Good evening, Mr. Chairman,
17 Members of the Board. I'm Marc Jonas. I represent
18 Variety - the Children's Charity of Delaware
19 Valley, along with John McShea, Esquire, of our law
20 firm.

21 We have a proposal tonight for
22 a conditional use. As this Board well knows but
23 it's important to state that this is a very limited
24 zoning application relating to just one issue, and
25 that is the illumination of an athletic field on

1
2 the property. This is not land development, which
3 will follow should this application be granted.
4 The Board knows that land development concerns the
5 details of construction and improvement,
6 stormwater, and things of that nature. The limited
7 issue before the Board tonight is the question of
8 illumination, which is permitted as a conditional
9 use.

10 The Board may know that I have
11 a little experience in my background with lighting
12 in Worcester Township. We're certainly aware of
13 the provisions that the Township has included in
14 the Zoning Ordinance to allow, subject to very
15 certain standards and requirements, particularly
16 relating to the protection of abutting property
17 owners, to allow the illumination of athletic
18 fields. And that's the nature of this application.

19 - - -

20 (Documents premarked
21 Applicant's Exhibits A-1 through A-16 for
22 identification.)

23 - - -

24 MR. JONAS: Before you, we have
25 distributed a booklet which has a series of

1
2 proposed exhibits, A-1 through A-16.

3 The first is a very exciting
4 deed to the property. The Board well knows that
5 this is a longtime property owner within the
6 Township. So we would ask the Board and the
7 Solicitor if the Board is satisfied that the deed
8 gives standing for Variety to be here tonight to
9 request conditional use relief.

10 MS. MCKENNA: Yes, that is
11 appropriate.

12 MR. JONAS: The rest of the
13 exhibits, again, A-2 through A-16, will be
14 addressed by our three witnesses.

15 The first witness is the CEO of
16 Variety. She will be followed by our civil
17 engineer and by the lighting expert.

18 We understand you have a hard
19 stop at 9:00. We do know -- we heard from one
20 member of the public that they would like to
21 present some public comment. My suggestion for the
22 Board's consideration is, by 8:30, if we're not
23 through with our three witnesses, perhaps the Board
24 could allow public comment for scheduling purposes
25 for those who might want to address the Board

related to this application, if that's satisfactory.

MR. DELELLO: I think that's reasonable.

MR. JONAS: Sorry?

MR. DELELLO: I think that's reasonable to work with, Marc.

MR. JONAS: Thank you very much, Mr. Chairman.

With that, we will call our first witness, Dominique Bernardo.

- - -

APPLICANT'S EVIDENCE

- - -

DOMINIQUE BERNARDO, having been duly sworn, was examined and testified as follows:

- - -

DIRECT EXAMINATION

- - -

BY MR. JONAS:

Q. Please state your name.

A. My name is Dominique Bernardo.

Q. How are you connected to the Applicant, Variety?

1
2 A. I'm the CEO of Variety since January of
3 2019.

4 Q. What are your general responsibilities as
5 CEO?

6 A. As a CEO, I oversee the entire operations
7 fiscally, programmatically, operationally, which
8 includes managing our 77-acre campus.

9 Q. What is Variety?

10 A. Variety is an 88-year-old nonprofit that
11 serves children and young adults with disabilities.
12 Our mission is to enrich the lives of children and
13 young adults with disabilities through educational,
14 recreational, and vocational programs that foster
15 independence, self-confidence, and prepare them for
16 life, all of which we measure.

17 We own a 77-acre campus in
18 Worcester, as you know, which is our primary site
19 for services to hundreds of children with
20 disabilities on an annual basis. We serve children
21 with autism, cerebral palsy, rare diagnoses like
22 Prader-Willi. Some of the children bring
23 one-on-one nurses with them. They require
24 medication. Some even have feeding tubes. And
25 we're really a second home to many of the children

1
2 and their families.

3 Q. I direct your attention to the exhibit
4 booklet, specifically Exhibit 2.

5 Can you highlight what that
6 exhibit is, how it relates to Variety?

7 A. This is hot off the presses. This is our
8 annual report. We are a data-driven organization.
9 It's important to us as a nonprofit that we're able
10 to demonstrate our impact. So we track not only
11 outputs, how many kids we serve, what are their
12 diagnoses, what are their demographics, which is
13 included on here, but also our outcomes; how many
14 are placed in jobs, how many are showing
15 improvement in self-confidence. There are some
16 interesting stats in there.

17 We have gardens and
18 greenhouses, how many plants and vegetables we've
19 planted. And we've planted 5,000 seeds.

20 So this is, at a glance, annual
21 impact report that is -- literally you're the first
22 people to see it. It's about to go live this week.

23 Q. How long has Variety been at this location
24 in Worcester Township?

25 A. So, in 1949, this property was donated to

1
2 Variety by the Posel family. It was their country
3 estate. And we shortly started providing --
4 shortly after, we started providing direct services
5 to boys recovering from polio. That was our first
6 services as a summer camp.

7 Since then, we have evolved to
8 providing year-round programs, vocational programs,
9 educational programs, weekend programs as well, to
10 any child or young adult with any disability,
11 physical or developmental or intellectual.

12 Q. Turning your direction to Exhibit 3, which
13 is an aerial photo within the booklet, can you give
14 us a general location -- obviously, your testimony
15 is going to be followed by our civil engineer and
16 then by the lighting expert -- just give us an
17 overview of the general location of the Variety
18 campus.

19 A. The Variety campus is located on Potshop
20 Road, as well as there are borders of Valley Forge
21 Road and North Trooper Road.

22 Am I answering the question?

23 Q. Yes. You're doing good so far. Keep it
24 up.

25 What's the size of the

1
2 property?

3 A. Seventy-seven acres.

4 Q. And give us again an overview of some of
5 the buildings and land improvements within the
6 campus.

7 A. Sure. So there's about probably thirty-six
8 structures on campus. About eighteen of them are
9 cabins that many buildings have been constructed in
10 the '50s. We have a dining hall from the '50s. We
11 have three hoop houses. We have a paved organic
12 garden. We have an industrial kitchen in our
13 dining hall. We have a gymnasium. We have an
14 outdoor pool. And we have many spaces for
15 classrooms and trainings as well. We have a
16 recreation hall as well.

17 Q. Do you currently have any athletic fields?

18 A. We currently had a challenger-sized
19 baseball field that is -- when you arrive onto
20 campus and come through the driveway, it's one of
21 the first things you hit on the left after the
22 parking lot. That is the only marked field on our
23 campus.

24 Q. I think you've already touched on it, but
25 tell us in the ways that Variety uses its property

1
2 in Worcester Township.

3 A. So our primary purpose for the campus is to
4 deliver the services to children with disabilities,
5 as I mentioned: After-school programs; all-day,
6 full-day, Saturday camp; weekend camping retreats.

7 Daily vocational training for
8 younger adults has been a big area of growth for us
9 in the past five years. And in summer, as you have
10 all heard, we have camps, summer school, and more
11 vocational training.

12 We also host community events
13 that are opened to the public. Our Holiday Lane
14 event is a three-day event which welcomes over
15 fifteen hundred people from the community on an
16 annual basis in December and also helps promote
17 awareness of our mission.

18 We also host hundreds of
19 volunteers from corporate and community groups on
20 an annual basis who engage in community service on
21 our campus, help us maintain the campus, but also
22 have the opportunity to learn about our mission.

23 Q. Does Variety, from time to time, allow
24 other nonprofits or even the governmental entities
25 to use any of your facilities?

1
2 A. Yes. We are a polling site. So we hold
3 elections there twice a year. So many Worcester
4 residents come onto our campus during those times.

5 We also have nonprofit youth
6 organizations that include Special Olympics,
7 Methacton Community Theater, Muscular Dystrophy
8 Association, Montgomery County Beekeepers
9 Association, Blind Sports, and other local
10 nonprofits use our facilities currently.

11 Q. Variety has a master plan, but for the
12 moment, we are talking about one aspect of that
13 master plan.

14 Tell us about the proposal for
15 athletic fields.

16 And Mr. Bowker will talk about
17 that in detail.

18 A. Sure.

19 Q. Give us an introduction, if you will.

20 A. Sure. So as I've stated, we currently have
21 no marked fields on our campus except for the
22 baseball field. Recreation and socialization is a
23 huge part of our mission. It's an important part
24 of the development and growth of the individuals we
25 serve.

1
2 Specific to the turf-proposed
3 illuminated field, supporting children with
4 disabilities means that we must present an
5 environment that exceeds common safety standards as
6 the risks and consequences are more prevalent than
7 in a neuro-typical population, i.e., those without
8 disabilities. So without artificial turf,
9 wheelchair users and mobile-aid users are unable to
10 engage in play opportunities or must do so at a
11 higher risk of injury. Artificial turf eliminates
12 that barrier that uneven rough grass presents to
13 these children.

14 The majority of the children we
15 serve do present with neurological disability. So
16 neurological disabilities commonly coincide with
17 functional gait issues, how you walk, and even just
18 at normal walking speed. Then when they start to
19 run or at a hurried speed, those functional issues
20 become worse. So for this reason, poorly draining
21 soil creates an unsafe environment.

22 What artificial turf does is it
23 eliminates this issue with efficient, effective
24 drainage creating a more safe environment for our
25 kids. It provides opportunities for sensory play

1
2 due to its different texture, color, light
3 interaction, and general appearance compared to
4 standard grass.

5 And, lastly, it lowers the risk
6 of allergy triggers. Artificial grass is free from
7 pollen, molds, fungus, and other allergens, and
8 persons with disabilities are disproportionately
9 affected by issues related to allergies.

10 So without the inclusion of the
11 artificial turf into the proposed athletic fields,
12 the barrier to the recreational play and grass
13 environments will persist and continue to segregate
14 the population we support from enjoying safe play
15 opportunities. With the lights, the illumination
16 maximizes the use of the field, especially during
17 the fall and winter.

18 We have students that are in
19 school who have additional therapies, have doctor
20 appointments. The times that they could come to us
21 are very precious. We have waiting lists for every
22 single one of our programs. If we had more
23 capacity, it would be wonderful to serve more. And
24 so it's common to have recreational programming in
25 the evening, into the dusk hours, and on the

1
2 weekends.

3 In addition, the development of
4 fields are also part of our outreach to other
5 nonprofit groups, and it helps promote our mission
6 and the work we do.

7 Q. How many fields are proposed at this time?

8 A. At this time, we're only looking to build
9 one turf field.

10 Q. And that field is the field that you are
11 proposing illumination; is that correct?

12 A. Yes, correct.

13 Q. I'm going to direct your attention to
14 Exhibit 4.

15 The field to be illuminated,
16 does that appear on Exhibit 4? And if so, can you
17 just -- it's a pretty high aerial view.

18 How is the field shown?

19 A. It's shown as a green rectangle. You can
20 see some sports markings as if it's a soccer field.

21 Q. The Township Solicitor has identified in
22 the list of exhibits a letter from the Township
23 Engineer. I'm going to ask you only specifically
24 with regard to the lighting requirements. The
25 details of the location and illumination of the

1
2 field will be addressed by the subsequent
3 witnesses.

4 But just to address the
5 conditions that the Township has imposed in its
6 regulations, will all events on the lighted turf
7 field end by 9:00 p.m. on Monday through Thursday
8 and by 10:00 p.m. on Friday and Saturday?

9 A. Yes.

10 Q. Will there be, at the risk of a double
11 negative, no lights on Sunday?

12 A. Correct. There will be no lights on
13 Sunday.

14 Q. Will the field be illuminated when there is
15 no activity taking place on the field?

16 A. No, it will not be.

17 Q. And I think you've already mentioned the
18 use of the existing facilities by Variety.

19 Do you intend, on a limited
20 basis, to allow the illuminated turf field to be
21 used by other nonprofits?

22 A. Yes, by other nonprofits. Yes.

23 Q. But it will not be available to the general
24 public?

25 A. No. It will not be an open-to-the public

1 field. No. People cannot just come onto the field
2 without a prior agreement and certain restrictions
3 and rules.
4

5 Q. The regulations for illumination are very
6 mindful of the impact of illuminated fields on
7 neighbors. Variety has been a longtime member of
8 the community.

9 Has Variety actively reached
10 out to neighbors and talked about the master plan
11 and specifically the proposed illuminated turf
12 field?

13 And if so, give the Board of
14 Supervisors a summary of those outreach efforts.

15 A. I mean, in my five-year tenure, I've had an
16 open-door policy with neighbors. Since my five
17 years, we have sat here and talked about the
18 ordinance related to the plan. I had dropped off
19 zucchini breads to neighbors that our kids have
20 made. I invited them to our events, and I have an
21 open-door policy. I get excited when I meet a new
22 neighbor because I really want to develop that
23 relationship. It's important to me that we be good
24 neighbors to those near us.

25 Some history, we invited

1
2 approximately twenty neighbors to an on-campus
3 event in May of 2022 to share the overall plans for
4 the campus revitalization in hoping to spread the
5 word. We shared detailed plans of our master plan
6 at the Planning Commission and Township Supervisor
7 meetings in '21 and '22 culminating in approval of
8 the ordinance amendment, as you're all familiar
9 with, in February of '22.

10 Representative Matt Bradford
11 shared a social media post in October 2022 that
12 referenced the fields. Variety posted a very large
13 sign -- I think it's 96 by 48 -- with a photo of
14 the field in the entrance pathway of its campus
15 prior to our Holiday Lane event in December,
16 knowing we were getting a lot of neighbors to come
17 on campus. We wanted to make sure they knew what
18 was happening. And we have had over fifteen
19 hundred people come through. Because we count
20 them.

21 We invited approximately fifty
22 neighbors -- 5-0 neighbors -- to a December 4th
23 meeting on our property to share information
24 specifically about this field with the lighting
25 experts, with our contractor, to make sure the

1 neighbors were aware of it and could ask questions.

2 We sent a letter via postal
3 mail -- two letters -- to neighbors to invite them
4 to that meeting. We had three households attend.
5 We had detailed conversation. And there were no
6 objections to the construction of the fields or the
7 illumination at that meeting.
8

9 So that's a list of what
10 specifically happened.

11 Q. As part of that outreach, Exhibit 6, is
12 that the letter, November 28th, 2023, to your
13 neighbors?

14 A. Yes, that is the letter. And we even went
15 to the post office to make sure we knew who was
16 P.O. Boxes versus who was a street address to make
17 sure that folks got the letter.

18 Q. That was sent to fifty neighbors; is that
19 correct?

20 A. Correct.

21 Q. I'd like to direct your attention, skipping
22 ahead, to Exhibit 16.

23 Did Variety receive letters of
24 support for the field project from neighboring
25 property owners and the Special Olympics of

1
2 Montgomery County?

3 A. Yes, we did.

4 Q. Would you identify first Exhibit 16(a)? Is
5 that the letter of support dated January 13th,
6 2024, from the Special Olympics?

7 A. Yes.

8 Q. And identify, if you would, 16(b).

9 A. Yes. That is a letter from a neighbor.

10 Q. And who is the neighbor, please?

11 A. Tammy Gaul is a close neighbor to the
12 property as well as a Variety parent.

13 MR. JONAS: Those are all the
14 questions that I have of Dominique. Her testimony
15 will be followed by Mr. Bowker, the civil engineer,
16 and then our lighting consultant.

17 MS. MCKENNA: If any of the
18 Board Members have questions, now would be the
19 time.

20 MR. DELELLO: So I have a
21 couple.

22 So, Dominique, maybe you could
23 go back, if you could.

24 In 2019, you made a
25 presentation in front of the Board, sort of a

1
2 master plan. One of the items -- and I don't know
3 if it was a phone call you and I had prior to that
4 or it was at that meeting -- but you talked about
5 one of the desires was to, sort of, add some
6 stability to, sort of, the financial structure of
7 the Variety Club so that year to year you were
8 not -- and I'm paraphrasing -- sort of limping
9 along year to year.

10 Can you maybe talk a little bit
11 more about, sort of, what went behind the master
12 plan?

13 I know you came before us in
14 '19. There was '21. There was '22 -- a few times
15 to the Planning Commission.

16 But maybe if you can speak more
17 broadly just sort of what the underlying goal was
18 with the master plan and maybe how that has worked,
19 sort of, over the course of the last five years,
20 and maybe you can talk to that a little bit.

21 THE WITNESS: Sure. Sure.

22 So if any folks have been to
23 the campus -- I know the Board of Supervisors have
24 been at some point -- it's an aging campus. It's
25 an aging infrastructure. Right? Thirty-six plus

1
2 buildings on this campus. And, quite frankly, the
3 kids that come to our campus deserve a new updated
4 space and equipment and tools just as I want my
5 kids to if they were going to a camp or an
6 after-school program.

7 We accept a lot of in-kind
8 donations. We have a lot of donated things. We
9 get all kinds of crazy things donated sometimes,
10 and we're so grateful to the community for that.
11 But the space needs to be updated.

12 And so the master facilities
13 plan view the campus through the lens of our
14 vocational training and through the lens of us
15 doing more in the garden and agriculture and
16 respecting setbacks and being a good neighbor and
17 really growing our programs, not so much from the
18 numbers perspective but growing them in a way that
19 they are higher quality, updated facilities, and
20 we're measuring the change in the students.

21 At the time when I came on
22 board, Variety did not have an endowment. We
23 currently have an endowment of \$150,000. There
24 were some financial strains around fundraising and
25 being able to ensure the future stability of the

1
2 agency.

3 So my role as a former auditor
4 and with experience -- and that was to help bring
5 stability to the organization, make sure we can be
6 there another 88 years and continue to be a second
7 home and a much needed resource. There is nobody
8 like us in Montgomery County. There is nobody that
9 owns a property that can have the flexibility to
10 serve kids the way we do.

11 So with the master facilities
12 plan, we have taken it very thoughtfully, very
13 slowly. We're currently in the process of
14 finishing constructing a 3,000-square-foot
15 multi-use cabin which replaces three of the cabins
16 we have from the '50s. We replaced the gym on our
17 roof. It used to rain in the gym every time it
18 rained outside. So that has been a wonderful
19 improvement as well. We were able to secure some
20 government funding to help achieve those
21 improvements.

22 We're continuing with the
23 capital campaign to help continue to make more
24 master plan improvements. We're doing them
25 thoughtfully so that we have improved

1
2 infrastructure that is fully accessible,
3 universally accessible, and able to serve the
4 students and families at a high quality just as if
5 they went to somewhere else.

6 Am I answering your question,
7 Mr. Delello?

8 MR. DELELLO: Yes.

9 I mean, I think part of the
10 overall thinking when you came before the Board was
11 to give us an insight as to what the future held.
12 And then five years later, it was sort of nice to
13 hear, well, did it work.

14 THE WITNESS: Yes.

15 MR. DELELLO: You know, plans
16 are great, but did it actually -- was that an
17 outcome that you had. Certainly some of the things
18 you have asked of our Board in years past was to
19 allow, sort of, a zoning structure that would make
20 it easier for you to present that picture in the
21 marketplace.

22 THE WITNESS: Yes.

23 MR. DELELLO: It sounds like
24 that, sort of, outcome was as desired, I guess.

25 THE WITNESS: Yes. I would

1
2 say, I think that's evidenced by the many
3 partnerships we have with many community business
4 partners in Worcester, as well as Montgomery
5 County, who have our kids on their property
6 training or they come on campus as well. We have
7 support now from the Pennsylvania Department of
8 Agriculture. We partnered with grants with the
9 Montgomery County Conservation District. There's
10 many local partners from Dow Chemical to Allan
11 Myers to Merck who provide a lot of volunteers and
12 a lot of in-kind and pro bono support.

13 So, yeah, and our balance sheet
14 and our financial statement or income statement
15 prove that as well. We are sustainable. We're
16 here to stay. We want to continue to provide
17 quality programs and really just meet the needs of
18 this medically vulnerable, under-served population.

19 So I'm really pleased where we
20 are. We have a ways to go, but we're looking to do
21 that again as a good neighbor and really continuing
22 to represent the Worcester community well.

23 MR. DELELLO: Okay. I got one,
24 sort of, follow-up question.

25 You talked a lot about the

1
2 neighborhood outreach that you did. Obviously, you
3 know, in an exhibit, there is a letter of support.
4 There's the letter from the Special Olympics.
5 There is another half to that. I guess I would
6 love to hear if you had any neighbors express any
7 concerns to you, what sort of feedback did you
8 hear.

9 We can see the good.

10 Has there been feedback from
11 any neighbors that you can speak to that maybe
12 expressed concerns and what concerns those might
13 have been?

14 THE WITNESS: I have not had
15 anybody directly express any concern to me or to
16 any of my staff at Variety. So I cannot speak to
17 that. I mean, I can speak to hearsay, but I don't
18 know if that's appropriate. So I have not had
19 anybody.

20 Again, my door is open. I'm
21 willing to have anybody tour the campus, show them
22 what we do, and hopefully become a longtime
23 supporter.

24 MR. DELELLO: Okay. Fair
25 enough. That's all I have at this time.

1
2 Any other Board Members have
3 questions?

4 Lou?

5 MR. BETZ: Yeah. I think it's
6 a great organization. I love your energy.

7 THE WITNESS: Oh, thanks.

8 MR. BETZ: You love your job.
9 I can tell.

10 THE WITNESS: I do.

11 MR. BETZ: You're the right
12 person.

13 The only question I do have is,
14 it's a 77-acre facility, and on your section on the
15 map -- like, Section 4 and then the location of the
16 field, if you look at your 4 and 5 picture -- or 3
17 and 4 picture.

18 When they located the field --

19 THE WITNESS: Yes.

20 MR. BETZ: Again, the biggest
21 thing in this area is the lights. Because
22 neighbors around you are going to change. They're
23 going to move on and find solace.

24 So on a 77-acre facility, it is
25 located in a spot where even though we're going to

1
2 put lights up and 70 footers, it's going to impact
3 somehow someways. It's just the way it is.

4 So the location, I guess, was
5 designed by someone in engineering, I'm sure.

6 So I guess the big question is
7 if it is centrally located where no neighbor can
8 really see, it's going to be shielded by trees.

9 There is always some wash. I
10 don't care. That's the way it is. All of that has
11 to be taken into consideration.

12 Again, was that thought through
13 to the point where none of the neighbors within
14 reason are ever going to be affected by this?

15 That's the only concern, I
16 believe -- there is a traffic concern, I guess, if
17 you have an exceptional turnout for whatever
18 special event. I guess we will have to answer
19 those questions.

20 But, again, mine is more the
21 location. On 77 acres, you can put that sucker
22 right in the middle, but I don't know if that's
23 possible.

24 THE WITNESS: Yeah. This is
25 the -- so this is the location on the master plan

1
2 when landscape engineers and architects proposed a
3 master plan back in 2019 and then reapproved by our
4 current construction team, which includes
5 engineers, architects, et cetera.

6 The field has -- sorry -- the
7 campus itself has drainage issues. I should --
8 right. So as you go down more towards 363, you get
9 more drainage. So this is a logical place to put
10 it. It's aligned with the gym, which also provides
11 extra bathrooms. And it really is in, sort of, the
12 most isolated spot you could as far as related to
13 neighbors, to be honest, where you could tuck it
14 away. Granted, nothing is invisible. Correct?

15 MR. BETZ: That's a bigger
16 concern.

17 I mean, stormwater is always
18 going to be handled. That's a way bigger problem.
19 But, again, the neighbors are going to change.

20 THE WITNESS: Right.

21 MR. BETZ: It's like a high
22 school. The high school is going to stay. The
23 neighbors around it -- and Mr. Jonas is well aware
24 of lighting with that issue. I sat through a lot
25 of those meetings. I mean, I got gray hair over

1
2 that.

3 MR. JONAS: Forgiven, am I?

4 THE WITNESS: And I've heard
5 the legend.

6 MR. DELELLO: It depends if we
7 start talking about foot candles, Marc. We start
8 talking about foot candles, we'll see.

9 MR. BETZ: A beautiful ball
10 through a light and, oh, my God. Anyway.

11 THE WITNESS: And my
12 understanding is, the experts are going to speak as
13 well, that the technology has evolved even since
14 then. So I'm hoping that --

15 MR. BETZ: Lighting is better
16 obviously with the LEDs and the technology.

17 And, again, mine is only -- I
18 would like more input from both members. Because
19 who is going to field the feedback after this is
20 built? That's when the complaints start kicking
21 in. Because you approve this, if you approve it,
22 the neighbors are going to change. Again, it's
23 always about the inconvenience of it wasn't like
24 that before I bought my house. Now you've changed
25 it. Now they're affected.

1
2 Same with the high school
3 lights. That has sort of corrected itself. I'm
4 hoping this works well, because I'm all for your
5 mission. I just need to make sure that we really
6 do this right and try to protect our residents that
7 will change. But everything you're doing I believe
8 is the best we can do. That's my only concern.

9 MR. DELELLO: So your question
10 was specific to the location. Maybe we will ask
11 the engineer a couple more questions on the layout
12 when we get to the engineer. As well, we can talk
13 about the location of the field and drainage and
14 some of those other issues in a little more detail.

15 Okay. Fair enough.

16 MR. JONAS: I think we have
17 like a one-two punch coming in a positive way where
18 you have very rigorous standards built into the
19 ordinance, as you know. And they do reflect a
20 considerable concern for neighbors, not only the
21 current neighbors but the successors as well.

22 It's been interesting to us as
23 counsel to see how the lighting technology has
24 evolved. I think our lighting expert from Musco is
25 going to be quite, quote, illuminating about the

1
2 impact of the technology, and it's really
3 fascinating how limited and direct the technology
4 can be so much so. We heard that in our
5 preparation -- I'm sort of testifying -- that you
6 can light a field, and if there are bleachers next
7 to the field, the bleachers can be completely in
8 the dark.

9 So I think what the Board will
10 hear -- and you've had your own lighting expert
11 review this, and we're responding to those comments
12 as well -- I think you will hear that both the
13 location and the technology will protect Mr. Betz's
14 concerns and the concerns of the supervisors.

15 MR. BETZ: In the future.

16 MR. JONAS: We will let the
17 evidence speak for itself.

18 THE WITNESS: If I can add one
19 more thing -- two more things, actually.

20 One is, actually, you have my
21 commitment and the commitment of the board which
22 predated me -- I know you're saying people turn
23 over, et cetera -- to continue to remain a good
24 neighbor and to continue to have an open door.
25 Because our reputation is only as good as the

1
2 people who are talking about it. That's the key to
3 our success the past five years.

4 And the second thing I want --
5 the last thing I want to say is, this is a really
6 important project to us. Again, our kids deserve
7 new. Our kids deserve the best. And this will
8 help us be competitive, be able to provide a safer
9 space. I think compared to other alternatives,
10 this is a great use for an empty field.

11 So I do hope that you will
12 support it, and thank you for the questions.

13 MR. DELELLO: Steve, do you
14 have any questions?

15 MR. QUIGLEY: Yes. I just have
16 a few things I wrote down, and I will, sort of,
17 follow the outline that you did.

18 You mentioned, first of all,
19 the year-round programs.

20 THE WITNESS: Yes.

21 MR. QUIGLEY: What percentage
22 of the programs you have now are year-round, and
23 what's the percentage spring, summer, fall, winter?

24 THE WITNESS: It's probably
25 more academic in summer. Right? So academic

1
2 year -- I mean, it's probably like a 50/50 split
3 now, at this point. I mean, it's vocational
4 training and older students on our campus five days
5 a week. We have after-school programs four days a
6 week, and every Saturday we have full-day camp four
7 weekends a year. We got weekend retreats. Friday
8 nights we have an adult social and then in the
9 summer where it's about an eight-week program.

10 It's a great question. I have
11 trouble answering it.

12 It's probably a 50/50 mix. I
13 think people just think, oh, you're a summer camp
14 anymore. Really, we're engaging the students
15 year-round, because it's important to keep their
16 skills up throughout the year and not just for a
17 summer camp.

18 Am I answering your question?

19 MR. QUIGLEY: Once again, is
20 it -- I'm just curious. Once again, spring -- I
21 only do this because I'm sort of a semi-expert
22 because I had to sit here for twenty-five meetings
23 for the lights before.

24 So what percentage -- I'm just
25 looking for a number that will be used in the

1
2 spring and summer when it's light out until 9:00 at
3 night --

4 THE WITNESS: I see what you're
5 saying.

6 MR. QUIGLEY: -- versus the
7 wintertime when that -- essentially, when the
8 lights are on and the leaves will be off the trees
9 and there's more time for light pollution.

10 THE WITNESS: Right. It's
11 probably a 50/50 split.

12 But I will also say, during the
13 academic year and fall and spring, our kids are in
14 school. So the program needs to happen after
15 school and in the evening hours. So there's
16 probably a split that way, but it's probably 50/50.

17 MR. QUIGLEY: Now, the campers
18 in the summertime, do they stay over?

19 THE WITNESS: We brought back
20 overnight camp post-COVID for two weeks. Then we
21 have Muscular Dystrophy come and another adult
22 group that serves adults with disabilities that
23 come for another week. Currently, we have about
24 four full weeks of overnight camp.

25 MR. QUIGLEY: Are any of those

1
2 in the winter currently?

3 THE WITNESS: Sometimes on the
4 weekends, yes.

5 MR. QUIGLEY: And the weekends?

6 THE WITNESS: Yes.

7 So we do currently have
8 external groups.

9 MR. QUIGLEY: You mentioned
10 that many families consider this their second home.
11 Can you elaborate on that?

12 THE WITNESS: Sure. We start
13 with kids at the age of five. We have had some
14 students, including Tammy Gaul, who wrote that
15 letter. Her son was with us until he graduated at
16 21 and had to age out of school. He's now employed
17 permanently as a facility staff for us.

18 So a lot of times individuals
19 with autism or intellectual disabilities like
20 routine, like a structure. So to have a same place
21 to go every Saturday or every summer and every
22 Tuesday and Thursday is really important for the
23 routine and helps teaches skills. So we see
24 students starting age five through high school and
25 past graduation. Now we're focusing on their

1
2 vocational training to make sure they can have some
3 financial independence and actually be employed in
4 the community independently. So a piece of it is
5 we see them through their entire childhood.

6 Then separately, we have a
7 one-to-three ratio, one staff to three students,
8 for every program, which is not required by
9 anybody. So there's close relationships that are
10 developed and built with our teams. So it feels
11 like a safe space. It's a safe space where no one
12 is judging them where they are walking into a pool
13 that's accessible and no one is laughing at them or
14 mocking them. They're able to run around the field
15 and nobody is saying why are you walking like that.
16 So it feels -- it's a safe space for them. That's
17 what makes it feel like a second home.

18 MR. QUIGLEY: You mentioned
19 that the holiday event had sixteen hundred people
20 from the community.

21 Now, when you mentioned before
22 about the Worcester community, are they sixteen
23 hundred people from the Worcester community or the
24 community outside of Worcester?

25 THE WITNESS: Including

1
2 Worcester but above and beyond, yes. So we count
3 who comes in the door, in the cars. We also count
4 volunteers, many of whom are Worcester residents.
5 So all together, it's fifteen hundred.

6 MR. QUIGLEY: Okay. You
7 mentioned the sensory advantages to having a turf
8 field.

9 THE WITNESS: Yes.

10 MR. QUIGLEY: People can see
11 the colors, the green, and everything shows up
12 through that.

13 I guess my question is, as
14 Mr. Betz talked about the lights and the size of
15 the poles, would you need the lights to be as high
16 because of the sight problems for the children?

17 I know the field at the high
18 school are 80, 90 feet high because the kids are
19 going to punt the ball or they're going to throw
20 the lacrosse ball one end to the other.

21 Do you think that your
22 residents will need the lights as high as you're
23 asking for or could be something the Board would
24 look at with a smaller lightbulb?

25 What do you perceive that you

1
2 need the poles that high?

3 THE WITNESS: So I will defer
4 probably to the lighting experts, Mid-Atlantic, on
5 that. I mean, I will say we want to have a safer
6 space for the turf. We also need to teach our kids
7 to accommodate for the space that they are in.
8 Right?

9 So if the lights are equivalent
10 to another field, somewhere we will teach them how
11 to spot the ball or use a partner or something like
12 that. So it wouldn't be required for them to have
13 it lower.

14 But I will defer to them.

15 MR. QUIGLEY: You mentioned
16 that other groups will be using the fields.

17 Now, are they other Variety
18 Clubs from different areas using it? Who else are
19 you looking to use the fields?

20 THE WITNESS: So other
21 community nonprofit groups such as Special
22 Olympics, such as some local sports organizations
23 as well, many of whom currently use our gym and our
24 property now. That may not be known to neighbors
25 as well. We ensure that we get insurance

1 requirements. We're very, very strict about who is
2 on campus, which is different from years and years
3 and years ago. At this point, we want to protect
4 our home. So it's important to us. So it will be
5 nonprofit youth groups.
6

7 MR. QUIGLEY: Having ten
8 grandchildren all playing sports, fields are very
9 short in this area between the girls' lacrosse
10 team, hockey team, soccer team. Every team around
11 are looking for a place to play.

12 Will these groups be able to
13 use your field?

14 THE WITNESS: Yes.

15 MR. QUIGLEY: Okay.

16 THE WITNESS: And what's
17 beautiful, that is when we have groups come onto
18 campus, they learn about what we do. And it
19 promotes awareness of inclusion. We often get
20 volunteers as a result of it as well.

21 MR. QUIGLEY: Can you have the
22 band camp -- are you looking to have -- can band
23 camps use the field as well?

24 THE WITNESS: Yes, absolutely
25 they could. I know some of the neighbors have

1
2 questioned some of the percussion groups that used
3 to borrow our property. They haven't been around
4 for a moment. And we took that feedback, and we
5 made a change. So we haven't had a recent
6 percussion group on campus.

7 But, yes, they could.

8 MR. QUIGLEY: My last question
9 would be, you said the event in December was a
10 drive-thru event; is that correct?

11 THE WITNESS: December, it's
12 one night drive-thru and two nights walking. So we
13 could accommodate for those that didn't want to be
14 out in a crowd versus those that wanted to spend
15 time with their family and enjoy the property.

16 MR. QUIGLEY: I guess my
17 question to that was, with the drive-thru event,
18 were people getting out of the cars to look at your
19 massive board, or they just drive past the board?

20 THE WITNESS: It was a very,
21 very slow -- we had people directing the cars, and
22 you couldn't miss it because it was right there in
23 your face as you drove to get through the holiday
24 lane and pass it again on your way out. So you
25 actually passed it twice.

1
2 MR. QUIGLEY: Do you think the
3 people could actually visualize what's on the
4 board -- me sitting here twenty-some feet away --
5 of course, it's much bigger -- they could see the
6 layout of what you're intending to do on the
7 project?

8 THE WITNESS: I think it was
9 enough to pique curiosity. If somebody asked
10 questions, again, then -- open to anything, open to
11 tours -- I have an open-door policy. So it
12 definitely was in your face. We put it in a place
13 where you could not miss it because we want to be
14 transparent about it. We've only been transparent
15 about everything we do.

16 MR. QUIGLEY: How many people
17 do you interact with regarding the plywood board
18 that was there? How many people asked questions?

19 THE WITNESS: Yeah, yeah.

20 MR. QUIGLEY: Just a ballpark.

21 THE WITNESS: From Holiday Lane
22 itself?

23 MR. QUIGLEY: From -- it's
24 sixteen hundred people that came through that day.

25 THE WITNESS: Yes.

1
2 MR. QUIGLEY: What percentage
3 of the people had questions about the board?

4 THE WITNESS: Maybe 5 percent.

5 MR. QUIGLEY: Okay. Thank you.

6 MR. DELELLO: Thank you, Steve.

7 I was going to say, does the
8 audience then have opportunities to ask an
9 individual witness questions? Is that appropriate?

10 MS. MCKENNA: Yes, if there are
11 any questions from anybody in the audience of this
12 witness.

13 Now, do you have time?

14 MR. QUIGLEY: Bob has a
15 question.

16 MS. MCKENNA: So I don't see
17 anyone here in the -- yes.

18 MR. DELELLO: There's a couple.

19 MS. MCKENNA: So I will ask you
20 to stand and state your name and address, please.

21 MR. HYNES: Burt Hynes, 1591
22 Valley Forge Road, mailing address is Collegeville.

23 I just wanted to comment on
24 some things that Ms. Bernardo said.

25 As Supervisor Betz --

1
2 MS. MCKENNA: I will just
3 interject for a minute, because this isn't the time
4 for a comment. This is actually only the time if
5 you would have a specific question for this
6 witness. Comments are later in the proceedings.

7 MR. HYNES: Got it.

8 You mentioned that you had
9 notified the neighbors. To date, I have received
10 zero letters.

11 MR. JONAS: Mr. Chairman.

12 MS. MCKENNA: Again -- go
13 ahead.

14 MR. JONAS: Two things. One
15 is, obviously, he's now trying to testify, and he's
16 not under oath. But, also, the Solicitor at the
17 very beginning asked if people wanted to be
18 parties. In parallel proceedings with the Zoning
19 Hearing Board, parties -- and the Solicitor was
20 very expressed about it -- if you want to be a
21 party, you have the right to ask questions and
22 present evidence. Public comment is public
23 comment. It shouldn't be the questioning of
24 witnesses by somebody who is not a party.

25 In addition to that, this

1
2 gentleman is still trying to testify, and he's been
3 already advised that this is for comment and not
4 for testimony.

5 MS. MCKENNA: Well, just for me
6 to try to lay the ground rules here, because you
7 have not been admitted as a party, you do not have
8 the ability to cross-examine this witness. If you
9 have a general question with regard to her
10 testimony, that is permissible now.

11 Again, later in the
12 proceedings, if you want to make any comments with
13 respect to the application after Mr. Jonas has
14 completed all of his witnesses, that would be the
15 time to do that. So, hopefully, I can -- hopefully
16 that's clear.

17 We're not here -- since you
18 don't have party status, you're not cross-examining
19 this witness, but you're able to ask general
20 questions. Because that has been the policy of
21 this Board, that we do permit residents to ask
22 general questions with respect to the testimony
23 that isn't arising to participating as a party.

24 I hope that helps.

25 MR. HYNES: I will try.

1
2 MR. DELELLO: So what's
3 allowed, Burt, typically we give latitude with
4 public comment if you wanted to make a more
5 generalized comment about being notified or not
6 notified, as an example. That would be an
7 appropriate --

8 MS. MCKENNA: That would be
9 later, though.

10 MR. DELELLO: In public
11 comment. Correct.

12 MS. MCKENNA: That would not be
13 now. That would be later.

14 MR. DELELLO: But I also want
15 to make it clear they would have an opportunity to
16 do that. We're not not allowing him to share that
17 information. It's just that this isn't the spot,
18 if that makes sense.

19 MR. HYNES: Is this the
20 appropriate time then to ask when were the letters
21 sent to the neighbors?

22 THE WITNESS: Can I answer
23 that?

24 MS. MCKENNA: Since you
25 testified with regard to sending letters, I think

1
2 you can do that.

3 MR. JONAS: But it's not a
4 comment. Now we're into questioning by a nonparty.

5 MR. DELELLO: Maybe we will ask
6 the question differently. I will take it back as
7 the Board chair and say maybe you can give more
8 information as to when the letters were
9 specifically sent out to the neighbors.

10 I know you talked a little bit
11 about that, but maybe you could be a little bit
12 more clearer on that.

13 MR. QUIGLEY: I think Mr. Jonas
14 is opposed to that. I don't want to run into any
15 conflicts with that. We disclosed he wasn't a
16 party witness. I think I can take care of that.

17 MR. JONAS: I don't object to
18 the Chairman asking the witness to provide further
19 comment and clarification.

20 MR. DELELLO: I'm just
21 remembering, Marc, from some past conditional uses.
22 We've typically allowed some measure from the
23 audience if they had a specific question on
24 testimony. I don't know that they needed to have
25 party status to do that.

1
2 Again, I'm not a lawyer. So I
3 would defer to our solicitor. I'm going by past
4 examples.

5 We're obviously not looking to
6 take it down the rabbit hole either. We just want
7 to try to cover the ground fairly.

8 MR. JONAS: Dominique, can you
9 be a little more specific --

10 THE WITNESS: About the
11 letters?

12 MR. JONAS: -- per the
13 Chairman's question?

14 THE WITNESS: Sure.

15 So because the topic was the
16 conditional use which related to the lights, we
17 focused on the fifty neighbors -- the neighbors on
18 Potshop, Horseshoe, and North Trooper, because
19 Valley Forge has no real proximity to the lights
20 itself and the whole master plan had already been
21 discussed prior to the ordinance.

22 That being said, as a result of
23 this information, we will ensure in the future to
24 expand our communication far and wide since it
25 seems that anybody with any proximity to the

1
2 property would like to be communicated to. And I'm
3 more than willing to do that, again, completely
4 transparent about what we're doing.

5 But specific to the lights, my
6 understanding is, there is no way anybody on Valley
7 Forge Road would ever see the lights. So we really
8 focused on the fifty neighbors on those three
9 streets that we felt might have questions and
10 targeted that communication at the end of November.

11 MR. DELELLO: Do you know -- at
12 the end of November?

13 THE WITNESS: Yes.

14 MR. DELELLO: Okay.

15 MR. HYNES: That answers it.

16 Thank you.

17 MR. DELELLO: Thank you, Burt.

18 MR. QUIGLEY: I have a
19 follow-up question to his question to you.

20 On Valley Forge Road, did you
21 measure out from the edge of your property to the
22 properties within 500 feet of that?

23 THE WITNESS: To mail the
24 letters?

25 MR. QUIGLEY: Most zoning

1
2 applications, zoning issues or things that come up,
3 I think the normal thing is 500 feet within the
4 property line. You went beyond that. Because I
5 know we had a thing from way down the other end of
6 the road you reached out.

7 But I think the question from
8 the person there is, I would think he's pretty
9 close to 500 feet on Valley Forge Road where the
10 tip of his property on Heebner Road comes across
11 the street to that.

12 THE WITNESS: Yes, correct.

13 But it's nowhere near the
14 lighted fields, which is why we weren't connecting
15 to those neighbors. We were focusing on the
16 neighbors that would have any potential view of the
17 fields themselves.

18 That being said, there was not
19 an intention to not share the information. It was
20 really about capacity. We're a small nonprofit. I
21 have less than fifteen full-time staff. And so it
22 was a matter of how can we get the information.

23 I've also been there for five
24 years and can count on my hand or less than one
25 hand how many neighbors have come and said tell me

1
2 who you are and what you're doing.

3 We have advertised all of our
4 events. It's open to the public. Again, we have
5 been an open book, and we have a lot of presence on
6 social media of what we're doing. So my hope is
7 more neighbors will come and say tell me about what
8 you're doing, and I will share.

9 MR. QUIGLEY: Once again, my
10 question goes back to the parameters of when a
11 zoning change or something is coming up, you
12 usually go 500 feet to the property owners.

13 MS. MCKENNA: Mr. Quigley, if I
14 could interject for a second.

15 As the Solicitor's Office, my
16 office did, in fact, do a buffer search, in
17 accordance with the Montgomery County Board of
18 Assessments, for all of the parcels owned by the
19 Variety Club. We did that 500-foot buffer search.
20 And notices were mailed to those property owners
21 that came up from that buffer search. That was a
22 part of what my office did as the Solicitor.

23 There were some folks -- the
24 list of those property owners is Exhibit T-6. In
25 fact, Mr. Hynes is on the list, 1591 Valley Forge

1
2 Road.

3 So there was a letter mailed by
4 my office.

5 MR. QUIGLEY: Okay.

6 MS. MCKENNA: And I will just
7 state that certainly it appears he got notice since
8 he's here this evening.

9 So, again, that's required
10 under the --

11 MR. DELELLO: Burt is always
12 here.

13 MR. QUIGLEY: Thank you. I
14 just want to make sure -- once again, some of these
15 issues come back.

16 MS. MCKENNA: I complied with
17 the requirements of the Pennsylvania Municipalities
18 Planning Code, and I believe perhaps the Variety
19 Club also did some other mailing on their own
20 accord.

21 MR. QUIGLEY: I just want to
22 make sure we're dotting the "I"s and crossing the
23 "T"s and somebody doesn't come back and say they
24 didn't notify me.

25 So is it possible that we can

1
2 send another letter out to that person or is that
3 not the way it usually works?

4 MS. MCKENNA: Well, now that we
5 are here and have commenced the hearing, there is
6 not a need to send additional notices.

7 MR. QUIGLEY: Thank you.

8 MR. JONAS: I think the Board
9 has seen that some people would have gotten double
10 notice, the notice from the Solicitor and then
11 Variety's focusing on who would be directly
12 impacted or could potentially be impacted by the
13 lights. So it was, sort of, a double notice,
14 particularly for the people who potentially would
15 be impacted.

16 Again, responding to Mr. Betz's
17 questions, I think you're going to see that there's
18 very little potential impact at all once you hear
19 the testimony.

20 MR. QUIGLEY: Thank you.

21 MR. DELELLO: So, Wendy, I know
22 that Bob raised a hand as well. I just want to
23 make sure that we at least understand what it was
24 that he potentially had a -- I don't want to not
25 allow him to say something.

1
2 MS. MCKENNA: Again, if there
3 is someone here who has a question regarding the
4 witness' testimony, a point of clarification, now
5 would be the time for that. Again, we're not
6 cross-examining.

7 If you're wishing to make a
8 comment, you will have time to do that.

9 So is there anyone here who has
10 any questions with respect to this witness?

11 MR. ANDORN: Can I comment to
12 you?

13 MS. MCKENNA: Not at this time.

14 We will have a point in the
15 proceedings where you would be able to make a
16 comment.

17 MR. ANDORN: My name is Robert
18 Andorn, A-N-D-O-R-N.

19 So it would have been helpful
20 if you had indicated that anybody who received
21 notice -- because I am also on Valley Forge and
22 didn't receive the notice, which would mean that I
23 am within 500 feet -- and had you noticed or
24 notified us, that the only way that we could
25 question and put out that information from the

1 witness or any other testimony would be to become a
2 party. So I was not aware that that was the case.

3
4 So even though I have a
5 question to make, I would step back so that
6 Mr. Jonas doesn't need to admonish me that I'm not
7 allowed to make a comment.

8 MS. MCKENNA: Sir, just a
9 moment, please. We can try to correct if there
10 was --

11 MR. ANDORN: You can't correct
12 it.

13 MS. MCKENNA: Excuse me, sir.
14 This is a public hearing, and I will ask that we do
15 not interrupt, that we treat each other with
16 courtesy.

17 So, at this point, if it wasn't
18 clear -- I did think that I had made it clear when
19 I explained party status that anyone who received a
20 notice was, in fact, entitled to request party
21 status. I believe I made that clear. If I did
22 not, I apologize. I believe I made that statement.
23 I asked if anyone wished to have party status.
24 There was no response.

25 However, because I understand

1
2 this is important to folks, we're going to pause in
3 the proceedings. We're going to do things maybe
4 perhaps a little less than would be the ordinary
5 course.

6 I will -- Mr. Jonas, we're
7 going to ask folks again if there is anyone here
8 who requests party status. I will ask that
9 question again. If, in fact, there is, then
10 Mr. Jonas can question them with respect to whether
11 or not they are entitled to have party status, and
12 then the Board can make a determination to that
13 effect.

14 I apologize if we're a bit out
15 of order here, but I think this is probably
16 important to the Board. It appears to be important
17 to some of the members of the public. So we will
18 take a little right turn here.

19 Again, I apologize. We will
20 pause with your testimony for a moment.

21 So is there anyone here in the
22 audience who wishes to have party status with
23 respect to the application?

24 Would you please state your
25 name and full address?

1
2 MR. ANDORN: Robert Andorn,
3 A-N-D-O-R-N, 1607 Valley Forge Road.

4 MS. MCKENNA: Did you receive
5 notice of the hearing this evening?

6 MR. ANDORN: I did.

7 MS. MCKENNA: You did.

8 Mr. Jonas, do you have any
9 objection to Mr. Andorn having party status?

10 MR. JONAS: I do not.

11 MS. MCKENNA: Okay.

12 Mr. Andorn, you are now granted party status.

13 Is there anybody else here in
14 the audience who would like party status?

15 It appears that there are not.

16 So, at this point, Mr. Andorn,
17 as a party, you may question the witness, and you
18 may cross-examine, if you wish.

19 MR. ANDORN: Wendy, thank you
20 very much for correcting that what was a
21 misunderstanding.

22 I have no intention of crossing
23 the witness. I just want to be able to ask a
24 question, which I thought was what Burt was going
25 to do but that was, kind of, rejected.

1
2 BY MR. ANDORN:

3 Q. So, in that context, in the interest of
4 being transparent -- and I think the process,
5 unfortunately, has been opaque -- all of the
6 information that has been presented so far tonight,
7 when was that information prepared and/or
8 presented?

9 And if it wasn't by you, then I
10 apologize, and I will hopefully find out who that
11 was.

12 When was that information
13 prepared, presented to the Township?

14 And is it your understanding
15 that it was their responsibility to provide that to
16 us, or was that your responsibility to provide?

17 A. So we have had the special or conditional
18 use application in -- I would have to ask counsel
19 for the actual date.

20 My understanding is that as a
21 good neighbor, our responsibility is to communicate
22 with the neighbors what's happening and share the
23 information. But the -- so that was my
24 understanding, and that's what we felt. We did it
25 to the best of our ability based on the neighbors

1
2 that were within a certain proximity to the actual
3 field.

4 Does that answer your question?

5 Q. I'm not sure. Because, to date, I received
6 the notice that there was a hearing this evening,
7 and then there is a package of information that I
8 can look at tonight, but -- and full disclosure, I
9 am a member of the Planning Commission. This is no
10 different than the Planning Commission. We're
11 given a package of information at the meeting and
12 asked to review it and come up with intelligent
13 questions. I, unfortunately, am not that bright
14 that I can do that.

15 So I would have loved to have
16 had the opportunity to look at the information to
17 formulate some questions that I'm sure I would have
18 to understand the whole process.

19 A. Understood. And I would have loved the
20 opportunity to meet you over the past five years of
21 my tenure, and I invite you to come to campus and I
22 would love to personally tour you around campus to
23 show you what we do.

24 MR. QUIGLEY: So, Mr. Andorn,
25 is your question when was it all compiled?

1
2 Because you had it a month ago,
3 two months ago, when you got it at the Planning
4 Commission.

5 Is there any information
6 different here than you, the Planning Commission,
7 looked at?

8 MR. ANDORN: The Planning
9 Commission was given a package of information on
10 the night that the presentation was made, period.

11 Again, full disclosure, I chose
12 to vote no, not as a disagreement with the Variety
13 Club's mission, program, or anything else. I
14 didn't have an opportunity to review any of that
15 information.

16 So I showed up tonight, and
17 there is a package of information. It wasn't
18 presented before this evening. It wasn't -- I
19 mean, yesterday, today, a week ago. I'm not
20 going -- I can't look at what I have tonight and
21 compare it with what was presented at that
22 opportunity.

23 I think it's not a transparent
24 process. And I'm not blaming the Variety Club for
25 that. I don't know. But the process is extremely

1
2 opaque. I don't have any opportunity to review the
3 information, formulate questions, and ask
4 intelligent questions seeking answers as to what
5 they're doing.

6 I'm very pro Variety Club and
7 their mission. I'm very pro lighting on athletic
8 fields. I'm very anti I'm not going to give you
9 any information until the night before or "the"
10 night and expect you to make a valued decision. So
11 that's where I am as of right now.

12 And I've only asked for party
13 status now so that I can at least ask a question,
14 which apparently ten minutes ago I was not allowed
15 to.

16 MR. QUIGLEY: So you're
17 speaking now as a resident that came to the meeting
18 tonight that had no idea what was happening. They
19 had no time to review or come up with any questions
20 before the meeting.

21 MR. ANDORN: That's correct.

22 MR. QUIGLEY: That's your gripe
23 tonight.

24 MR. ANDORN: Thank you.

25 MS. MCKENNA: So if I could

1
2 just again explain the process a little bit just
3 because I do want to try to make this clear.

4 So the legal notice -- under
5 the Municipalities Planning Code, for a conditional
6 use application, the procedure is the same as for
7 the zoning hearing. So there is a requirement that
8 notice of the proceedings being advertised twice in
9 a newspaper of general circulation in the
10 municipality.

11 That legal notice was
12 advertised in the Times Herald on December 20th and
13 December 27th. The property was posted. Notice of
14 the hearing was mailed to property owners within
15 500 feet.

16 The application itself has been
17 available for review here at the Township Building
18 since the legal notice had been published and
19 mailed to the property owners.

20 So that is the procedure that
21 was followed. That is what is required by the
22 Pennsylvania Municipalities Planning Code.

23 I certainly -- the application
24 itself is part of the Township exhibits, and I'm
25 happy to give Mr. Andorn a copy of it now if he

1
2 would like it. I would assume that he did, in
3 fact, have it at the Planning Commission meeting,
4 which was several weeks ago.

5 The additional information that
6 Mr. Jonas has presenting this evening is part of
7 his case of his evidence. He has no requirement to
8 provide any of that prior to the hearing this
9 evening. He will be proceeding and presenting
10 exhibits, as he has. And if you would like a copy
11 of those exhibits, I don't know if Mr. Jonas has an
12 extra set, but you're welcome to take a look at
13 mine.

14 So hopefully that explains the
15 process.

16 And we have complied with the
17 requirements of the Pennsylvania Municipalities
18 Planning Code.

19 While Mr. Andorn is using the
20 word "opaque," again, this is what is required and
21 this is what we have done.

22 He's here and is able to review
23 exhibits, listen to the testimony, and participate
24 in the proceedings.

25 MR. QUIGLEY: Question for the

1
2 lawyers in the room.

3 Is this an antiquated process?

4 MR. JONAS: I'm sorry?

5 MS. MCKENNA: Pardon me?

6 MR. QUIGLEY: Is this an
7 antiquated process informing the people?

8 Years ago, everyone used to
9 read the paper. Very few people read the newspaper
10 anymore.

11 So I'm just questioning, is
12 this the way that you folks talk about the legal
13 notice going out?

14 We put it in the paper. By
15 law, we have to put it in the paper.

16 Has that been looked at that
17 that's probably not the best way to do it anymore?

18 MR. JONAS: Can I respond to a
19 couple things that we have heard?

20 MR. DELELLO: Sure.

21 MR. JONAS: One is, there is
22 nothing different, nothing unorthodox about how
23 this application has been presented or has been
24 considered. You, the Board of Supervisors of
25 Worcester Township, go beyond the requirements of

1
2 the Pennsylvania Municipalities Planning Code,
3 because with regard to conditional uses, like
4 Zoning Board applications, the State statute does
5 not require Planning Commission review. You've
6 gone the next step and allowed the Planning
7 Commission and say to the Planning Commission, if
8 it's a Zoning Board application or if it's a
9 conditional use application, we want you to weigh
10 in on that.

11 And so we did, on
12 December 14th -- we came in in front of Planning
13 Commission, which, other than Mr. Andorn, endorsed
14 the recommendation for a conditional use. And we
15 did what every other applicant does. We presented
16 information at that Planning Commission.

17 The Solicitor has gone above
18 and beyond that because you have, besides -- you
19 have posting. You have publication in the
20 newspaper. You've got notice to the neighbors.
21 You've got notices from Variety. This Township
22 knows you can do a right-to-know request or come to
23 the Township Building and examine this. So you've
24 gone above and beyond.

25 And this Applicant has done

1
2 nothing different than to come forward at the
3 Planning Commission meeting. So December 14th,
4 Mr. Andorn had the possibility since then to review
5 whatever the Township had in the record. And the
6 public hearing is exactly -- the purpose of a
7 public hearing is for the applicant to come forth
8 under oath with witnesses and present the case and
9 to allow the public to hear.

10 So Mr. Andorn has a bug
11 somewhere about process. But I've been to a lot of
12 municipalities. You can tell by my advanced age.
13 There is nothing opaque about how Worcester
14 Township handles it.

15 We knew that outreach to the
16 neighbors was important to this Board. And this
17 Applicant, with a history of outreach to the
18 neighbors, went above and beyond as well to make
19 sure that anyone who could possibly be
20 interested -- not just those who might be impacted,
21 anyone who might be interested in this -- this is
22 one of the most outreaching, forthcoming Applicant
23 and client you could want. So we have done that.

24 So I'm not here to defend
25 Worcester Township. I'm here to say that as a

1
2 practitioner of law since 1898, there is nothing
3 opaque about what Worcester has done.

4 MR. QUIGLEY: 1898? I know
5 you're pretty old.

6 MR. JONAS: I was doing that
7 purposely. I wanted to see if, you know --

8 MR. QUIGLEY: -- we're paying
9 attention.

10 MR. DELELLO: You caught these
11 two on either side.

12 MR. JONAS: That is very public
13 process. This Applicant is coming forward tonight
14 to convince the Board of Supervisors to grant an
15 application that is permitted by conditional use.

16 So, again, I think the
17 Solicitor has done exactly what the Solicitor is
18 supposed to do. The neighbors have been informed.
19 Everyone has been informed. Nobody has a
20 legitimate gripe.

21 If he has a personal bug about
22 other things, it seems to me that's not pertinent
23 about this application, and we shouldn't get
24 sidetracked by it.

25 MR. DELELLO: Fair enough. We

1
2 do our best. Occasionally, we're agreed with and
3 occasionally we're not.

4 Certainly, Wendy, I appreciate
5 you, sort of, segueing us so we can create party
6 status for questions that he has. We certainly
7 want to make sure those opportunities are presented
8 properly for the public if they feel that's
9 appropriate in terms of that.

10 Stephen, to your point, I don't
11 know -- we followed the guidelines, technically.
12 Before, we asked a lot of questions of our
13 Solicitor. We asked a lot of questions to make
14 sure -- the other day we talked very specifically
15 about making sure have we crossed the "T"s and
16 dotted the "I"s and met all the requirements that
17 we need to so that we feel comfortable saying that
18 we are proceeding appropriately with the
19 application and giving its due course and
20 understanding as a Board.

21 That said, we live in a day and
22 age where information people want, and they want it
23 all as soon as they can have it. And we certainly
24 want to try to accommodate that as best we can as
25 well.

1
2 So do we have any additional
3 questions for Dominique?

4 I think we're at a spot at this
5 juncture.

6 I will go back to either of
7 you. Do either of you have any additional points
8 you want her to clarify at this point, or do you
9 feel that at least at this juncture she's answered
10 your questions?

11 MR. BETZ: I think she did very
12 well in her presentation. I think we need to move
13 forward. It's 8:30. We need to move forward on
14 our additional expert witnesses.

15 MR. DELELLO: Creeping along.

16 We can do that, but we also --
17 again, Marc will appreciate this. We do also want
18 to make sure we give time for public comment at the
19 end of our meeting and that sort of stuff.

20 But I will defer to you in
21 terms of the next witness, if you feel that there
22 is time, depending on what you have in terms of
23 your two expert witnesses and how you want to
24 handle that. I don't want to have you
25 unnecessarily split them, but I will defer to you

1
2 on that.

3 MR. HALBOM: Would it be
4 helpful to get a showing of hands of how many
5 individuals in the audience intend to provide
6 public comment?

7 Four or five.

8 MR. DELELLO: There's a
9 handful.

10 MR. QUIGLEY: Six or seven.

11 MS. MCKENNA: I guess the
12 difficulty might be that -- are we -- Marc, you
13 have two witnesses?

14 MR. JONAS: I have two more
15 witnesses.

16 MS. MCKENNA: And they are
17 technical witnesses?

18 MR. JONAS: Yes, they're
19 technical.

20 MS. MCKENNA: So we're
21 obviously not going to be able to wrap up this
22 evening at 9:00 I would expect.

23 The folks that have wished to
24 make comments or comments with respect to the
25 application, by a show of hands, is it preventative

1
2 to any of you that -- to come back to the next
3 Board of Supervisors meeting?

4 That would be on February 21st;
5 is that right, Sean?

6 MR. HALBOM: 21st or 22nd.

7 MS. MCKENNA: Because I don't
8 know that we want to completely -- we have already,
9 sort of, gone in an unusual -- down an unusual
10 path.

11 Normally, comments from the
12 public would happen at the very end after all the
13 evidence is presented.

14 I mean, for scheduling
15 purposes, if there are folks here that simply can't
16 be here at the next hearing, then I think we can
17 accommodate that. But I don't want to use up the
18 next thirty minutes for comments.

19 MR. DELELLO: No. I understand
20 that. But we, also -- we're, sort of, in a
21 conditional use in the middle of a normal business
22 meeting as well. So we have the mechanics of
23 public comment just in the ending of our business
24 meeting and adjournment and those elements, just
25 the mechanics of that.

1
2 I want to be respectful to both
3 sides. You have two more witnesses. If there is
4 one that we can get through -- I don't think we can
5 get through both. That's probably fair. But I
6 also want to make sure if somebody wants to make a
7 specific comment as well that they just have an
8 opportunity to do that.

9 MS. MCKENNA: I'm not clear.
10 When you're saying "specific comment," with respect
11 to the application?

12 MR. DELELLO: Well, to your
13 point, if somebody can't be here next month, if
14 somebody wants to make a comment tonight because
15 they may not be able to attend next month -- Marc
16 needs to be here, and I need to be here.

17 MS. MCKENNA: I think that's
18 what would be appropriate right now. We can ask
19 for a show of hands.

20 Is there anybody here who
21 cannot be at the hearing next month?

22 I see --

23 MR. QUIGLEY: There's a couple.

24 MR. DELELLO: Yeah, there's a
25 couple.

1
2 MR. ANDORN: Rather just do it
3 now.

4 MS. McKENNA: Off the record.

5 - - -

6 (Discussion off the record.)

7 - - -

8 (Witness excused.)

9 - - -

10 MS. McKENNA: We will go back
11 on the record.

12 Now we will ask if there is
13 anyone here in the audience who would like to make
14 any statement with respect to the application.

15 This wouldn't be a time for
16 questions. This will just be a statement with
17 respect to the application.

18 And I'd ask if you could -- we
19 will start on the left side of the room, and we
20 will ask you to stand, come forward, so the Board
21 and the court reporter can hear, and state your
22 name and address.

23 We will start on the left side
24 of the room.

25 Is there anyone here in the

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audience?

My left. Ma'am, if you would like to come forward.

MR. QUIGLEY: Wendy, as she's coming up, probably a little confusion here. These meetings don't happen in Worcester just over lights.

Probably, Marc, the last time we had a meeting like this is when you were here.

MR. DELELLO: 2013.

MR. QUIGLEY: It's controversial issues. So it's been a number of years. So we're ironing some of the wrinkles out in how we do business.

MR. DELELLO: You can have a seat.

I know you signed in earlier, but, again, if you would, sort of, reiterate your name into the microphone and then share your comment.

MS. McSHANE: Sure. My name is Kate McShane, M-C-S-H-A-N-E, Kate, K-A-T-E, 2976 Horseshoe Drive.

So I did receive notice from

1
2 Variety about the project. It was important to me
3 to come here tonight. I will try to come to the
4 next one.

5 But one of the things that
6 connects me to Variety is a theater project that I
7 do and we cooperate with them. But I first got
8 involved in Variety in the year 2011.

9 I wrote this down so I can
10 remember it.

11 I volunteered there on a lot of
12 different projects going back to Sesame days, the
13 Fall Fest, Holiday Lane, the Christmas party, and
14 also helping with the vocational program, which is
15 a really exciting new development. And, as I said,
16 I do a community theater program there,
17 particularly our youth program, which is really, I
18 think, a valuable thing. I have volunteered at
19 Variety for a very long time.

20 I've always been impressed by
21 their work and the importance of their work. But
22 I'm particularly impressed by Dominique. Since she
23 has started, the campus and the programs have
24 improved so much. They have been wonderful
25 neighbors, at least to me and to my family.

1
2 There have been a few things
3 over the years. I think the percussion group was
4 one of them. I loved it. I'm a music person.
5 Some people didn't. And they were really
6 responsive to concerns like that.

7 So as a neighbor, I feel that
8 it is just important as a point of pride for the
9 Township for us to support this project. I feel
10 comfortable and confident that the lights would be
11 used responsibly and in a way that's respectful of
12 me and my home. And it's just something I hope
13 we'll do.

14 I think the field will, in
15 fact, really enhance the campus. I hope we can all
16 really think about the importance of the students
17 and clients at Variety having the very best because
18 that's what they deserve.

19 MR. DELELLO: Okay. Thank you,
20 Kate. We appreciate your comments.

21 I think there's one other
22 gentleman or a couple over here that wanted to --

23 MS. SOLOMON: Good evening. My
24 name is Ann, A-N-N, Solomon, S-O-L-O-M-O-N. I live
25 at 1440 North Wales Road. However, I live in

1
2 Whitpain, which is right across from Worcester.

3 I'm here to talk to you to
4 advocate to please vote for the lighting for
5 purposes. I'm a parent of an individual who has
6 been involved with Variety -- he's twenty-seven
7 now -- since he's been ten. He's been in every
8 program that Dominique has mentioned. He's also --
9 he was in their vocational.

10 I'm a proud parent to say that
11 with Variety's help, he's been employed for five
12 years, which is phenomenal. He's on the autism
13 spectrum. He's also participated in other
14 nonprofit programs that have done recreational
15 programs. He's to do TOPSoccer there on Friday
16 nights. It's his home.

17 And for those who get it or
18 they don't get it, for a parent with someone with a
19 challenge, that's a place -- it's their safe haven.
20 And they're bullied because it's not tolerated.
21 They just feel comfortable. When you say let's go
22 to Variety, you don't get a meltdown. I am just
23 saying, they are doing wonderful things.

24 I also am on the board for
25 Special Olympics in Montgomery County. And our

1
2 athletes love this place. A lot of our athletes
3 have grown up through Variety. You know, it's a
4 nonprofit as well.

5 We're also trying to utilize
6 space. It's hard to get as well.

7 So please vote in favor of the
8 lighting.

9 Thank you so very much.

10 MR. DELELLO: Thank you, Ann.

11 MS. SOLOMON: I don't have any
12 questions.

13 MR. DELELLO: I appreciate your
14 comments.

15 Sir.

16 MR. CIABATTONI: My name is
17 Kevin Ciabatttoni, C-I-A-B-A-T-T-O-N-I.

18 So I am a lifelong resident of
19 Worcester. I grew up in Worcester on Trooper Road.

20 And, in 2000, I built a home at
21 the corner of Potshop and Landis Road, 2961 Potshop
22 Road, which is catercorner to the Variety Club's
23 entrance. So I am fairly close to Variety Club.

24 And I've grown up with Variety
25 Club my whole life knowing what's going on there,

1
2 where they're at, and what they do. Since
3 Dominique has become a part of them, nobody has
4 reached out like she has. I've been there
5 twenty-three years. Anyone before that has never
6 reached out to the neighbors. And she's the first
7 one that has communication with us.

8 So she invited all the
9 neighbors that I know of around me to the meetings
10 that they had when they started this whole plan. I
11 attended two of them, and the most recent one was
12 about the lighting for the fields.

13 So that night, I had a lot of
14 questions for one of the gentleman about the
15 lighting. And by the end of the night -- because
16 I'm worried about the light pollution from my
17 house. I do not want to be disturbed any more than
18 I have to be. That's the whole reason why I built
19 in Worcester. And by the end of the night, from
20 what he said and what he has shown me, I am in
21 favor of the lighting for the field.

22 So if you could -- I request
23 that you approve it.

24 And that's it tonight.

25 MR. DELELLO: Thank you, Kevin.

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2 MR. QUIGLEY: Sir, which corner
3 are you on? Are you on the east end or -- I guess
4 the west end of Landis and Potshop.

5 MR. CIABATTONI: I am on the
6 side closer to Valley Forge Road.

7 MR. QUIGLEY: I would say
8 that's the west side, I guess.

9 MR. DELELLO: Coming down the
10 hill, in essence, on the right-hand side.

11 MR. CIABATTONI: Yes.

12 MR. DELELLO: Got you.

13 MR. QUIGLEY: Thank you.

14 MR. DELELLO: I think there was
15 one more gentleman back there.

16 MR. CARFAGNO: My name is
17 Rusty, R-U-S-T-Y, Carfagno, C-A-R-F-A-G-N-O. I own
18 the farm -- Whitetail Farm, which is directly
19 adjacent to Variety Club. We are neighbors.

20 And I'd like to start off by
21 saying, when it comes to transparency, keeping us
22 informed, nobody does it better than Dominique.
23 There is no question about that. I'm a little
24 surprised by some of the comments that were made
25 tonight, but I can vouch for that.

1
2 For those of you who haven't
3 been by that property, I bought that property.
4 It's a 57 or 55-acre property/parcel that was zoned
5 for development. I bought that property. I've put
6 a ton of money into it making it presentable,
7 trees.

8 I do not plan on developing it.
9 I plan on possibly building a house there at some
10 point, but that's a whole other story.

11 I went to the meeting that
12 Dominique invited the neighbors to, met the
13 engineers, and was absolutely flabbergasted at the
14 technology about lighting.

15 If there is any neighbor that
16 would be affected by this, there is not a neighbor
17 that is closer to this lighting -- lighted field
18 than my property. I mean, I can -- well, I can
19 shoot a basketball and hit the field maybe.

20 So it's also in keeping with
21 the mission, I think -- Variety Club's mission and
22 helping these kids, you know, and their goal of not
23 developing that land. It takes money to do that.
24 And I think this is just part of the master plan,
25 and I think it would be a tremendous asset to the

1
2 Township because of the individuals that they help.
3 And I am totally, totally in favor of it and ask
4 you guys to approve it.

5 Thank you.

6 MR. QUIGLEY: Question,
7 Mr. Carfagno.

8 Does your property run the
9 whole length?

10 There are a couple of
11 businesses there, and then your house sits there.
12 It must extend pretty far down into the Variety
13 Club.

14 MR. CARFAGNO: There are two
15 entrances to my property, one on Trooper Road and
16 one on Township Line Road. It's kind of that road
17 to nowhere that everybody can see. That's the
18 entrance to the back way of my property.

19 The back of my property, which
20 is -- it was going to be the cul-de-sac for the new
21 development that I think John Westrum had --

22 MR. DELELLO: Right.

23 MR. CARFAGNO: -- presented
24 years ago.

25 There's a little cul-de-sac

1
2 back there. What was going to be the cul-de-sac is
3 where my property abuts up against Variety Club.

4 We communicate all the time.
5 We're great neighbors. We want to be great
6 neighbors to everybody. So I'm all in favor of
7 this.

8 MR. QUIGLEY: Just to -- your
9 property will be the closest property probably to
10 the fields there --

11 MR. CARFAGNO: There is no
12 question about it, other than maybe Techni Tool.

13 MR. QUIGLEY: Techni Tool,
14 right. But that's not a --

15 MR. CARFAGNO: But I am right
16 there.

17 MR. QUIGLEY: Okay. Thank you
18 very much.

19 MR. BETZ: Mr. Carfagno, I have
20 a question.

21 Is your property protected,
22 deed rights been sold?

23 MR. CARFAGNO: I'm sorry?

24 MR. BETZ: I mean, is it
25 protected where it could never be developed, your

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property, your 55 acres?

MR. CARFAGNO: Is my property protected? No.

MR. BETZ: Okay. So my question is -- and this is just a concern. I appreciate everything you are saying, everything you're doing. I think we are all pretty much helping this circumstance.

There will be a time when your property may be sold; and if it's not protected, it could be developed.

MR. CARFAGNO: You have to talk to my kids about that.

MR. BETZ: I understand. I'm just looking into the future, because I've seen enough of this. I've been here thirty-five-plus years.

MR. CARFAGNO: Well, I appreciate what you're saying, but I don't have any intention of doing that. And there are ways to protect my property against future development that I am considering.

MR. BETZ: My only question is, if we go forward with this and the lights are up

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2 and then your property is to be sold and may be
3 developed, there would be conflict -- it will be
4 existing, so anybody that would come forward to do
5 anything would understand that it is what it is.

6 So my only question would be --
7 we have to take that into consideration. But I
8 appreciate everything you're doing, and I
9 understand that --

10 MR. CARFAGNO: And I really
11 think -- and you're not going to get the
12 opportunity to see this presentation tonight on the
13 lighting. You guys have been through this, as you
14 say. But it is incredible.

15 MR. BETZ: It's the state of
16 the art of the current times. It's the best of the
17 best right now.

18 MR. CARFAGNO: The technology
19 is incredible. There is no light wash. There
20 is -- I mean, it's -- trust me.

21 MR. BETZ: I agree.

22 MR. CARFAGNO: I checked it
23 out.

24 MR. BETZ: I'm trying to cross
25 all the --

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MR. QUIGLEY: Again, your address is 1845?

MR. CARFAGNO: I'm sorry?

MR. QUIGLEY: What's your address there?

MR. CARFAGNO: 1543.

MR. QUIGLEY: 1543, a little before.

I guess Mr. Betz's question, there is no development on the property now. There are no homes.

MR. BETZ: Yes.

MR. QUIGLEY: If the Variety Club gets the lights and they're up, the person moving into the house should know the lights are in the backyard before you purchase the property. So it's not that we're hiding something from somebody. Certainly you should look at the property. It's as much to say it's the same as the football field.

MR. DELELLO: Right.

MR. CARFAGNO: It's like buying properties that abut up to the power lines. I mean, nobody is hiding anything here.

MR. DELELLO: It would be an

1
2 existing condition at that point if it came to
3 that. It would just be a neighboring property that
4 happens to have a field with lights on it.

5 MR. CARFAGNO: I also own
6 another property on Hollow Road in Worcester. So
7 I'm a Worcester guy.

8 MR. DELELLO: We appreciate you
9 haven't developed it. We would love for you never
10 to develop. We certainly love our green space.
11 That would be tremendous.

12 To Mr. Betz's point, though,
13 it's not a deed-restricted property. It's an owner
14 choice at this juncture to not do that.

15 MR. CARFAGNO: That is correct.

16 MR. DELELLO: Okay.

17 MR. QUIGLEY: Thank you.

18 MR. DELELLO: Fair enough.

19 MR. BETZ: Thank you.

20 MR. DELELLO: Thank you, Rusty.

21 I appreciate it.

22 Now, I don't want to cut
23 anybody off, but I think we had all the people that
24 felt they needed to speak tonight.

25 Wendy, is that fair?

1
2 MS. MCKENNA: I believe so.
3 Marc, did you have anything
4 else tonight?

5 MR. JONAS: No.

6 MS. MCKENNA: So, at this
7 point, we would need to announce on the record that
8 we will be continuing the proceedings this evening
9 to the next --

10 MR. DELELLO: We will just make
11 sure we say the date correctly into all --

12 MS. MCKENNA: Okay. So it's
13 February 21st. The proceedings will be continued
14 to February 21st. The regular meeting will
15 commence at 7:00 p.m., and the conditional use
16 hearing will begin sometime thereafter following
17 the public business meeting.

18 Mr. Jonas, are you in agreement
19 with the continuance to that date?

20 MR. JONAS: Yes.

21 MS. MCKENNA: Thank you.

22 With that, we're adjourned for
23 this evening.

24 Everybody here this evening has
25 notice. It has been announced.

1
2 Sean, I would ask that you also
3 post the information on the website regarding the
4 continuance. There will not be any notices mailed
5 of the continuance.

6 MR. DELELLO: And there is no
7 additional advertising requirement on the
8 continuance as well.

9 MS. MCKENNA: There is not.

10 MR. DELELLO: Correct?

11 MS. MCKENNA: There is not.

12 That is correct.

13 MR. DELELLO: Thank you.

14 MS. MCKENNA: So the hearing is
15 closed, and we can go back into our regular
16 meeting.

17 (At 8:50 p.m., the proceedings
18 were adjourned until February 21, 2024, at 7:00
19 p.m.)

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C E R T I F I C A T E

I hereby certify that the proceedings and evidence are contained fully and accurately in the notes taken by me in the above cause and that this is a correct transcript of the same.

MARK MANJARDI
Official Court Reporter

- - -

<p>BY MR. ANDORN: [1] 63/25</p> <p>BY MR. JONAS: [1] 12/20</p> <p>MR. ANDORN: [9] 60/16 61/10 62/25 63/5 63/18 66/7 67/20 67/23 78/25</p> <p>MR. BETZ: [20] 33/4 33/7 33/10 33/19 35/14 35/20 36/8 36/14 38/14 75/10 89/18 89/23 90/4 90/14 90/23 91/14 91/20 91/23 92/12 93/18</p> <p>MR. CARFAGNO: [17] 86/15 88/13 88/22 89/10 89/14 89/22 90/2 90/12 90/18 91/9 91/17 91/21 92/3 92/6 92/21 93/4 93/14</p> <p>MR. CIABATTONI: [3] 84/15 86/4 86/10</p> <p>MR. DELELLO: [52] 3/25 12/3 12/6 26/19 30/7 30/14 30/22 31/22 32/23 36/5 37/8 39/12 49/5 49/17 51/25 52/9 52/13 53/4 53/19 55/10 55/13 55/16 58/10 59/20 70/19 73/9 73/24 75/14 76/7 77/18 78/11 78/23 80/10 80/15 82/18 84/9 84/12 85/24 86/8 86/11 86/13 88/21 92/20 92/24 93/7 93/15 93/17 93/19 94/9 95/5 95/9 95/12</p> <p>MR. HALBOM: [2] 76/2 77/5</p> <p>MR. HYNES: [5] 49/20 50/6 51/24 52/18 55/14</p> <p>MR. JONAS: [26] 9/14 10/23 11/11 12/5 12/8 26/12 36/2 37/15 38/15 50/10 50/13 53/2 53/16 54/7 54/11 59/7 63/9 70/3 70/17 70/20 73/5 73/11 76/13 76/17 94/4 94/19</p> <p>MR. QUIGLEY: [56] 39/14 39/20 40/18 41/5 41/16 41/24 42/4 42/8 43/17 44/5 44/9 45/14 46/6 46/14 46/20 47/7 47/15 47/25 48/15 48/19 48/22 48/25 49/4 49/13 53/12 55/17 55/24 57/8 58/4 58/12 58/20 59/6 59/19 65/23 67/15 67/21 69/24 70/5 73/3 73/7 76/9 78/22 80/4 80/11 85/25 86/6 86/12 88/5 89/7 89/12 89/16 91/25 92/4 92/7 92/13 93/16</p> <p>MS. McKENNA: [41] 4/8 9/11 11/9 26/16 49/9 49/15 49/18 49/25 50/11 51/4 52/7 52/11 52/23</p>	<p>57/12 58/5 58/15 59/3 59/25 60/12 61/7 61/12 63/3 63/6 63/10 67/24 70/4 76/10 76/15 76/19 77/6 78/8 78/16 79/3 79/9 93/25 94/5 94/11 94/20 95/8 95/10 95/13 MS. McSHANE: [1] 80/21</p> <p>MS. SOLOMON: [2] 82/22 84/10</p> <p>THE WITNESS: [41] 27/20 30/13 30/21 30/24 32/13 33/6 33/9 33/18 34/23 35/19 36/3 36/10 38/17 39/19 39/23 41/3 41/9 41/18 42/2 42/5 42/11 43/24 44/8 45/2 45/19 46/13 46/15 46/23 47/10 47/19 48/7 48/18 48/20 48/24 49/3 52/21 54/9 54/13 55/12 55/22 56/11</p> <hr/> <p>\$</p> <p>\$150,000 [1] 28/23</p> <hr/> <p>'</p> <p>'19 [1] 27/14</p> <p>'21 [2] 24/7 27/14</p> <p>'22 [3] 24/7 24/9 27/14</p> <p>'50s [3] 16/10 16/10 29/16</p> <hr/> <p>1</p> <p>10 [2] 8/25 9/9</p> <p>1031 [1] 1/9</p> <p>10:00 p.m [1] 22/8</p> <p>10th [2] 8/8 8/10</p> <p>13th [1] 26/5</p> <p>1440 [1] 82/25</p> <p>14th [3] 8/19 71/12 72/3</p> <p>1543 [2] 92/7 92/8</p> <p>1591 [2] 49/21 57/25</p> <p>16 [6] 10/21 11/2 11/13 25/22 26/4 26/8</p> <p>1607 [1] 63/3</p> <p>16th [1] 9/3</p> <p>17 [1] 1/10</p> <p>1845 [1] 92/3</p> <p>1898 [2] 73/2 73/4</p> <p>1949 [1] 14/25</p> <hr/> <p>2</p> <p>2000 [1] 84/20</p> <p>2011 [1] 81/8</p> <p>2013 [1] 80/11</p> <p>2019 [3] 13/3 26/24 35/3</p> <p>2022 [2] 24/3 24/11</p> <p>2023 [5] 8/3 8/4 8/19 8/23 25/12</p> <p>2024 [6] 1/10 8/8 8/10 9/3 26/6 95/18</p> <p>20th [2] 8/3 68/12</p> <p>21 [2] 42/16 95/18</p> <p>21st [4] 77/4 77/6 94/13 94/14</p> <p>22nd [1] 77/6</p>	<p>27th [2] 8/4 68/13</p> <p>28th [1] 25/12</p> <p>2950 [1] 4/15</p> <p>2961 [1] 84/21</p> <p>2976 [1] 80/23</p> <hr/> <p>3</p> <p>3,000-square-foot [1] 29/14</p> <p>363 [1] 35/8</p> <hr/> <p>4</p> <p>48 [1] 24/13</p> <p>4th [1] 24/22</p> <hr/> <p>5</p> <p>5 percent [1] 49/4</p> <p>5,000 [1] 14/19</p> <p>5-0 [1] 24/22</p> <p>50 [4] 40/2 40/12 41/11 41/16</p> <p>50/50 [4] 40/2 40/12 41/11 41/16</p> <p>500 feet [8] 5/24 8/12 55/22 56/3 56/9 57/12 60/23 68/15</p> <p>500-foot [1] 57/19</p> <p>55 acres [1] 90/2</p> <p>55-acre [1] 87/4</p> <p>57 [1] 87/4</p> <p>5th [1] 8/23</p> <hr/> <p>7</p> <p>70 [1] 34/2</p> <p>77 acres [1] 34/21</p> <p>77-acre [4] 13/8 13/17 33/14 33/24</p> <p>7:00 [1] 95/18</p> <p>7:00 p.m [1] 94/15</p> <p>7:20 [1] 1/10</p> <hr/> <p>8</p> <p>80 [1] 44/18</p> <p>88 [1] 29/6</p> <p>88-year-old [1] 13/10</p> <p>8:30 [2] 11/22 75/13</p> <p>8:50 [1] 95/17</p> <hr/> <p>9</p> <p>90 feet [1] 44/18</p> <p>96 [1] 24/13</p> <p>9:00 [4] 7/5 11/19 41/2 76/22</p> <p>9:00 p.m [1] 22/7</p> <hr/> <p>A</p> <p>A-1 [2] 10/21 11/2</p> <p>A-16 [3] 10/21 11/2 11/13</p> <p>A-2 [1] 11/13</p> <p>A-N-D-O-R-N [2] 60/18 63/3</p> <p>A-N-N [1] 82/24</p> <p>ability [4] 5/13 6/5 51/8 64/25</p> <p>able [16] 5/7 5/9 5/18 14/9 28/25 29/19 30/3 39/8 43/14 46/12 51/19 60/15 63/23 69/22 76/21</p>	<p>78/15</p> <p>about [52] 14/22 16/7 16/8 17/22 18/12 18/14 18/16 23/10 23/17 24/24 27/4 27/11 31/25 36/7 36/8 36/23 37/13 37/25 39/2 40/9 41/23 43/22 44/14 46/2 46/18 48/14 48/15 49/3 50/20 52/5 53/11 54/10 55/4 56/20 57/7 70/12 70/22 72/11 72/13 73/3 73/21 73/23 74/15 81/2 82/16 85/12 85/14 85/16 86/23 87/14 89/12 90/14</p> <p>above [5] 44/2 71/17 71/24 72/18 96/6</p> <p>absolutely [2] 46/24 87/13</p> <p>abut [1] 92/23</p> <p>abuts [1] 89/3</p> <p>abutting [1] 10/16</p> <p>academic [3] 39/25 39/25 41/13</p> <p>accept [1] 28/7</p> <p>accessible [3] 30/2 30/3 43/13</p> <p>accommodate [4] 45/7 47/13 74/24 77/17</p> <p>accord [1] 58/20</p> <p>accordance [1] 57/17</p> <p>accurately [1] 96/6</p> <p>achieve [1] 29/20</p> <p>acre [5] 13/8 13/17 33/14 33/24 87/4</p> <p>acres [3] 16/3 34/21 90/2</p> <p>across [2] 56/10 83/2</p> <p>actively [1] 23/9</p> <p>activity [1] 22/15</p> <p>actual [2] 64/19 65/2</p> <p>actually [9] 4/10 6/6 30/16 38/19 38/20 43/3 47/25 48/3 50/4</p> <p>add [2] 27/5 38/18</p> <p>addition [2] 21/3 50/25</p> <p>additional [7] 20/19 59/6 69/5 75/2 75/7 75/14 95/7</p> <p>address [9] 11/25 22/4 25/16 49/20 49/22 62/25 79/22 92/3 92/6</p> <p>addressed [2] 11/14 22/2</p> <p>adjacent [1] 86/19</p> <p>adjourned [2] 94/22 95/18</p> <p>adjournment [1] 77/24</p> <p>admitted [2] 5/15 51/7</p> <p>admonish [1] 61/6</p> <p>adult [3] 15/10 40/8 41/21</p> <p>adults [4] 13/11 13/13 17/8 41/22</p> <p>advanced [1] 72/12</p> <p>advantages [1] 44/7</p> <p>advertised [4] 8/2 57/3 68/8 68/12</p> <p>advertising [1] 95/7</p> <p>advised [1] 51/3</p>	<p>advocate [1] 83/4</p> <p>aerial [3] 3/9 15/13 21/17</p> <p>affected [5] 5/22 20/9 34/14 36/25 87/16</p> <p>affidavit [6] 2/15 2/16 2/18 7/25 8/5 8/14</p> <p>affirming [1] 8/7</p> <p>after [9] 15/4 16/21 17/5 28/6 36/19 40/5 41/14 51/13 77/12</p> <p>after-school [3] 17/5 28/6 40/5</p> <p>again [37] 6/13 11/13 16/4 31/21 32/20 33/20 34/12 34/20 35/19 36/17 36/22 39/6 40/19 40/20 47/24 48/10 50/12 51/11 54/2 55/3 57/4 57/9 58/9 58/14 59/16 60/2 60/5 62/7 62/9 62/19 66/11 68/2 69/20 73/16 75/17 80/19 92/2</p> <p>against [2] 89/3 90/22</p> <p>age [5] 42/13 42/16 42/24 72/12 74/22</p> <p>agency [1] 29/2</p> <p>aging [2] 27/24 27/25</p> <p>ago [8] 46/4 66/2 66/3 66/19 67/14 69/4 70/8 88/24</p> <p>agree [1] 91/21</p> <p>agreed [1] 74/2</p> <p>agreeing [1] 7/21</p> <p>agreement [2] 23/3 94/18</p> <p>agriculture [2] 28/15 31/8</p> <p>ahead [2] 25/22 50/13</p> <p>aid [1] 19/9</p> <p>aligned [1] 35/10</p> <p>all [30] 13/16 17/5 17/10 22/6 24/8 26/13 28/9 32/25 34/10 37/4 39/18 44/5 46/8 51/14 57/3 57/18 59/18 64/5 65/25 74/16 74/23 77/12 82/15 85/8 89/4 89/6 90/8 91/25 93/23 94/11</p> <p>all-day [1] 17/5</p> <p>Allan [1] 31/10</p> <p>allergens [1] 20/7</p> <p>allergies [1] 20/9</p> <p>allergy [1] 20/6</p> <p>allow [8] 10/14 10/17 11/24 17/23 22/20 30/19 59/25 72/9</p> <p>allowed [5] 52/3 53/22 61/7 67/14 71/6</p> <p>allowing [1] 52/16</p> <p>along [3] 9/19 27/9 75/15</p> <p>already [5] 16/24 22/17 51/3 54/20 77/8</p> <p>also [30] 1/21 5/9 14/13 17/12 17/16 17/18 17/21 18/5 21/4 35/10 41/12 44/3 45/6 50/16 52/14</p>
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<p>A</p> <p>also... [15] 56/23 58/19 60/21 75/16 75/17 77/20 78/6 81/14 83/8 83/13 83/24 84/5 87/20 93/5 95/2</p> <p>alternatives [1] 39/9</p> <p>always [5] 34/9 35/17 36/23 58/11 81/20</p> <p>am [19] 7/3 15/22 30/6 36/3 40/18 60/21 60/23 65/9 65/13 67/11 83/22 83/24 84/18 84/23 85/20 86/5 88/3 89/15 90/23</p> <p>amendment [1] 24/8</p> <p>and/or [1] 64/7</p> <p>Andorn [13] 2/7 60/11 60/18 63/2 63/9 63/12 63/16 65/24 68/25 69/19 71/13 72/4 72/10</p> <p>Ann [2] 82/24 84/10</p> <p>announce [1] 94/7</p> <p>announced [1] 94/25</p> <p>annual [5] 13/20 14/8 14/20 17/16 17/20</p> <p>another [8] 7/6 29/6 32/5 41/21 41/23 45/10 59/2 93/6</p> <p>answer [3] 34/18 52/22 65/4</p> <p>answered [1] 75/9</p> <p>answering [4] 15/22 30/6 40/11 40/18</p> <p>answers [2] 55/15 67/4</p> <p>anti [1] 67/8</p> <p>antiquated [2] 70/3 70/7</p> <p>any [38] 6/24 15/10 15/10 16/17 17/25 26/17 27/22 32/6 32/6 32/11 32/15 32/16 33/2 39/14 41/25 49/11 51/12 53/14 54/25 56/16 60/10 61/2 63/8 66/5 66/14 67/2 67/9 67/19 69/8 75/2 75/7 77/2 79/14 84/11 85/17 87/15 90/20 95/4</p> <p>anybody [14] 6/3 6/9 32/15 32/19 32/21 43/9 49/11 54/25 55/6 60/20 63/13 78/20 91/4 93/23</p> <p>anymore [3] 40/14 70/10 70/17</p> <p>anyone [13] 5/4 6/23 49/17 60/9 61/19 61/23 62/7 62/21 72/19 72/21 79/13 79/25 85/5</p> <p>anything [5] 48/10 66/13 91/5 92/24 94/3</p> <p>Anyway [1] 36/10</p> <p>apologize [4] 61/22 62/14 62/19 64/10</p> <p>apparently [1] 67/14</p> <p>appeal [2] 5/9 5/12</p> <p>appear [1] 21/16</p> <p>appearance [1] 20/3</p> <p>APPEARED [1] 1/16</p> <p>appears [4] 6/12 58/7 62/16 63/15</p>	<p>applicant [13] 1/20 4/15 4/25 4/25 6/14 7/19 12/24 71/15 71/25 72/7 72/17 72/22 73/13</p> <p>APPLICANT'S [7] 2/3 3/5 6/4 6/18 7/15 10/21 12/14</p> <p>application [34] 2/12 4/3 4/14 4/19 5/5 5/8 5/17 5/23 6/11 7/13 7/15 8/21 8/24 9/4 9/24 10/3 10/18 12/2 51/13 62/23 64/18 68/6 68/16 68/23 70/23 71/8 71/9 73/15 73/23 74/19 76/25 78/11 79/14 79/17</p> <p>applications [2] 56/2 71/4</p> <p>appointments [1] 20/20</p> <p>appreciate [9] 74/4 75/17 82/20 84/13 90/7 90/20 91/8 93/8 93/21</p> <p>appropriate [8] 6/6 11/11 32/18 49/9 52/7 52/20 74/9 78/18</p> <p>appropriately [1] 74/18</p> <p>approval [2] 4/16 24/7</p> <p>approve [4] 36/21 36/21 85/23 88/4</p> <p>approximately [2] 24/2 24/21</p> <p>architects [2] 35/2 35/5</p> <p>are [86] 4/11 4/12 5/21 6/12 6/16 7/3 7/10 9/5 12/24 13/4 14/8 14/11 14/12 14/14 14/14 14/15 15/20 16/8 17/13 18/2 18/12 19/6 19/9 20/8 20/18 20/21 21/4 21/7 21/10 23/5 26/13 28/19 30/16 31/15 31/20 33/22 34/14 35/19 36/12 36/22 38/6 39/2 39/22 41/8 41/13 41/25 43/9 43/12 43/15 43/22 44/4 44/18 44/18 45/7 45/9 45/17 45/18 46/8 46/11 46/22 49/10 50/6 57/2 59/5 62/11 63/12 63/15 74/7 74/18 76/12 76/16 77/15 83/23 86/3 86/3 86/19 88/10 88/14 90/7 90/8 90/21 90/25 92/12 92/16 94/18 96/5</p> <p>area [3] 17/8 33/21 46/9</p> <p>areas [1] 45/18</p> <p>arising [1] 51/23</p> <p>around [8] 28/24 33/22 35/23 43/14 46/10 47/3 65/22 85/9</p> <p>arrive [1] 16/19</p> <p>art [1] 91/16</p> <p>artificial [5] 19/8 19/11 19/22 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<p>use [32] 1/6 2/12 4/3 4/13 4/16 4/19 7/13 7/21 7/24 9/22 10/9 11/9 17/25 18/10 20/16 22/18 29/15 39/10 45/11 45/19 45/23 46/13 46/23 54/16 64/18 68/6 71/9 71/14 73/15 77/17 77/21 94/15</p> <p>used [6] 22/21 29/17 40/25 47/2 70/8 82/11</p> <p>users [2] 19/9 19/9</p>	<p>uses [3] 16/25 53/21 71/3</p> <p>using [3] 45/16 45/18 69/19</p> <p>usually [2] 57/12 59/3</p> <p>utilize [1] 84/5</p> <p>V</p> <p>Valley [14] 1/6 1/9 7/14 9/19 15/20 49/22 54/19 55/6 55/20 56/9 57/25 60/21 63/3 86/6</p> <p>valuable [1] 81/18</p> <p>valued [1] 67/10</p> <p>Variety [52] 1/6 3/8 4/3 4/14 7/13 9/18 11/8 11/16 12/25 13/2 13/9 13/10 14/6 14/23 15/2 15/17 15/19 16/25 17/23 18/11 22/18 23/7 23/9 24/12 25/23 26/12 27/7 28/22 32/16 45/17 57/19 58/18 66/12 66/24 67/6 71/21 81/2 81/6 81/8 81/19 82/17 83/6 83/22 84/3 84/22 84/23 84/24 86/19 87/21 88/12 89/3 92/14</p> <p>Variety's [2] 59/11 83/11</p> <p>VDire [1] 2/4</p> <p>vegetables [1] 14/18</p> <p>versus [3] 25/16 41/6 47/14</p> <p>very [31] 9/23 10/14 11/3 12/9 20/21 23/5 24/12 29/12 29/12 37/18 46/2 46/2 46/8 47/20 47/21 50/17 50/20 59/18 63/20 67/6 67/7 67/8 70/9 73/12 74/14 75/11 77/12 81/19 82/17 84/9 89/18</p> <p>via [1] 25/3</p> <p>Vice [1] 1/14</p> <p>view [4] 3/21 21/17 28/13 56/16</p> <p>Village [1] 1/10</p> <p>visualize [1] 48/3</p> <p>Vitae [2] 3/14 3/17</p> <p>vocational [9] 13/14 15/8 17/7 17/11 28/14 40/3 43/2 81/14 83/9</p> <p>volunteered [2] 81/11 81/18</p> <p>volunteers [4] 17/19 31/11 44/4 46/20</p> <p>vote [3] 66/12 83/4 84/7</p> <p>vouch [1] 86/25</p> <p>vulnerable [1] 31/18</p> <p>W</p> <p>waiting [1] 20/21</p> <p>waived [1] 7/20</p> <p>Waiver [1] 2/13</p> <p>Wales [1] 82/25</p> <p>walk [1] 19/17</p> <p>walking [4] 19/18 43/12 43/15 47/12</p>
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<p>W</p> <p>want [38] 11/25 23/22 28/4 31/16 39/4 39/5 45/5 46/4 47/13 48/13 50/20 51/12 52/14 53/14 54/6 58/14 58/21 59/22 59/24 63/23 68/3 71/9 72/23 74/7 74/22 74/22 74/24 75/8 75/17 75/23 75/24 77/8 77/17 78/2 78/6 85/17 89/5 93/22</p> <p>wanted [7] 24/17 47/14 49/23 50/17 52/4 73/7 82/22</p> <p>wants [2] 78/6 78/14</p> <p>was [83] 1/8 7/14 8/2 8/7 12/17 14/25 15/2 15/5 24/18 25/15 25/16 25/18 27/3 27/4 27/5 27/14 27/14 27/17 29/4 30/10 30/12 30/16 30/18 30/24 34/4 34/12 37/10 42/15 47/9 47/17 47/20 47/22 48/8 48/12 48/18 49/7 50/19 54/15 56/18 56/19 56/22 57/21 58/3 59/13 59/23 61/3 61/3 61/10 61/20 61/24 63/20 63/24 63/24 63/25 64/7 64/11 64/12 64/15 64/16 64/23 65/6 65/25 66/9 66/10 66/21 67/14 67/18 68/11 68/13 68/14 68/21 69/4 72/16 73/6 81/2 82/3 83/9 85/11 86/14 87/4 87/13 88/20 89/2</p> <p>wash [2] 34/9 91/19</p> <p>wasn't [6] 36/23 53/15 61/17 64/9 66/17 66/18</p> <p>way [17] 5/22 28/18 29/10 34/3 34/10 35/18 37/17 41/16 47/24 55/6 56/5 59/3 60/24 70/12 70/17 82/11 88/18</p> <p>ways [3] 16/25 31/20 90/21</p> <p>we [226]</p> <p>we'll [2] 36/8 82/13</p> <p>we're [43] 4/10 10/12 11/22 13/25 14/9 21/8 28/10 28/20 29/13 29/22 29/24 31/15 31/20 33/25 38/11 40/14 42/25 46/2 51/17 52/16 53/4 54/5 55/4 56/20 57/6 58/22 60/5 62/2 62/3 62/6 62/14 65/10 73/8 74/2 74/3 75/4 76/20 77/20 80/14 84/5 89/5 92/18 94/22</p> <p>we've [4] 14/18 14/19 48/14 53/22</p> <p>website [1] 95/3</p> <p>Wednesday [1] 1/10</p> <p>week [6] 14/22 40/5 40/6 40/9 41/23 66/19</p> <p>weekend [3] 15/9 17/6 40/7</p>	<p>weekends [4] 21/2 40/7 42/4 42/5</p> <p>weeks [3] 41/20 41/24 69/4</p> <p>weigh [1] 71/9</p> <p>welcome [1] 69/12</p> <p>welcomes [1] 17/14</p> <p>well [37] 9/22 11/4 15/9 15/20 16/15 16/16 26/12 29/19 30/13 31/4 31/6 31/15 31/22 35/23 36/13 37/4 37/12 37/21 38/12 45/23 45/25 46/20 46/23 51/5 59/4 59/22 72/18 74/25 75/12 77/22 78/7 78/12 84/4 84/6 87/18 90/19 95/8</p> <p>WENDY [8] 1/17 4/4 4/7 59/21 63/19 74/4 80/5 93/25</p> <p>went [6] 25/14 27/11 30/5 56/4 72/18 87/11</p> <p>were [19] 5/11 24/16 25/2 25/6 27/7 28/5 28/24 29/19 47/18 52/20 53/8 56/15 57/20 57/23 65/2 80/10 82/5 86/24 95/18</p> <p>weren't [1] 56/14</p> <p>west [2] 86/4 86/8</p> <p>Westrum [1] 88/21</p> <p>what [53] 5/6 13/4 13/9 14/5 14/11 14/12 19/22 24/17 25/9 27/11 27/17 30/11 32/7 32/12 32/22 38/9 39/21 40/24 41/4 43/17 44/25 46/18 48/6 49/2 55/4 57/2 57/6 57/7 57/22 59/23 63/20 63/24 64/24 65/23 66/20 66/21 67/4 67/18 68/21 69/20 69/21 71/15 73/3 73/17 75/22 78/18 82/18 85/2 85/20 85/20 89/2 90/20 91/5</p> <p>what's [8] 15/25 39/23 46/16 48/3 52/2 64/22 84/25 92/5</p> <p>whatever [2] 34/17 72/5</p> <p>wheelchair [1] 19/9</p> <p>when [30] 8/20 16/19 19/18 22/14 23/21 28/21 30/10 33/18 35/2 36/20 37/12 41/2 41/7 41/7 43/21 46/17 52/20 53/8 57/10 61/18 64/7 64/12 65/25 66/3 78/10 80/10 83/21 85/10 86/21 90/10</p> <p>where [17] 31/19 33/25 34/7 34/13 35/13 37/17 40/9 43/11 43/12 48/13 56/9 60/15 67/11 74/22 85/2 89/3 89/25</p> <p>whether [1] 62/10</p> <p>which [31] 7/14 10/2 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21/6 30/13 81/21 81/21</p> <p>worked [1] 27/18</p> <p>works [3] 8/6 37/4 59/3</p> <p>worried [1] 85/16</p> <p>worse [1] 19/20</p> <p>would [75] 5/7 5/9 5/13 5/15 5/17 5/24 6/5 6/10 11/6 11/20 20/23 26/4 26/8 26/18 30/19 30/25 32/5 36/18 44/15 44/23 47/9 50/5 51/14 52/6 52/8 52/12 52/13 52/15 54/3 55/2 55/7 56/8 56/16 59/9 59/11 59/14 60/5 60/15 60/19 60/22 61/2 61/5 62/4 62/24 63/14 64/18 65/15 65/17 65/19 65/22 69/2 69/2 69/10 76/3 76/22 77/4 77/12 78/18 79/13 80/3 80/19 82/10 86/7 87/16 87/25 91/3 91/4 91/5 91/6 92/25 93/3 93/9 93/11 94/7 95/2</p> <p>wouldn't [2] 45/12 79/15</p> <p>wrap [1] 76/21</p> <p>wrinkles [1] 80/14</p> <p>wrote [3] 39/16 42/14 81/9</p> <p>Y</p> <p>yeah [6] 31/13 33/5 34/24 48/19 48/19 78/24</p> <p>year [16] 13/10 15/8 18/3 23/15 27/7 27/7 27/9 27/9 39/19 39/22 40/2 40/7 40/15 40/16 41/13 81/8</p> <p>year-round [4] 15/8 39/19 39/22 40/15</p> <p>years [19] 17/9 23/17 27/19 29/6 30/12 30/18 39/3 46/3 46/3 46/4 56/24 65/20 70/8 80/14 82/3 83/12 85/5 88/24 90/18</p> <p>yes [34] 11/10 15/23 18/2 21/12 22/9 22/22 22/22 25/14 26/3 26/7</p>	<p>26/9 30/8 30/14 30/22 30/25 33/19 39/15 39/20 42/4 42/6 44/2 44/9 46/14 46/24 47/7 48/25 49/10 49/17 55/13 56/12 76/18 86/11 92/13 94/20</p> <p>yesterday [1] 66/19</p> <p>you [216]</p> <p>you're [24] 14/21 15/23 24/8 33/11 37/7 38/22 40/13 41/4 44/22 48/6 51/18 51/19 57/2 57/8 59/17 60/7 67/16 69/12 73/5 78/10 90/8 90/20 91/8 91/11</p> <p>you've [8] 16/24 22/17 36/24 38/10 71/5 71/20 71/21 71/23</p> <p>young [3] 13/11 13/13 15/10</p> <p>younger [1] 17/8</p> <p>your [52] 12/22 13/4 14/3 15/12 15/14 17/25 21/13 25/12 25/21 30/6 33/6 33/8 33/14 33/16 37/4 37/9 38/10 40/18 44/21 46/13 47/18 47/23 47/24 48/12 49/20 55/21 62/20 62/24 64/14 64/16 65/4 65/25 67/22 74/10 75/10 75/23 78/12 79/21 80/19 80/20 82/20 84/13 88/8 88/11 89/8 89/21 89/25 90/2 90/10 91/2 92/2 92/5</p> <p>youth [3] 18/5 46/6 81/17</p> <p>Z</p> <p>zero [1] 50/10</p> <p>Zoeller [1] 3/17</p> <p>zoned [1] 87/4</p> <p>zoning [13] 1/22 4/6 4/22 9/24 10/14 30/19 50/18 55/25 56/2 57/11 68/7 71/4 71/8</p> <p>zucchini [1] 23/19</p>
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January 16, 2024

Sean Halbom, Township Manager
Township of Worcester
1721 Valley Forge Road
PO Box 767
Worcester, PA 1940-0767

RE: Conditional Use Application – Lighting Review – Variety Charity Turf Field (Musco Lighting)
Variety – the Children’s Charity of the Delaware Valley
2950 Potshop Road, Norristown - Worcester Township, Montgomery County, PA
Parcel #67-00-028420-00-7
Bowman Project #313950-01-001

Dear Mr. Halbom:

In response to your request, Bowman has completed an independent review of the site lighting plans, with a focus on the sports field lighting at the proposed development to be located at 2950 Potshop Road in Worcester Township, Montgomery County, PA.

The following documents were reviewed in preparation of our comments:

- Variety Charity Turf Field prepared by Musco Lighting last revised 1/9/24 (229037H-Rev 1.pdf).

Based on our review of the document listed above, Bowman offers the following comments for consideration by the Township and action by the applicant.

Zoning Ordinance Section 150-11.C.2.b. notes the following:

Outdoor recreational facilities and uses including sports fields, playgrounds, play courts, swimming pools, tree houses, ropes courses, amphitheaters, and other similar facilities. Outdoor recreational facilities are primarily for the use of special needs camp, school/developmental center students and staff, while also being available for rental and community use. The illumination of any outdoor recreational facility is permitted by conditional use approval of the Board of Supervisors in accordance with §150-215.

With a review focused primarily on the sports field lighting, the plans provided show four athletic field lights with pole heights of 70 feet.

In accordance with Zoning Ordinance Section 150-200, Exterior Lighting, we offer the following comments:

Note: This review focused solely on the sports field lighting as part of the Conditional Use Application.

1. *150-200B(2): Notwithstanding the height limitation set forth in § 150-200A, exterior lighting of athletic fields on the grounds of a public or private high school shall be permitted to exceed 12 feet in*

height above grade when a conditional use is granted by the Township Board of Supervisors. The maximum pole height, the number of poles, the location of poles and the screening of the fixtures shall be approved by the Board of Supervisors to ensure that such lighting complies with the requirements of this section. No light pole heights shall be approved any higher than necessary to achieve safe, appropriate levels of illumination of an entire field for athletic events, without permitting the spillage of illumination off the school property in excess of the limitations set forth below. Notwithstanding anything in this Subsection B(2) to the contrary, no light pole shall be approved which exceeds 85 feet in height.

And;

150-200B(5): *The intensity of illumination projected onto a neighboring residentially zoned property or right-of-way shall not exceed 0.1 horizontal footcandles measured three feet above the ground and 0.5 vertical footcandles measured five feet above the ground (with the meter for vertical measurement aimed at the brightest fixture bank) at the property line or edge of pavement in the case of an abutting right-of-way.*

- **The plan submitted does present computer modeled photometric measurements along the property line for both horizontal and vertical illuminance; however, the plan does not present the whether the horizontal and vertical calculation points are placed 3 feet above the ground for horizontal and 5 feet above the ground aimed at the brightest fixture bank, as required under 150-200B(5). Update plan drawings accordingly and make the computer aided lighting analysis software file available for further review, as necessary by the Township.**
2. 150-200B(4): *Lighting plans and fixtures shall be designed by a certified lighting professional employed by a lighting system manufacturer or lighting engineering firm or lighting consulting firm and shall incorporate the maximum cutoff design which is reasonably possible in order to eliminate preventable light or glare spillover to adjacent properties, abutting rights-of-way, or the sky above the illuminated fields. Glare control and light trespass shall be achieved primarily through the use of such means as cutoff fixtures, shields and baffles, and the appropriate application of fixture mounting height, wattage, aiming angle and placement as approved by the Township or any professional consultants it chooses to employ. Vegetative screens shall not be employed to serve as the primary means for controlling glare. However, vegetative screens may be required as a secondary means for controlling glare as approved or required by the Township in its conditional use decision.*
- **In a previous review letter from CKS to the Township (Dated 12/5/23) – cut sheets of the proposed lighting, including poles, luminaires, and foundations must be included in future submissions. Only cut sheets of the luminaires were provided. Furthermore, arrangement of fixture in each fixture bank shall be included in the plans. A complete submission must be provided for a comprehensive review.**

3. *150-200B(7): Lighting system controls shall be designed to permit the automatic and manual limitation and adjustment of both the times when any lighted field is illuminated and the intensity of the illumination on any field in accordance with this section.*

And,

150-200B(10): All activities or events proposed for a lighted field shall be scheduled so that they shall be expected to end no later than 9:00 p.m. prevailing time Monday through Thursday and no later than 10:00 p.m. prevailing time Friday and Saturday. No use of the lights shall be permitted on Sundays. An additional 1/2 hour of lighting at a reduced intensity shall be permitted after the conclusion of an activity or event to allow for the safe exit of participants and spectators from the premises and the cleanup of the field and surrounding area.

And,

150-200B(12): No field shall be lighted in the early morning for practices or other permitted activities. No field shall be lighted during any time when no activity is taking place on the field or when an activity on that field can be conducted safely in natural lighting.

- **The system controls are currently not specified in the plans. Provide details on the proposed system controls to meet 150-200B(7) and accommodations to prevent prohibited times of use in accordance with 150-200B(10) and 150-200B(12).**
- **In a previous review letter from CKS to the Township (Dated 12/5/23) – The applicant’s consultant should refer to Z.O. Section 150-215 to provide sufficient plans that demonstrate that there will be no adverse effect on neighboring land uses in any way and shall not impose upon its neighbors in any way but rather blend in with them in a harmonious manner. Furthermore, ask that the hours and days of the week that the field is permitted to be lighted by the Township be noted on the plans that will be recorded and also specified within any resolution to that approves the project.**

We trust that this review letter responds to your request. If you or the Township have any questions, or require clarification, please contact me or Casey Moore, P.E., Principal-in-Charge at Bowman.

Sincerely,



John W. Fuller, P.E.
Sr. Project Manager, ITS and Lighting Lead

JWF/CAM

cc: John Evarts, P.E., CKS Township Engineer (via email)
Wendy Feiss McKenna, Esquire, Township Solicitor (via email)
Variety – The Children’s Charity of Delaware (via email)
File

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John W. Fuller, PE

Senior Project Manager, ITS and Lighting Lead

John W. Fuller, PE has transportation engineering and planning experience since 2006. He represents the firm as our lead Electrical/ITS engineer and has extensive knowledge in ITS device and system planning, design, construction, operations, and management. John touts experience in preparation of construction plans, specifications and bid documents, concept design, value engineering and ITS studies. John has worked closely with several municipalities, State DOT's, and Transportation Agencies to facilitate project completion. He is familiar in the installation and maintenance of ITS devices including Ramp Metering, DMS signs, PCMS signs, CCTV, HAR, RWIS, inductive loops, microwave radar, and various wired, wireless and fiber communication systems. Also, as a licensed Electrical P.E. in multiple states, he has successfully designed numerous roadway lighting systems. Additionally, John specializes in roadway lighting design and has successfully completed projects for streetscapes, roundabouts, highways, and tunnels in multiple jurisdictions throughout Pennsylvania, Massachusetts, and Rhode Island.

Education

B.S. Electrical Engineering,
Pennsylvania State University, 2006

Registrations

Professional Engineer: Pennsylvania
(#PE084208), Massachusetts (#51645),
Rhode Island (#PE.0011710), Delaware
(#18820)

Associations

Illuminating Engineers Society (IES),
Member

Intelligent Transportation Society of
Pennsylvania

Mid-Atlantic Section of ITE (MASITE)

Experience

SR 54 Intersection Improvements | *Montour County, PA*

Highway lighting engineer. Responsible for providing alternative analysis and design services for the improvements to the SR 54 intersection in Valley Township, Montour County. SR 54 is a critical regional route providing access to Interstate 80, Danville Borough, and local destinations to the east and west of SR 54. SR 54 is a four-lane divided roadway running in an east/west direction. The purpose of the project was to develop a solution to address safety and operational issues for the SR 54 corridor between the SR 642 intersections at Liberty Valley and Jerseytown Roads. The primary considerations were improving operational safety, reducing intersection conflict points, and maintaining high levels of mobility.

Philmont Ave., Pine Rd. & Tomlinson Rd. Roundabout | *Montgomery County, PA*

Highway lighting engineer. Responsible for the preliminary engineering for this five-leg multi-lane roundabout project. The roundabout replaced the existing six-leg/signalized intersection, including an additional eastbound and westbound through lane on Philmont Avenue (SR 2013). The northern leg of Tomlinson Road was realigned to create a separate T-intersection with Pine Road (SR 2050). As part of the preliminary engineering phase, the team completed an alternatives analysis of five intersection improvement alternatives to address existing deficiencies and accommodate future traffic volumes. The five leg, multi-lane roundabout was ultimately selected by PennDOT as the preferred alternative as it provides optimal capacity and safety, reduces environmental and right-of-way impacts and minimizes impacts to the nearby at-grade rail crossings while continuing to accommodate the current (and future) SEPTA Philmont Station.

John W. Fuller, PE

Senior Project Manager, ITS and Lighting Lead

Municipal Client Lighting Consultation | *Various Locations, PA*

- Lower Providence Township
- Easttown Township
- Malvern Borough
- New Garden Township
- East Coventry Township
- West Brandywine Township

I-78/Krumsville Interchange Project, PennDOT District 5-0 | *Berks County, PA*

As project engineer, led a design team for partial interchange lighting which includes the lighting of acceleration and deceleration ramps and ramp termini at the Krumsville Interchange. Performed electrical design including wire size voltage drop calculations, conduit path design, and photometric analysis (using Visual 2012 CALA software). Also included in this project is the relocation and design plans for one Closed Circuit Television Camera and one Highway Advisory Radio Transmitter.

SR 33/SR 0512 Interchange Design/Build, PennDOT District 5-0 | *PA*

Project engineer responsible for leading a design team for intersection and underpass lighting for SR 33/SR 0512 interchange improvement project. This design included the replacement of existing underpass lighting as well as new intersection lighting at the ramp termini.

SR 0078, Section 13M & 12M, Mainline I-78 and Krumsville Interchange Reconstruction Project, PennDOT District 5-0 | *Berks County, PA*

This project is a PennDOT/FHWA project involving reconstruction of an 8.8 mile section of I-78, including the complete replacement of all mainline pavement, reconfiguration of the Krumsville Interchange (Exit 40), widening or replacement of 14 structures, the addition of truck climbing lanes and various safety improvements. ITS and roadway lighting were included in this project. ITS plans were required for the installation of (2) DMS and removal, temporary replacement, and relocation of one (1) CCTV Camera, (1) HAR flashing beacon sign, and (1) HAR Transmitter. Partial interchange lighting design was required for the new interchange.

Marstons Mills Village Center Improvements | *Barnstable, MA*

Senior project engineer analyzed the existing lighting system, designed preliminary lighting plan and final lighting plan, specifications, and estimate for the Marston Mills village center along the Route 149 (Cotuit Road) corridor. The LED lighting plans coordinate with additional improvements along the corridor to provide functional and aesthetic improvements.

MassDOT Commonwealth Avenue Bridge Replacement | *Boston, MA*

The team was responsible for development of the Commonwealth Avenue underpass (Interstate 90) and Commonwealth Avenue and BU Bridge LED street lighting design for the replacement of the Commonwealth Avenue bridge that runs over

John W. Fuller, PE

Senior Project Manager, ITS and Lighting Lead

the Massachusetts Turnpike (Interstate 90). As senior project engineer, John led the lighting and electrical design including wire size voltage drop calculations, conduit path design, photometric analysis (using Visual 2012 CALA software), and electrical schematics for each of these project tasks.

I-95 Resurfacing – Nighttime Detour Plans | Sharon and Walpole, MA

Senior engineer responsible for developing the nighttime lighting plans and lighting calculations for the night construction work that was required under this project. The plans were developed in accordance with the MassDOT standards. Plans were created for each of the unique traffic control configurations, including seven bridges, as well as plans for the moving paving operation.

Nighttime Construction Lighting Plans | MA

Senior engineer responsible for developing the nighttime lighting plans and lighting calculations for the night construction work required for various projects. The plans were developed in accordance with the MassDOT standards. Plan were created for each of the unique traffic control configurations as well as plans for the moving paving operation. Projects with clients included:

- Route 28, Bourne (P.J. Keating)
- Route 88, Westport (P.J. Keating)
- I-95, North Attleborough (P.J. Keating)
- I-495, Franklin/Mansfield (P.J. Keating)
- Bridge Joint Repairs, Various Locations (Sealcoating, Inc.)
- I-190, Worcester to West Boylston (SPS New England, Inc.)
- I-95 Sharon/Walpole (J.H. Lynch & Sons, Inc.)
- I-195 New Bedford/Fairhaven (J.H. Lynch & Sons, Inc.)

IQHQ Fenway Center Phase 2 | Boston MA

Lead lighting and ITS engineer responsible for the tunnel lighting (~800 fixtures), ITS including six CCTV & Fiber Communication, conduit system design, and oversight of the lighting and conduit support structure designs. This highly complex and high-profile project is an air rights structure that was constructed over an eight lane section of Interstate 90 (MassPike) passing through Boston. The systems that are being designed under John's purview will be, after acceptance, owned by MassDOT, therefore MassDOT review and approval is required under this \$500M construction project.

Daggett Drive Improvement Project | West Springfield, MA

The team provided engineering design, traffic analysis and construction administration services for roadway improvements to Daggett Drive and Route 5/ Daggett Drive intersection improvements. Lead lighting and electrical designer responsible for construction consultation.

John W. Fuller, PE

Senior Project Manager, ITS and Lighting Lead

Ferry Street Improvements | *Easthampton, MA*

Roadway infrastructure and Complete Streets improvement project located on Ferry Street, Easthampton. Lead lighting and electrical designer responsible for roundabout and street lighting design.

MassDOT, Sumner Tunnel Rehabilitation | *Boston MA*

Lead lighting engineer & task manager: Responsible for the tunnel lighting design and control for normal and stand-by power lighting circuits and exterior lighting replacement design for the roadway approach to the tunnel. The Sumner Tunnel connects East Boston with Downtown and is approximately one mile in length. Additionally, Mr. Fuller was involved in the electrical design and design of the conduit system extending through the tunnel. This project is currently under construction and scheduled to be completed in 2024.

FDOT District Six Districtwide Traffic Operations Studies Consultant | *Miami-Dade and Monroe Counties, FL*

Senior engineer responsible for electrical and lighting design for the development of alternatives on this task order-based contract, in the preparation of various types of traffic studies and assessments.

SR-5 (Ridgewood Terrace to Heritage Boulevard) | *Martin County, FL*

Senior engineer responsible for electrical and lighting analysis/design, for the preparation of design plans, for this FDOT District Four safety improvement project. Included coordination with FPL to determine power sources. Project scope included continuous street lighting along both sides of a one-mile segment of SR-5, between SE Ridgeway Terrace and SE Heritage Boulevard Engineering. Lighting analysis was completed to determine light pole spacing. Voltage drop calculations were also completed. Lighting plans were prepared. Design plan for an advance street warning sign with flashing beacon was also prepared.

Design Services for CR-714/Indian Street | *Martin County, FL*

Senior engineer responsible for electrical and lighting design for this project, in which the team provided FDOT District Four with design support services to compliment the design efforts performed by the Department's in-house Design Section. Design services were performed for CR-714/Indian Street, from West of Florida's Turnpike to East of Willoughby Boulevard. The end result of the project was a set of plan documents which allowed for the construction of the roadway approaches to the Indian Street Bridge that was constructed under a previous phase Design-Build contract.

Cumberland Drive Roadway Modification | *West Palm Beach, FL*

Senior engineer responsible for the lighting design associated with the redesign of Cumberland Drive between Military Trail and Village Boulevard to accommodate one-way, separated bicycle lanes. This was a Complete Streets project that included the

John W. Fuller, PE

Senior Project Manager, ITS and Lighting Lead

construction of a roundabout.

NW 31st Avenue Roadway Reconstruction | *Lauderdale Lakes, FL*

Senior engineer responsible for electrical and lighting design on this project. The City of Lauderdale Lakes initiated the project to implement Complete Streets, particularly to provide sidewalk along the east side, providing safer pedestrian access to transit stops. The project included evaluation of several alternatives.

Lighting System

Pole/Fixture Summary						
Pole ID	Pole Height	Mtg Height	Fixture Qty	Luminaire Type	Load	Circuit
P1-P16	12'	12'	1	Cree OSQ	0.10 kW	B
R1-R14	12'	12'	1	Cree OSQ	0.10 kW	B
S1-S4	70'	70'	1	TLC-LED-1200	1.17 kW	A
		70'	7	TLC-LED-1500	9.87 kW	A
34			62		47.28 kW	

Circuit Summary			
Circuit	Description	Load	Fixture Qty
A	Soccer	44.16 kW	32
B	Parking	3.12 kW	30

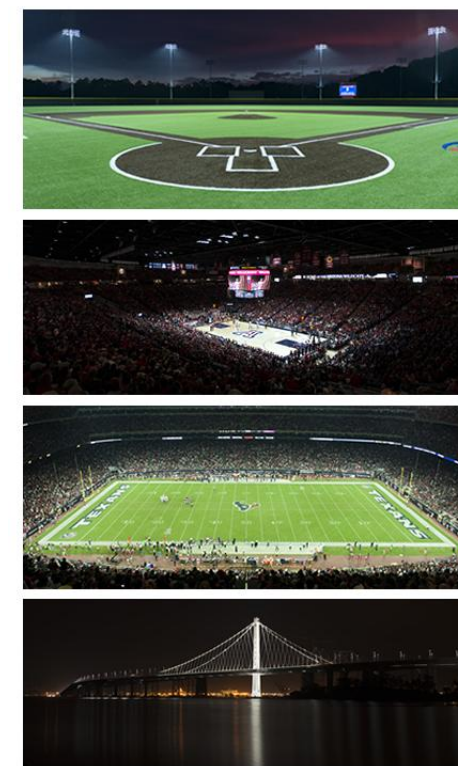
Fixture Type Summary							
Type	Source	Wattage	Lumens	L90	L80	L70	Quantity
Cree OSQ	LED 5700K - 70 CRI	104W	14,229	--	--	--	16
Cree OSQ	LED 5700K - 70 CRI	104W	14,973	--	--	--	14
TLC-LED-1200	LED 5700K - 75 CRI	1170W	150,000	>120,000	>120,000	>120,000	4
TLC-LED-1500	LED 5700K - 75 CRI	1410W	181,000	>120,000	>120,000	>120,000	28

Single Luminaire Amperage Draw Chart							
Driver Specifications (.90 min power factor)	Line Amperage Per Luminaire (max draw)						
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
Single Phase Voltage							
CREE OSQ	-	-	-	-	0.3	-	0.2
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6

Light Level Summary

Calculation Grid Summary								
Grid Name	Calculation Metric	Illumination					Circuits	Fixture Qty
		Ave	Min	Max	Max/Min	Ave/Min		
Parking	Horizontal	2.33	0	13	117.84		B	30
Property Spill - HZ	Horizontal	0	0	0	0.00		A,B	62
Property Spill - VT	Max Vert Illuminance (by Light Bank)	0.06	0	2	1060.77		A,B	62
Roadway	Horizontal	2.24	0	8	22.83		B	30
Soccer	Horizontal Illuminance	51.8	45	64	1.43	1.15	A	32

From Hometown to Professional



SHEET 1 OF 8



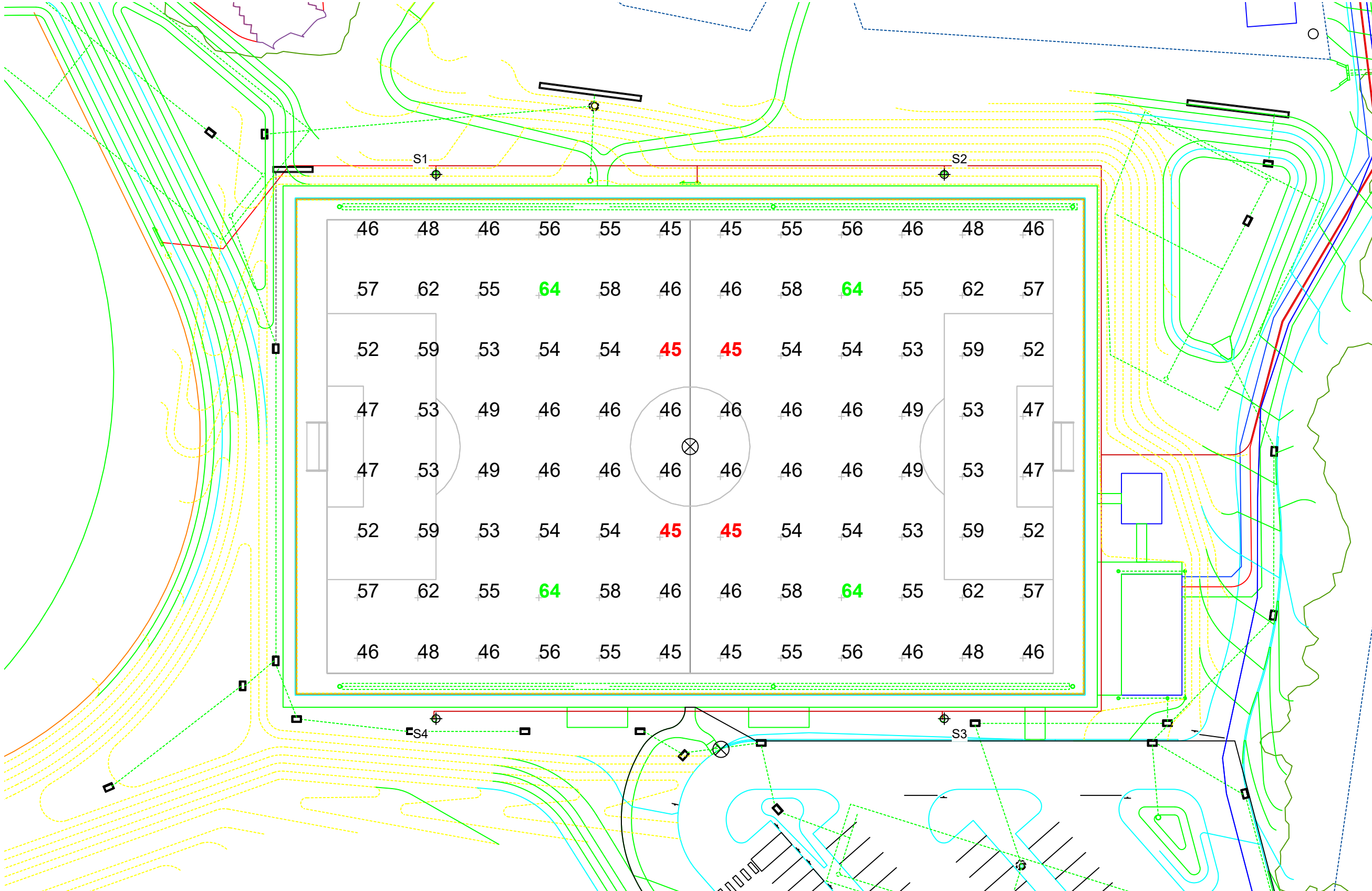
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Equipment List For Areas Shown				Luminaires				
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
4	S1-S4	70'	-	70.0'	TLC-LED-1200	1	1	0
				70.0'	TLC-LED-1500	7	7	0
4				Totals		32	32	0

Grid Summary	
Name	Soccer
Size	360' x 225'
Spacing	30.0' x 30.0'
Height	3.0' above grade

Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Guaranteed Average	50
Scan Average	51.77
Maximum	64
Minimum	45
Avg/Min	1.16
Guaranteed Max/Min	2
Max/Min	1.43
UG (adjacent pts)	1.29
CU	0.78
No. of Points	96
LUMINAIRE INFORMATION	
Applied Circuits	A
No. of Luminaires	32
Total Load	44.16 kW

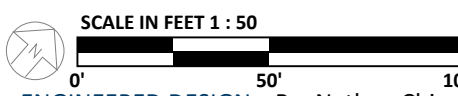


Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



Equipment List For Areas Shown								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
30	Totals					30	30	0

Grid Summary	
Name	Parking
Size	20.0' x 20.0'
Spacing	20.0' x 20.0'
Height	3.0' above grade

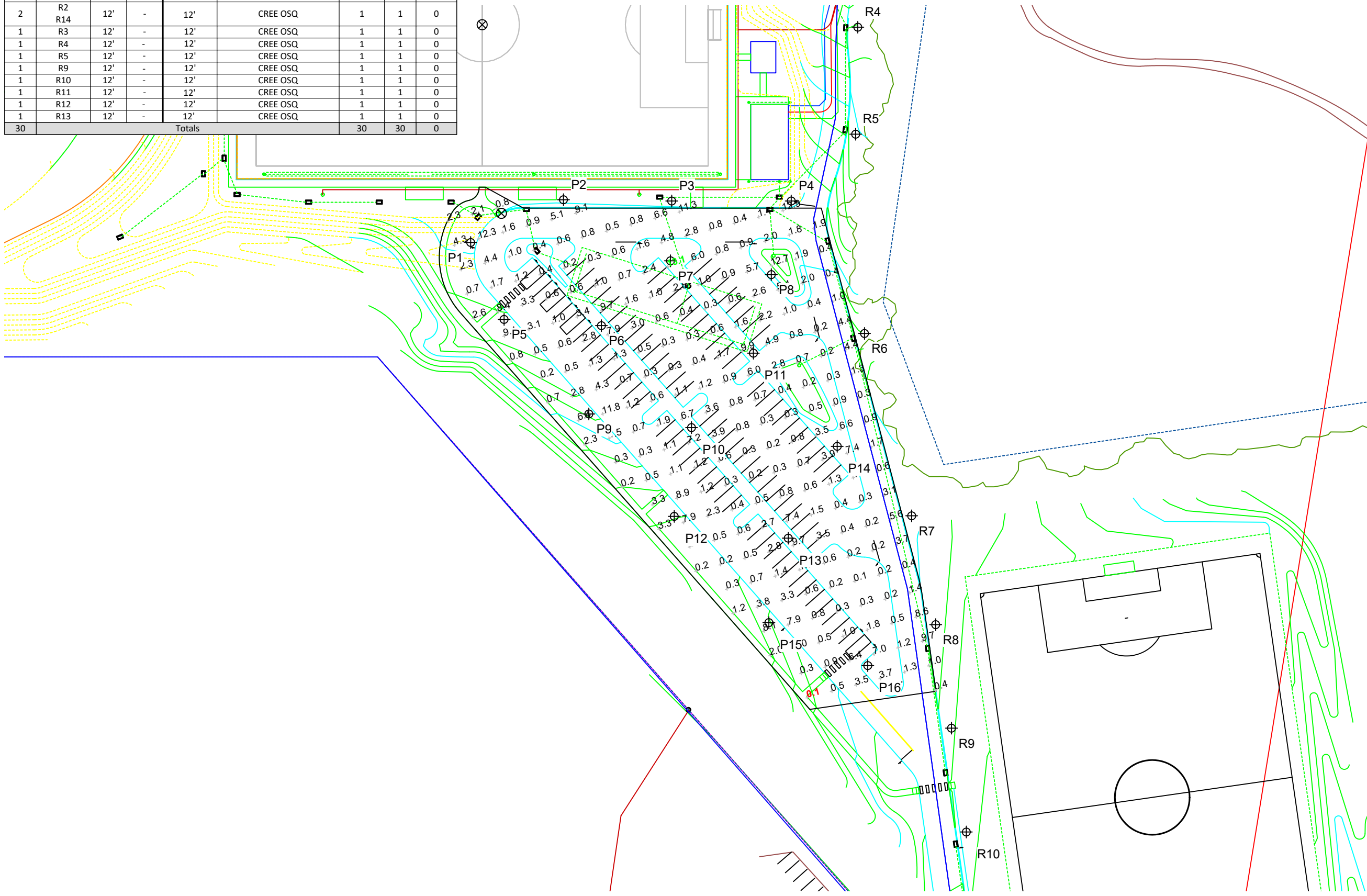
Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDELS	
Scan Average	2.33
Maximum	13
Minimum	0
Avg/Min	21.04
Max/Min	117.84
UG (adjacent pts)	31.92
CU	0.45
No. of Points	229
LUMINAIRE INFORMATION	
Applied Circuits	B
No. of Luminaires	30
Total Load	3.12 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



SCALE IN FEET 1 : 80
0' 80' 160'
ENGINEERED DESIGN By: Nathan Chizek, LC • File #229037E • 13-Nov-23

Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗

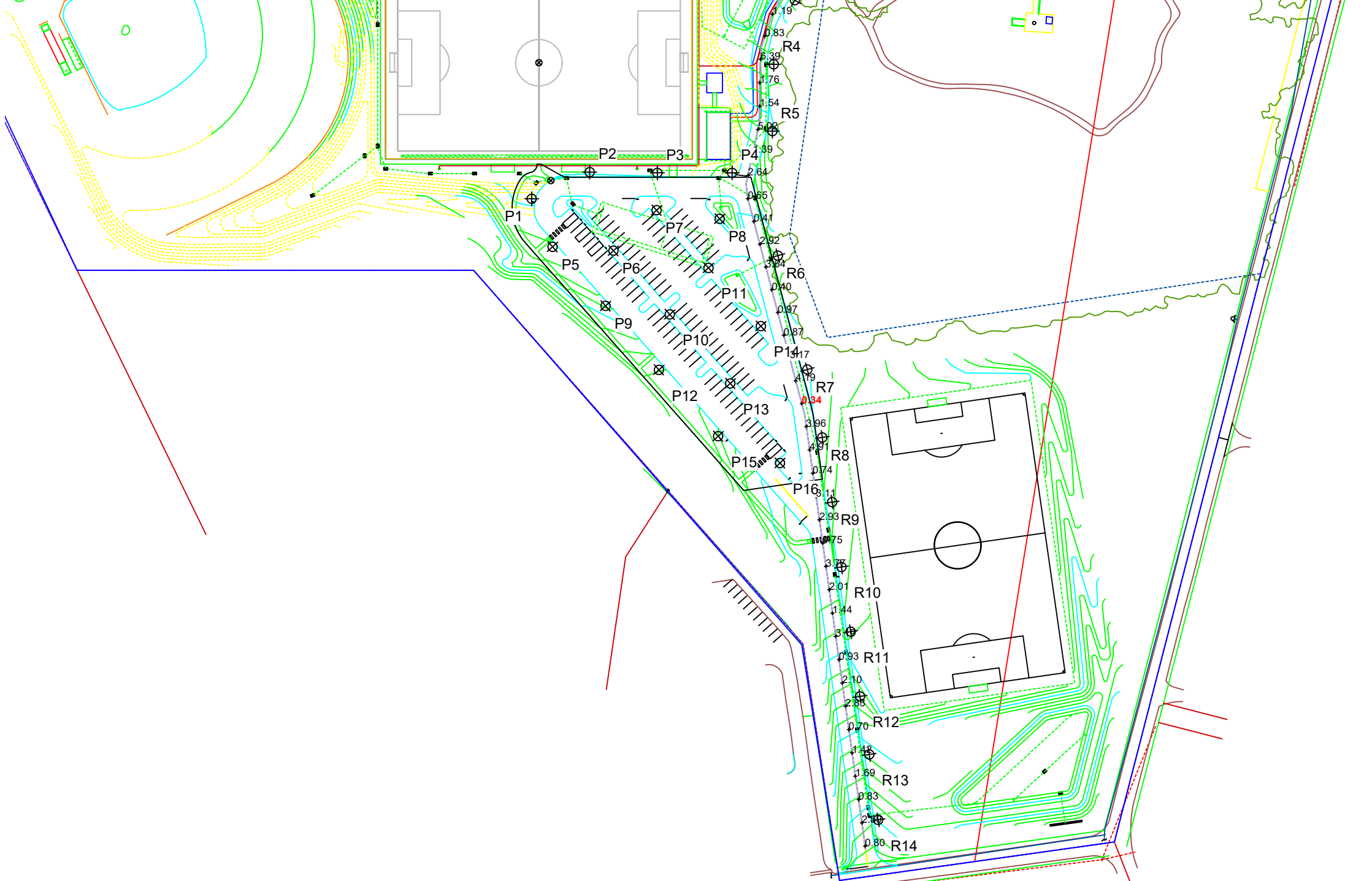
SHEET 3 OF 8



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ILLUMINATION SUMMARY

Equipment List For Areas Shown								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
30	Totals					30	30	0



Grid Summary	
Name	Roadway
Spacing	30.0' x 10.0'
Height	3' above grade

Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Scan Average	2.24
Maximum	8
Minimum	0
Avg/Min	6.61
Max/Min	22.83
UG (adjacent pts)	0.00
CU	0.06
No. of Points	43
LUMINAIRE INFORMATION	
Applied Circuits	B
No. of Luminaires	30
Total Load	3.12 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



Equipment List For Areas Shown							
Pole				Luminaires			
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1
1	R1	12'	-	12'	CREE OSQ	1	1
2	R2 R14	12'	-	12'	CREE OSQ	1	1
1	R3	12'	-	12'	CREE OSQ	1	1
1	R4	12'	-	12'	CREE OSQ	1	1
1	R5	12'	-	12'	CREE OSQ	1	1
1	R9	12'	-	12'	CREE OSQ	1	1
1	R10	12'	-	12'	CREE OSQ	1	1
1	R11	12'	-	12'	CREE OSQ	1	1
1	R12	12'	-	12'	CREE OSQ	1	1
1	R13	12'	-	12'	CREE OSQ	1	1
4	S1-S4	70'	-	70'	TLC-LED-1200	1	1
					TLC-LED-1500	7	7
34				Totals		62	62

Grid Summary	
Name	Property Spill - HZ
Size	360' x 225'
Spacing	30.0' x 10.0'
Height	3' above grade

Illumination Summary	
	MAINTAINED HORIZONTAL FOOTCANDLES
	Entire Grid
Scan Average	0.00
Maximum	0
Minimum	0
Avg/Min	-
Max/Min	-
UG (adjacent pts)	0.00
CU	0.00
No. of Points	161
LUMINAIRE INFORMATION	
Applied Circuits	A,B
No. of Luminaires	62
Total Load	47.28 kW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

NOTES: The values shown on this sheet account for the elevation changes at the property line from field level.

SHEET 5 OF 8



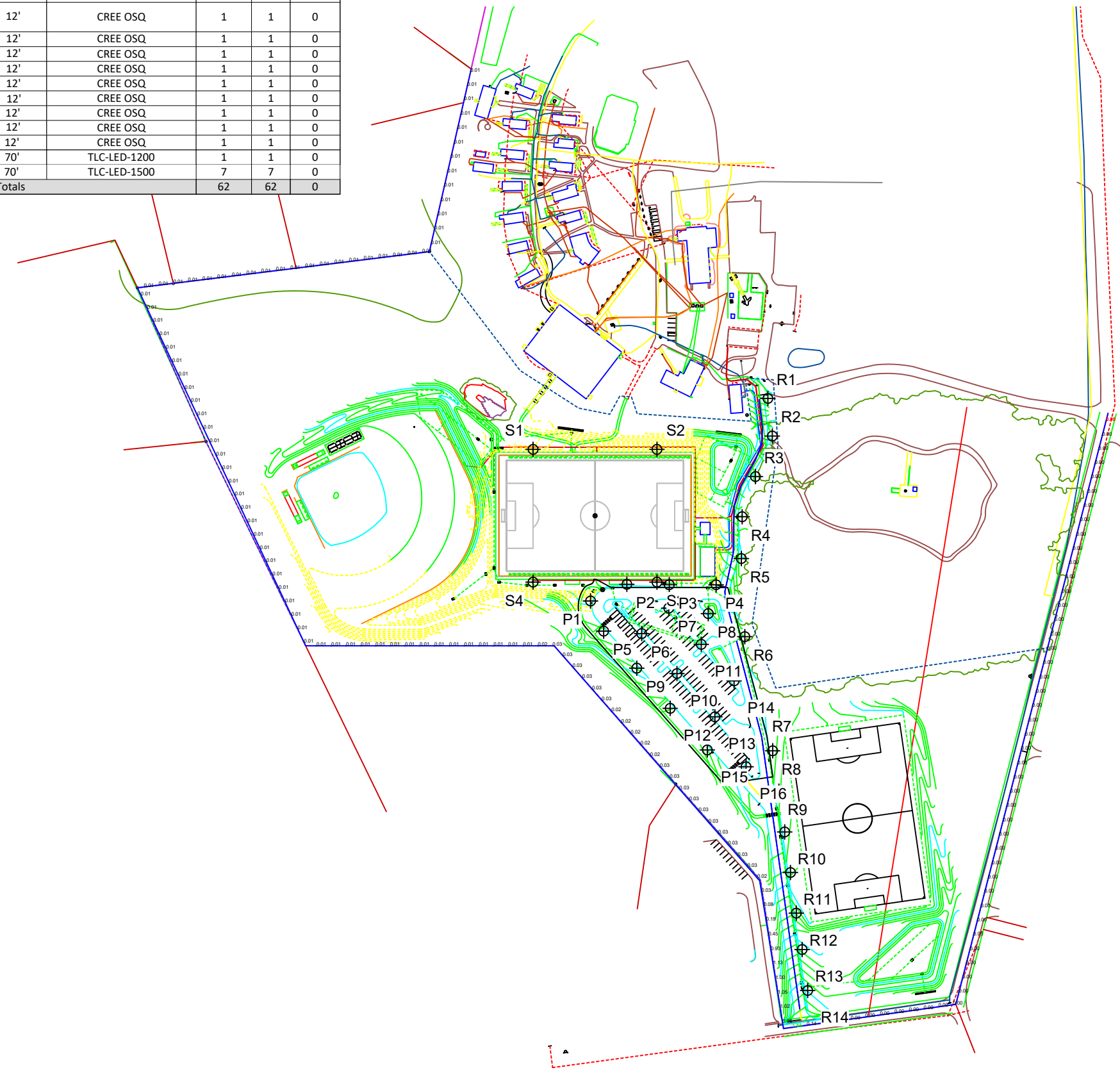
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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗

Equipment List For Areas Shown								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
4	S1-S4	70'	-	70'	TLC-LED-1200	1	1	0
					TLC-LED-1500	7	7	0
34	Totals					62	62	0

Grid Summary	
Name	Property Spill - VT
Size	360' x 225'
Spacing	30.0' x 10.0'
Height	5' above grade

Illumination Summary	
MAINTAINED VERTICAL FOOTCANDLES: 90" TILT	
Scan Average	0.06
Maximum	2
Minimum	0
Avg/Min	40.26
Max/Min	1060.77
UG (adjacent pts)	0.00
CU	0.00
No. of Points	161
LUMINAIRE INFORMATION	
Applied Circuits	A,B
No. of Luminaires	62
Total Load	47.28 kW



Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

NOTES: The values shown on this sheet account for the elevation changes at the property line from field level.

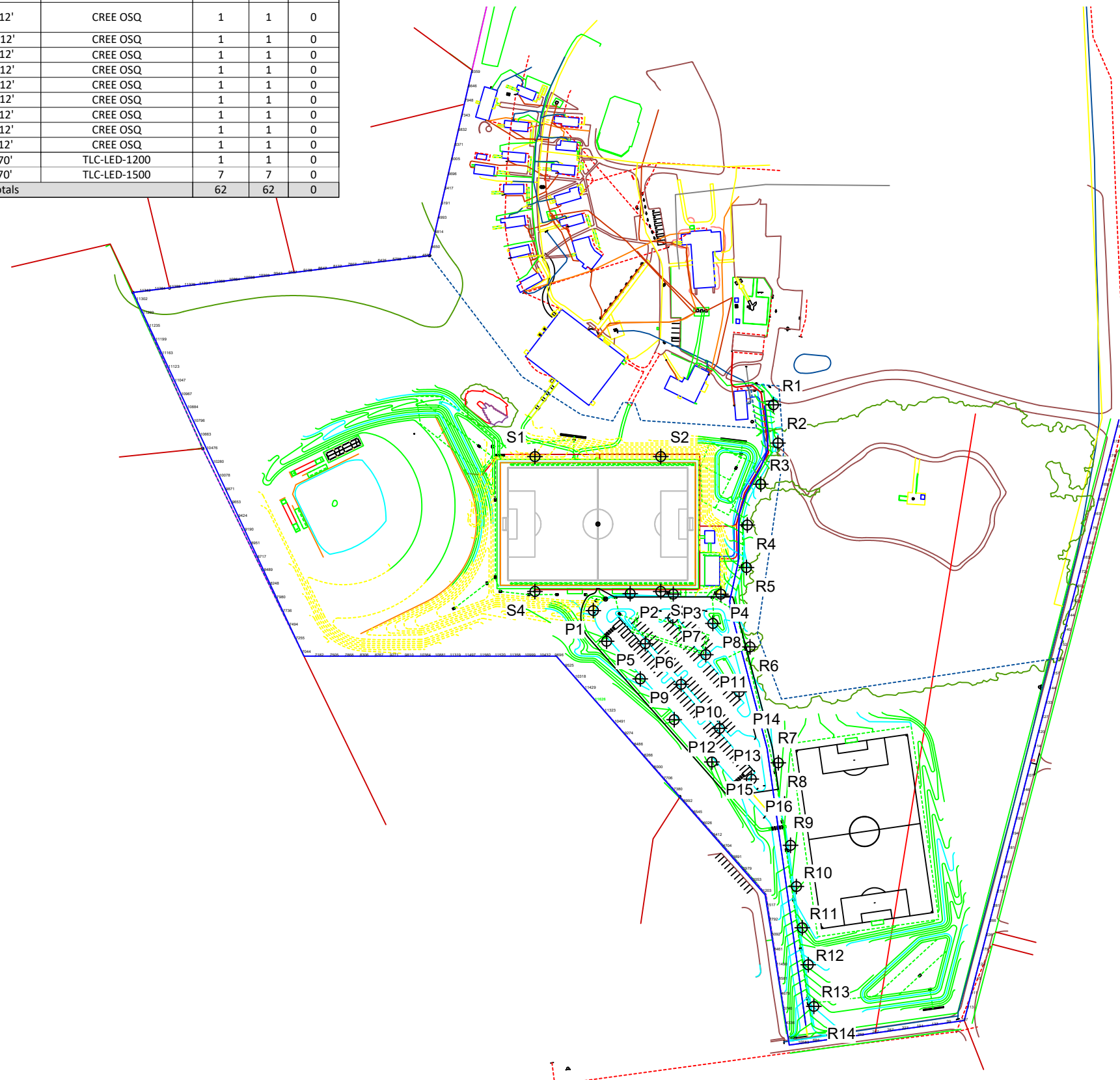
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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗

Equipment List For Areas Shown								
Pole				Luminaires				
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1	1	0
1	R1	12'	-	12'	CREE OSQ	1	1	0
2	R2 R14	12'	-	12'	CREE OSQ	1	1	0
1	R3	12'	-	12'	CREE OSQ	1	1	0
1	R4	12'	-	12'	CREE OSQ	1	1	0
1	R5	12'	-	12'	CREE OSQ	1	1	0
1	R9	12'	-	12'	CREE OSQ	1	1	0
1	R10	12'	-	12'	CREE OSQ	1	1	0
1	R11	12'	-	12'	CREE OSQ	1	1	0
1	R12	12'	-	12'	CREE OSQ	1	1	0
1	R13	12'	-	12'	CREE OSQ	1	1	0
4	S1-S4	70'	-	70'	TLC-LED-1200	1	1	0
					TLC-LED-1500	7	7	0
34	Totals					62	62	0



Grid Summary	
Name	Property Glare
Size	360' x 225'
Spacing	30.0' x 10.0'
Height	5' above grade

Illumination Summary	
MAINTAINED VERTICAL FOOTCANDLES: 90" TILT	
Scan Average	Entire Grid 5755.03
Maximum	11626
Minimum	99
Avg/Min	57.95
Max/Min	117.07
UG (adjacent pts)	0.00
CU	0.00
No. of Points	161
LUMINAIRE INFORMATION	
Applied Circuits	A,B
No. of Luminaires	62
Total Load	47.28 kW

Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP-6-15.

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

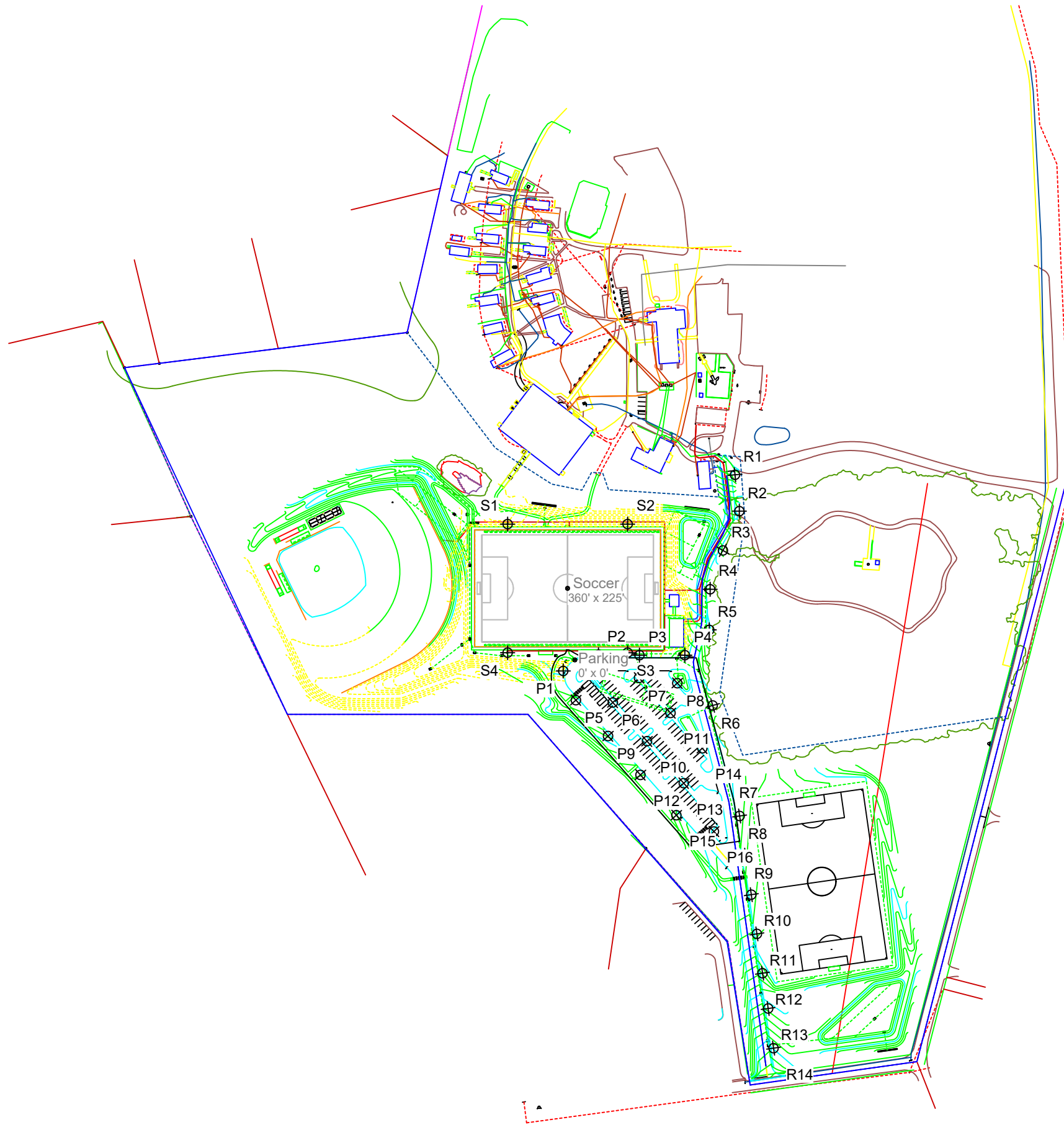
NOTES: The values shown on this sheet account for the elevation changes at the property line from field level.

SHEET 7 OF 8



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Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



Equipment Layout

INCLUDES:
- Parking
- Soccer

Electrical System Requirements: Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

Equipment List For Areas Shown

QTY	Pole			Luminaires		
	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LUMINAIRE TYPE	QTY/POLE
19	P1-P16 R6-R8	12'	-	12'	CREE OSQ	1
1	R1	12'	-	12'	CREE OSQ	1
2	R2 R14	12'	-	12'	CREE OSQ	1
1	R3	12'	-	12'	CREE OSQ	1
1	R4	12'	-	12'	CREE OSQ	1
1	R5	12'	-	12'	CREE OSQ	1
1	R9	12'	-	12'	CREE OSQ	1
1	R10	12'	-	12'	CREE OSQ	1
1	R11	12'	-	12'	CREE OSQ	1
1	R12	12'	-	12'	CREE OSQ	1
1	R13	12'	-	12'	CREE OSQ	1
4	S1-S4	70'	-	70'	TLC-LED-1200	1
				70'	TLC-LED-1500	7
34	Totals					62

Single Luminaire Amperage Draw Chart

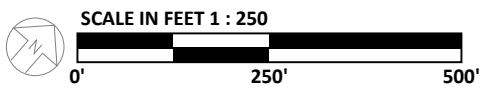
Driver Specifications (.90 min power factor)	Line Amperage Per Luminaire (max draw)						
Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
CREE OSQ	-	-	-	-	0.3	-	0.2
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6

SHEET 8 OF 8



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EQUIPMENT LAYOUT



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



4259 W. Swamp Road
Suite 410
Doylestown, PA 18902

www.cksengineers.com
215.3400600

February 13, 2024
Ref: #7559

(via email)

Township of Worcester
1721 Valley Forge Road
PO Box 767
Worcester, PA 19490-0767

Attention: Sean Halbom, Township Manager

Reference: Waiver of Land Development Review (2nd Review)
Parcel No. 67-00-00670-1 Block 17, Unit 22 and
Parcel No. 67-00-02842-00-7 Block 17, Unit 1
Variety – The Children’s Charity of Delaware Valley

Dear Sean:

We have reviewed the 41-sheet plan set for Variety – The Children’s Charity of Delaware Valley located at 2950 Potshop Road for their request for a waiver of land development which was received by our office on January 31, 2024. The plans are prepared by Apex Design and Engineering Group and are dated November 10, 2023, last revised January 30, 2024. Also submitted is a Post Construction Stormwater Management Report dated November 22, 2023, last revised January 4, 2024. Sheet 1 notes that the intent of the plan set is to depict the location of the proposed athletic facilities on campus. This plan set depicts the proposed location of the synthetic turf multi-purpose field, natural grass baseball field, natural grass soccer field, support building, and associated field amenities. The plan set also includes the proposed paving improvements, walkways, associated grading, and stormwater management improvements. Improvements will be constructed in two phases with Phase 1 including the installation of the multi-purpose field, field lighting, associated grading, a paved pedestrian trail and trail connections, and an underground stormwater management facility. The remaining improvements listed above will be constructed in Phase 2. The site consists of approximately 76 acres (net) within Worcester Township and is bounded by Valley Forge Road, Potshop Road, and North Trooper Road within the AGR – Agricultural Zoning District. The tract is a special needs camp, school/development center which is an allowable use in the AGR district.

The following comments are offered for consideration by Township Officials during their review of the waiver of land development request:

1. No trees or shrubs or other growth shall be planted or maintained which shall interfere with or obstruct vehicular vision at any intersection. (Z.O. Section 150-175)

A note must be added to a plan to be recorded that states, “No vegetation shall be planted or maintained which shall interfere with or obstruct vehicles or pedestrian vision at any intersection.”

2. The ultimate right-of-way width for Potshop Road is 60 feet and the ultimate right-of-way width for North Trooper Road is 80 feet, both being secondary streets. (SALDO 130-16.C.2.b.) A note on Sheet 3 offers the area between the title line and within the ultimate right-of-way to

- Worcester Township. The Township must decide whether it wants to accept the area for dedication.
3. The required street paved width shall be 38 to 40 feet with curb and sidewalk. These requirements have not been addressed on the plans. A waiver from this requirement has been requested. (SALDO 130-16.C.1.a.6)
 4. Additional information needs to be presented for the proposed "1800 sf support building". We note that proposed water, sewer (via grinder pump) and electric services are shown within a paved driveway to be connected to existing utilities. Details shall be provided for these connections. The Applicant's response indicates the building will be used for storage and bathrooms and that details will be provided in future plan submissions. The applicant must discuss if a kitchen area is proposed in the building.
 5. Monuments shall be proposed on the right-of-way lines at corners, angle points, and beginning and end of curves. Monuments shall be indicated on the plans. A note has been added to Sheet 3 regarding monumentation requirements. The plans shall be revised to show proposed/existing monuments/pins along the property boundary. (SALDO 130-23.A)
 6. It should be determined if the proposed landscape requirements of SALDO Section 130-28 (perimeter and screen buffers and street trees) will be applicable to the entire tract, or for the Phase 1 and Phase 2 project areas only.
 7. Some of the proposed street trees, shrubs, and evergreens are not on the recommended plant material list of SALDO Section 130-28.H and will need approval from the Township. We do not have any objections to the proposed plantings not on the Township's approved planting list. We note that the proposed "Fothergilla" and "Hidcote Hypericum" may not be available in the required 36" minimum height.
 8. Basin plantings shall be at least 10 feet from the toe of the berm. (SALDO Section 130-28.G.7.f.) It does not appear that all proposed basin plantings are 10 feet from the basin berm's toe.
 9. The plans should be revised to indicate trash disposal areas, material storage areas, and mechanical equipment areas, and show appropriate screening in accordance with SALDO Section 130-28.G.8. Details of the trash enclosure must be added to the plans.
 10. A profile of the sanitary sewer force main and water service must be added to the plans.
 11. The size, material and other pertinent information for the existing sanitary sewer must be provided. Additional information relating to the existing on-lot septic system must also be provided to determine if the additional flows generated by the new field house will be adequately treated by the existing on-lot system.
 12. A detail of the proposed force main connection to the existing sewer must be added to the plans.
 13. As per the Montgomery County parcel viewer, we note that this tract is comprised of three parcels: Block No. 17 Units 1, 22 and 24. This should be verified. The Township may want to consider if the parcels should be consolidated as part of this proposal.
 14. The amount of proposed parking must be confirmed. A plan note states that 100 parking spaces are provided but this office only counts 96 new spaces.

15. A truck turning template for a garbage truck must be provided to ensure that the truck can adequately approach and maneuver into the proposed trash enclosure.
16. An accessible path should be shown to the proposed baseball field.
17. The following are comments regarding the stormwater management design and calculations:
 - a. A PA DEP NPDES permit is required for the proposed disturbance. (SALDO Section 130-32)
 - b. Additional storm sewer calculations must be submitted for review including calculations pertaining to the hydraulic capacity of the system. All terminal storm sewer that drains to a stormwater facility must include the 100-year routed elevation as a starting tailwater elevation. (SMO 129-18.C(14))
 - c. A Stormwater Management Agreement will be required and approved by the Township. (129-40)
 - d. We request that this office and the Township be copied on all correspondence with all outside agencies, including the MCCD and PADEP.
 - e. Storm sewer must be a minimum of 15-inch diameter and constructed with reinforced concrete piping (RCP). The plans propose High Density Polyethylene Pipe (HDPE) with diameters less than 15-inches. A waiver must be requested, or the plans must be revised. (SMO 129-18.C(2) and (3)).
 - f. Overland flow to each inlet must be included in the storm sewer calculations. (SMO 129-18.C(10))
 - g. A detail for the concrete anti-seep collar must be added to the plans. Please note the Township does not allow pre-cast anti-seep collars.
 - h. The designer must investigate the size of the orifices in the BMP outlet structures compared to the internal width of the outlet structures for BMP's 1, 3 and 7. It is implied that each side of the structure will have an 8-inch circular orifice, a 14-inch rectangular orifice, or a 15-inch rectangular orifice, but the internal width of the outlet structures is 24 inches which may not be able to accommodate these orifices. Additionally, the depth of the top slab of each outlet structure must be provided and confirmed to not impact the orifices.
 - i. Calculations for the emergency spillways must be provided.
 - j. Calculations for the erosion and sediment control facilities must be forwarded to the Township for review.
 - k. All storm sewer must be shown on the profiles including all cross pipes. We note that no profiles are currently shown for the following pipe runs:
 - Inlet #1.2 – Inlet #1.1A
 - Storm MH #2 – Storm MH #1
 - The existing culvert extension at Station 3+80 of the Delivery Driveway.
 - The majority of off road storm sewers are not profiled and must be shown on the plans.

21. The plans should be reviewed by the Township Fire Marshal.
22. Additional waivers requested by the applicant not currently indicated on the plan must be presented in front of the Board of Supervisors for consideration.
23. Based on the size and scope of the project, the Township may want to consider that a land development fee and escrow be posted.
24. A developer's agreement and construction escrow must be prepared and reviewed by the Township prior to recording of the plans.
25. We note that a conditional use application for the proposed sports field lighting has been previously submitted to the Township. The conditional use was recommended for approval by the Worcester Township's Planning Commission at their December 14, 2023 meeting.
26. All conditions issued by the Board of Supervisors regarding the field lighting conditional use hearing must be added to the plans to be recorded.
27. The title sheet must indicate which sheets are to be recorded. Additionally, on each sheet that is to be recorded, a 'xx of xx' must be added to the title block.
28. We request future submissions be made in a comprehensive manner. Incomplete submissions will not be accepted.

The above represents our comments in this limited Waiver of Land Development request.

Very truly yours,
CKS ENGINEERS
Township Engineers


John W. Evarts, P.E.

JWE/klk

cc: Wendy Feiss McKenna, Esquire, Township Solicitor (via email)
Devin Ralph, Robert L. Brant & Associates, LLC (via email)
Casey Moore, P.E., Township Traffic Engineer (via email)
Michele Eve, P.E., Bowman (via email)
Mark D. Jonas, Esquire, Eastburn and Gray P.C. (via email)
Maribeth Schmidt, Variety, The Children's Charity of Delaware Valley (via email)
Dominique Bernardo, Variety, The Children's Charity of Delaware Valley (via email)
Apex Design Engineering Group (via email)
File



February 14, 2024

Sean Halbom, Township Manager
Township of Worcester
1721 Valley Forge Road
PO Box 767
Worcester, PA 1940-0767

RE: Traffic Review #2 – Grading Permit Plans

Variety – The Children’s Charity of the Delaware Valley Site Modifications
Worcester Township, Montgomery County, PA
Bowman Project #313950-01-001

Dear Sean:

In response to the Township’s request, Bowman Consulting Group (Bowman) has completed our second (2nd) traffic engineering review associated with the proposed site modifications to be located at 2950 Potshop Road (T-345) in Worcester Township, Montgomery County, PA. According to the materials submitted to our office, the proposed site modifications will consist of constructing a synthetic turf sports field, natural grass baseball field, natural grass soccer field, sports field amenities, and paving improvements. Access to the site will be provided via the existing ingress-only and egress-only driveways along Potshop Road (T-345), as well as a proposed full-movement driveway along Potshop Road (T-345) to the south of the existing egress-only driveway.

The following documents were received and reviewed in preparation of our comments:

- Grading Permit Plans for Variety – The Children’s Charity of the Delaware Valley, prepared by Apex Design and Engineering Group, last revised January 30, 2024.
- Response to Comments Letter for Variety – The Children’s Charity of the Delaware Valley, prepared by Apex Design and Engineering Group, dated January 31, 2024.
- Waiver Request Memorandum – The Variety Club, prepared by Apex Design and Engineering Group, dated January 31, 2024.
- Vehicle Maneuverability Plan, prepared by Apex Design and Engineering Group, dated February 9, 2024.

Based on our review of the documents listed above, Bowman offers the following comments for consideration by the Township and action by the applicant. **We note that the applicant is seeking relief from having to submit the plans and supporting materials as a land development submission.**

Waiver Requests

1. The applicant is requesting a waiver from the following **Subdivision and Land Development Ordinance** requirements.

- **Section 130-16.C(1)(a)[6]** – requiring Potshop Road (T-345) and North Trooper Road (T-381) to have a minimum cartway width of 38 to 40 feet. The plans currently show an approximate 26-foot cartway width along the Potshop Road (T-345) site frontage, and an approximate 22-foot cartway width along the North Trooper Road (T-381) site frontage, thereby **not satisfying** the ordinance requirement. Since the approximate 26-foot cartway width along the site frontage of Potshop Road (T-345) and the approximate 22-foot cartway width along the site frontage of North Trooper Road (T-381) is consistent with the cartway width along these roads in the vicinity of the site, we would be supportive of the Board of Supervisors should they decide to grant this waiver.
- **Section 130-18.A** – requiring sidewalk to be provided along the site frontages of Potshop Road (T-345), North Trooper Road (T-381), and Valley Forge Road (S.R. 0363). The plans do not show any sidewalk along the site frontages of Potshop Road (T-345), North Trooper Road (T-381), and Valley Forge Road (S.R. 0363), thereby not satisfying the ordinance requirement. Our office is supportive to the granting of this waiver since no sidewalk exists along Potshop Road (T-345), North Trooper Road (T-381), and Valley Forge Road (S.R. 0363) in the vicinity of the site; however, a fee in lieu of sidewalk installation, should be considered if this waiver is granted by the Board of Supervisors which could also be used for trail connectivity in this area in the future. Alternatively, the Board of Supervisors could consider deferring this obligation that is required of the applicant until such a time as may be required by the Township for this property, whether under present or future land ownership, and at no cost to Worcester Township.
- **Section 130-18.B** - curbing should be provided along the site frontages of Potshop Road (T-345), North Trooper Road (T-381), and Valley Forge Road (S.R. 0363). The plans do not show any curbing along the site frontages of Potshop Road (T-345), North Trooper Road (T-381), and Valley Forge Road (S.R. 0363), thereby not satisfying the ordinance requirement. Our office is supportive to the granting of this waiver since no curbing exists along Potshop Road (T-345), North Trooper Road (T-381), and Valley Forge Road (S.R. 0363) in the vicinity of the site. Alternatively, the Board of Supervisors could consider deferring this obligation that is required of the applicant until such a time as may be required by the Township for this property, whether under present or future land ownership, and at no cost to Worcester Township.

Grading Permit Plans

2. Short of a request to provide a traffic impact study for the proposed additions to the Variety campus that have the potential to generate more traffic to this area than current conditions, at a minimum the applicant should conduct driveway counts on a weekday and weekend when the fields may also be used and provide a projected trip generation for the entire site with the addition of the proposed fields. The Township and its engineers will evaluate and determine if the information to be provided suffices in order to not require a more detailed study, and if the expanded use of the property may have a traffic impact fee that should be considered and assessed by the Township.

*The applicant's engineer has indicated in its response that it is currently coordinating driveway counts with the Variety Club in order to obtain accurate count periods based on their programming times. This count information, along with trip generation information for the entire site with the addition of the proposed fields, will be provided at a future date. **Therefore, this comment remains to still be addressed.***

3. The Township Fire Marshal must review the plans for accessibility and circulation needs of emergency apparatus. Additionally, roadside parking restriction may be imposed by the Fire Marshal for public safety purposes. Ensure that any correspondence to/from the Fire Marshal, including any review comments and/or approvals, is included in subsequent submissions for review by our office.

The applicant's engineer has indicated in its response that it will comply with this comment.

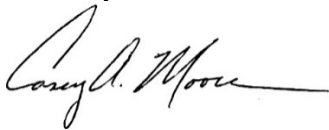
4. Additional calculations, indicating the spread of flow along Potshop Road (T-345) at the north side of proposed access, must be submitted for review.

*The applicant's engineer has indicated in its response that it will comply with this comment, but no information was received prior to issuing the letter. **Therefore, this comment remains to still be addressed.***

5. According to the Township's Roadway Sufficiency Analysis, the proposed development is located in Transportation Service Area South, which has a corresponding impact fee of \$3,125 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee in accordance with the Township's Transportation Impact Fee Ordinance. As noted in the applicant's engineer's response to comment #2, the applicant will provide trip generation information for the entire site with the addition of the proposed fields. Upon receipt of this information, our office will determine if a transportation impact fee is appropriate and calculate the transportation impact fee.
6. A response letter **must be provided** with any resubmission detailing how each comment above has been addressed, and where each can be found in the resubmission materials (i.e., page number(s)) to assist in the re-review process. Additional comments may follow upon review of any resubmitted and more detailed plans.

We trust that this review letter responds to your request. If you or the Township have any questions, or require clarification, please contact me, Michelle Eve, P.E., or Brian Jones PTP, TOPS.

Sincerely,



Casey A. Moore, P.E.
Executive Vice President

BMJ/MEE/CAM

cc: John Evarts, P.E., Township Engineer
Wendy Feiss McKenna, Esquire, Township Solicitor
Variety – The Children's Charity of Delaware
Michael Bowker, P.E., Apex Design and Engineering Group (Applicant's Engineer)

DEED OF TRUST

THIS INDENTURE, made the 25th day of April
1949,

BETWEEN LEO POSEL and VERA POSEL, his wife, of Philadelphia, Pennsylvania, (hereinafter designated as "SETTLORS") parties of the first part, and THE PHILADELPHIA VARIETY CLUB CAMP, a non-profit corporation, organized in the State of Pennsylvania (hereinafter designated as "TRUSTEE"), party of the second part, and VARIETY CLUB OF PHILADELPHIA, a non-profit corporation organized in the State of Pennsylvania, which caused TRUSTEE to be formed as a corporation for the purpose of operating its major-charitable project, party of the third part,

WITNESSETH: That the SETTLORS, for the purpose of founding and endowing in perpetuity a summer camp for handicapped or underprivileged children, to be known as "THE PHILADELPHIA VARIETY CLUB CAMP", (hereinafter designated as "CAMP") do hereby make, constitute and appoint TRUSTEE and its successors to erect, equip, maintain, direct and manage the CAMP upon, under and subject to the trusts and conditions hereinafter declared, and for that purpose have granted, bargained, sold, aliened, conveyed, released, conveyed and confirmed, and by these presents, do grant, bargain, sell, alien convey, release, convey and confirm unto TRUSTEE, its successors and assigns:

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected SITUATE in the Township of Worcester, County of Montgomery, Commonwealth of Pennsylvania and described according to a plan thereof made by Will D. Hiltner, Registered Surveyor, Horriatown, Pennsylvania in December 1948 as follows, to wit: BEGINNING at a point formed by the intersection of the center line of Potshop (also known as Krause) Road and the center line of Valley Forge (also known as Fairview) Road; thence extending South Fifty-two degrees, twenty-one minutes, thirty seconds East along the center line of Potshop Road Nine hundred seventy-one and fifty-nine one-hundredths feet to a point, an angle in the said road; thence South Forty degrees, ten minutes East still along the center line of Potshop Road Four hundred thirteen and ninety-seven one-hundredths feet to a spike set in the center of said road; thence South Fifty-three degrees, two minutes West along other land of Leo Posel of which this was a part Three hundred feet to a stake;

thence South Forty degrees, ten minutes East still along other land of Leo Pocol Four hundred fifty-seven and sixty-eight one-hundredths feet to a stake; thence South Twenty-eight degrees, no minutes East still along other land of Leo Pocol One thousand two hundred fifty-eight and sixty-three one-hundredths feet to a spike set in the center line of Church Road; thence South Forty-four degrees, thirty-five minutes West along the center line of Church Road Seven hundred fourteen and five one-hundredths feet to a spike; thence North Sixty-three degrees, twenty-six minutes, ten seconds West along line of land of Eugene F. Kinslan One thousand seven hundred fifty-three and eighty one-hundredths feet to a stake; thence North Forty-four degrees, seventeen minutes East along line of land of Howard A. Brunner Five hundred ninety-seven and eighty-one one-hundredths feet to a spike set in root of a thirty inch Maple; thence North Twenty-four degrees, sixteen minutes, twenty seconds West still along line of land of Howard A. Brunner One thousand two hundred seventy-four and eighty-five one-hundredths feet to a spike in the center line of said Valley Forge Road; thence North Thirty-nine degrees, thirty-nine minutes East along the center line of Valley Forge Road Five hundred thirty-five and seventy-three one-hundredths feet to a spike; and thence North Twenty-nine degrees, seven minutes East still along the center line of Valley Forge Road Three hundred twelve and fifty-two one-hundredths feet to the first mentioned point and place of beginning. Containing Seventy-nine and six hundred twelve one-thousandths (.79.612) acres.

BEING a part of the same premises which The First National Bank of Lansdale, a corporation incorporated under the laws of the United States of America, by deed bearing date the 8th day of August, 1944, and recorded in the Office for Recording of Deeds in and for the County of Montgomery, State of Pennsylvania in Deed Book 1593, page 1, etc. granted and conveyed unto the said Leo Pocol in fee.

TOGETHER with all and singular the buildings, improvements, woods, ways, rights, liberties, privileges, hereditaments and appurtenances, to the same belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and every part and parcel thereof, and all the estate, right, title interest, use, trust property, possession, claim and demand whatsoever, both in law and equity, of the said parties of the first part, of, in and to the said premises, with the appurtenances, to have and to hold the said premises with all and singular the appurtenances, unto the said party of the second part, its successors and assigns, to the only proper use, benefit and behoof of the said party of the second part, its successors and assigns forever.

Upon and subject to the trusts and confidences and for the several uses, intents, and purposes hereinafter mentioned declared of and concerning the same, that is to say: in trust for a permanent CAMP for underprivileged or handicapped children, and

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the requisite teachers, counsellors, and other persons necessary in and about such CAMP, and the maintenance and support as herein-after prescribed of such children: to collect and receive the rents, revenues, and income therefrom, if any, and apply the entire net revenue, income, rents, issues and profits thereof to support and maintain the said CAMP, and increase the facilities and efficiency thereof, and to use the same in such manner as is in their discretion most advantageous to the purposes of the trust, to keep the said lands and buildings thereon in good repair, to renew and improve the same when necessary by erecting new buildings thereon, to direct and supervise the disposition of the products thereof, the revenues or income derived therefrom to be paid to and received and collected by the TRUSTEE as hereinbefore provided.

1. In consideration of the conveyance of said demised premises to it by SETTLORS, TRUSTEE covenants and agrees as follows:

(a) To operate the demised premises as a camp for underprivileged or handicapped children and for no other purpose or purposes.

(b) To operate and conduct the CAMP continuously without interruption, during each and every CAMP season hereafter in a lawful, efficient and proper manner; PROVIDED, however, it shall not be deemed a violation of this covenant if TRUSTEE shall be prevented from operating said premises as a camp in any season or seasons by reason of fire, the effects of storm, or other acts of God, disease, pestilence, war, condemnation, or other acts or happenings beyond control of TRUSTEE; and PROVIDED FURTHER, that in the event the demised premises become unsuitable for the purposes of a recreational camp due to adjacent industrial or commercial developments or the growth of the towns or cities in its vicinity, and TRUSTEE shall, in its discretion, make such determination, then, in that event, TRUSTEE shall sell said

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property and distribute the proceeds in accordance with Paragraph 10 hereinafter provided.

(c) To promptly repair, rebuild and restore the buildings and equipment thereon, or any of them, immediately after the same or any part thereof shall or may have become damaged or destroyed by fire, casualty or other cause, and to generally keep and maintain the buildings, structures, and improvements, now erected thereon, or which may be hereafter erected, in good order and repair, reasonable wear and tear excepted. Failure on the part of the TRUSTEE to comply with the terms of this covenant for and during any period of two years after the said repairs, rebuilding or restoration shall have become necessary shall be deemed a violation of this covenant.

(d) To pay promptly for any and all labor, material or other costs incident to all repairs and improvements that may be made to the demised premises and to indemnify and save harmless the SETTLORS from any and all liability for the same or any part thereof, or from liability and costs of mechanic's or other liens that may be imposed upon the demised premises by reason of obligations incurred by the TRUSTEE.

(e) To promptly pay all taxes, if any, and other lawful levies and charges that may be assessed or imposed upon the demised premises and/or those imposed upon any building or buildings, improvement or improvements, now erected, or which may in the future be erected upon the demised premises, and to indemnify and save harmless the SETTLORS, their and each of their heirs, executors, administrators and assigns from the payment of the same, or any of it, or any costs and expenses incident thereto.

(f) To fully and adequately insure the demised premises, including all buildings now erected, or which may in the future be erected thereon, such insurance to include protection against the hazards of fire, flood, storm, earthquake and public liability. That said TRUSTEE shall at all times keep and main-

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tain the aforesaid insurance in full force and effect by prompt and due payment of the necessary premiums, and by the faithful observance of any and all rules and regulations of the various insurance companies which shall or may insure the devised premises.

(r) To first operate the CAMP during the camp season of the year 1949, provided, however, that TRUSTEE may temporarily limit the number of children who may attend in accordance with the accommodations available and completed at that time.

(h) Comply with any and all requirements and regulations of any of the constituted public authorities and with the terms of any state or federal statute, or local ordinance or regulation applicable to the TRUSTEE in its use of the devised premises and to save harmless the said SETTLORS, their heirs and assigns forever, from any penalties, fees, costs or damages resulting or arising from failure on the part of TRUSTEE so to do.

(1) To employ and maintain at all times upon the devised premises a competent watchman or caretaker.

2. As a further condition of this Trust, TRUSTEE shall be operated and managed by a Board of Directors consisting of such number of members as shall be fixed in TRUSTEE's by-laws, one of whom, at all times during his lifetime, shall be the said LEO POSEL, and said LEO POSEL shall at all times be elected as the President of TRUSTEE and Chairman of its Board of Directors, unless he shall have by writing addressed to the Directors indicated his refusal to accept to serve in the said offices or in the office of Director; upon the death of LEO POSEL a lineal descendant of his, if of full age, sui juris and willing to serve, shall be immediately elected to the Board of Directors of said TRUSTEE, and thereafter, during the term of this Deed of Trust, at all elections of Directors, a lineal descendant of LEO POSEL, if willing to serve, shall be elected as a Director of TRUSTEE, provided such person shall be of full age and sui

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juris; that as Chairman of the Board of Directors and President of the TRUSTEE, LEO POSEL shall have and possess all the usual supervisory powers of the President of a corporation, including the right to select the CAMP DIRECTOR, subject to the approval of the Board of Directors of TRUSTEE, the latter to have full powers of hiring and firing all other employees of the CAMP.

3. The CAMP upon the devised premises shall be operated and conducted by TRUSTEE, exclusively and by no other corporation or organization; that the said CAMP shall at all times hereafter bear the name "PHILADELPHIA VARIETY CLUB CAMP", and no other name, title, variation or modification thereof. At all times the phrase "Erected on land donated by LEO and VERA POSEL" shall be inscribed upon and appear in full directly following the name of the CAMP upon all stationery, advertising, signs, writings or insignia used or employed in connection with the operation of said CAMP by TRUSTEE, or by any other corporation to which the premises may be conveyed in accordance with Paragraph 10 hereof. The said TRUSTEE shall at no time hereafter change, alter or modify its name or corporate title, by legal proceedings or otherwise.

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4. The SETTLORS and their immediate family, at all times during the lifetime of the SETTLORS or the survivor of them, shall have the right to use and occupy the main dwelling house now erected upon the devised premises, together with free and uninterrupted ingress and egress thereto, as well as reasonable facilities and conveniences related thereto; provided, however, that the SETTLORS shall have the right to authorize and permit the use of any part of the said dwelling house by other persons for uses related to the operation of said CAMP; provided further that the office for the administration of the CAMP may, at the discretion of the Executive Committee of the Board of Directors, be maintained in the said dwelling house.

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5. If it so happen in the future that gifts, bequests, devises of real or personal property may be made to or for the benefit of the CAMP, TRUSTEE is authorized to accept all such gifts, bequests, devises, whenever the terms, conditions, restrictions, or limitations of such gifts, bequests, devises, are not in the opinion of the TRUSTEE in contravention of the objects and purposes of this deed, and all such gifts, bequests, devises, whether made to the CAMP by name, or to the TRUSTEE, or in any manner whatever, shall be paid or transferred by proper conveyance to the TRUSTEE, and be added to and become a part of the corpus or principal of the trust estate or of the income, in aid of which the said gifts, bequests, devises, or any of them may have been made, in the absence of any direction accompanying any such gift, bequest, devise, as to whether the corpus or principal of the trust estate or income is intended to be the recipient of such gift, bequest, devise, the TRUSTEE shall have the power to determine to which of the funds, or in what proportion to both, such gift, bequest, or devise, shall be paid or transferred; provided, however, that if any lands or other real property shall be given, conveyed, or devised, to be held, enjoyed or used for the benefit or purposes of the CAMP, the title to the same shall be held by the TRUSTEE under the same trusts as are herein declared of and concerning the lands conveyed to the TRUSTEE, and with the same power to sell and dispose of the said lands or other real property so given, conveyed, or devised, and under the same trusts, as to the proceeds thereof, as are hereinafter declared of and concerning lands which may be sold by the said TRUSTEE.

6. The TRUSTEE shall on or before the first day of December in each year make out and deliver to the Variety Club of Philadelphia Tent #13 separate statements of principal and income of the trust estate, showing the revenues, receipts,

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expenses and disbursements for the year ending with the 30th day of September immediately preceding.

7. The TRUSTEE may lease any part or portion of the lands conveyed by this deed, or which may have been bought or otherwise acquired, which in the judgment of the TRUSTEE is not necessary to be kept for the purposes of the CALP, the rental income of the land so leased shall be held by the TRUSTEE and applied to the maintenance of the CALP. The TRUSTEE shall not, however, during the lifetime of SETTLORS, lease the main dwelling house now erected thereon to any person or persons.

8. No part of the corpus or principal of the trust estate, or of the income, arising from the property hereby conveyed, or gifts, bequests, or devises, or other accretions thereto, and all moneys and securities arising therefrom, or made with or acquired by the principal or income thereof, or accretions thereto, shall at any time be applied to any other purpose or purposes than those herein mentioned and appointed.

9. All moneys, gifts, bequests and devises received by the TRUSTEE shall be received, held and used by the TRUSTEE for, upon and subject to the trusts and confidences, and for the uses and purposes hereinafter declared of and concerning the same, and for none other, that is to say:

Out of the moneys received by the TRUSTEE to erect suitable buildings and appurtenances, to lodge, board and instruct as many children as, in the opinion of the TRUSTEE, the revenue and other sources of income authorized to be expended for the purpose will provide for, and to lodge and board as many other persons, such as officers, teachers, agents, workmen and servants, as in the opinion of the

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TRUSTEE it may be necessary or convenient, shall reside upon the premises, for the purpose of fully carrying out the design in view, and of completely establishing and successfully maintaining the CAMP herein intended to be founded; to furnish and fully equip the CAMP with such furniture, materials, machinery, tools, books, equipment and all things needful to carry into effect the general purpose, as in the judgment of the TRUSTEE may be necessary or convenient for the purpose; to pay the insurance, repairs, and renewals of the property, to pay the compensation of officers, agents, teachers, workmen, servants, or other employees, materials and supplies, the maintenance, clothing and instruction, medical, nursing and recreational facilities of the children, the expense of boarding and lodging of such officers and employees whom the TRUSTEE may think it proper shall reside at the CAMP, and any other charge or expense contracted or payable by the TRUSTEE, for, or by reason of the management, maintenance, support, renewal, improvement or repair of the CAMP, its appurtenances and equipment thereto belonging, and of the lands, buildings, and improvements under their care and management. The decision of the TRUSTEE as to what are or may be necessary expenses for the maintenance, support, management, renewal or repairs of the CAMP, and its appurtenances and equipment thereto belonging or appertaining, and of the lands, buildings and improvements under their care and management, shall be final and conclusive upon the subject.

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10. In the event the VARIETY CLUB OF PHILADELPHIA in its sole discretion and in accordance with the proper procedure, provided for in the by-laws of said VARIETY CLUB OF PHILADELPHIA, shall decide to discontinue supporting CAMP as a charitable project, it shall so notify TRUSTEE and SETTLORS in writing. Upon receipt of said written notice TRUSTEE, within fifteen (15) days shall offer to sell, transfer, convey and deliver possession of the said CAMP, including the premises with the appurtenances and buildings erected thereon, for such consideration, nominal or otherwise, as TRUSTEE, in its sole discretion shall deem proper, unto another charity or charitable organization which shall be suitably organized and competent to operate the same and who shall agree by proper instrument in writing to operate the said CAMP under the terms and conditions of this trust, and not otherwise, and the TRUSTEE shall have a period of six months within which to obtain such successor or organization.

In the event TRUSTEE cannot obtain a charity which will operate said CAMP in accordance with the terms and conditions of this trust, then SETTLORS, or the survivor of them, shall have the opportunity to obtain such a charity within a further period of six (6) months. At the end of said further six (6) month period, if SETTLORS, or the survivor of them, have failed to obtain a charity to operate the CAMP under the terms and conditions of this trust; then TRUSTEE shall forthwith sell demised premises at public or private sale and, out of the proceeds of said sale, the sum of Thirty-five thousand dollars (\$35,000.00), representing the cost of said premises to SETTLORS, shall be paid to SETTLORS, or the survivor of them, or the heirs, devisees or representatives of the said SETTLORS, or the survivor of them, and the balance of the proceeds shall be paid forthwith to the Heart Fund of the VARIETY CLUB OF PHILADELPHIA.

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IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and affixed their seals the day and year first above written.

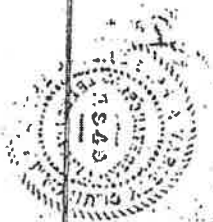
Signed, Sealed and Delivered in the presence of:

Rose McSpowan W. P. Leo (SEAL)
Isabel M. McRee W. P. Kern (SEAL)

PARTY OF THE FIRST PART

THE PHILADELPHIA VARIETY CLUB CAMP, of the County of Philadelphia, Pennsylvania, hereby accepts the trusts declared in the above Deed on its part to be observed, kept and performed.

IN WITNESS WHEREOF, it has affixed its corporate seal hereto this 25th day of April 1949 and caused the same to be executed by its duly authorized officers and Board of Directors.



Adrius Emanuel
Vice President
Louis J. Hoffman
Secretary

I hereby certify that the consideration is ~~not less~~ One Hundred Dollars

Henry S. Adams

011805

JUL 29 3 31 PM '85

No. 664/S

Printed for and Sold by John C. Clark Co., 1326 Walnut St., Phila.

This Indenture, Made the

2nd day of July in the year of our Lord one thousand nine hundred eighty-five (1985)

Between RAMON POSEL and SIDNEY POSEL, Trustees of Residuary Trust under the Will of Leo Posel, deceased, parties of the first part, and PHILADELPHIA VARIETY CLUB CAMP, a Pennsylvania non-profit corporation, party of the second part

Witnesseth, That the said parties of the first part, for and in consideration of the sum of Fifty-Five Thousand Dollars (\$55,000.00)

lawful money of the United States of America, to — them — well and truly paid by the said party of the second part, at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, — have — remised, released and quit-claimed, and by these presents, — do — remise, release and quit-claim unto the said party of the second part, and to its successors

and assigns forever, All

158963 COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF REVENUE
REALTY TRANSFER TAX JUL 29 85 550.00
P3.1160

REALTY TRANS. TAX PAID
STATE 550.00
LOCAL 550.00
FER JB

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
47 22-02642-00-7 WORCESTER DBK 1598
POTSHOP RD PG 0001
POSEL LEO
B 017 U 001 # 2110 DATE 7/29/85 1722

BOOK 4773 PG 1479

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ALL THAT CERTAIN lot or piece of land situate in the Township of Worcester, Montgomery County, State of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at a round spike set in the center of Fairview Road (33 feet wide) said point being also the corner of land of Arthur Brunner and the Worcester United Evangelical Church; thence along center line of Fairview Road by other land now or late of Milton O. Landis North 38 degrees 54 minutes East passing through the round spike set in the intersection of the center line in the Fairview Road at the Heebner Road 535.73 feet to round spike; thence bearing to the left still along the center line of the Fairview Road and the land now or late of Milton O. Landis North 28 degrees 22 minutes East 313.49 feet to a point set in the intersection of the Fairview Road and the Krause Road center line; thence along the said Krause Road center line and still by land now or late of Milton O. Landis South 52 degrees 21 minutes East 840.69 feet to an iron pin in the center of Krause Road (33 feet wide) being also a corner of land now or late of Arthur Brunner; thence by the latter South 52 degrees 14 minutes West 1,150.84 feet to an iron pin in a line of land now or late of Arthur Brunner; thence by the latter North 24 degrees 39 minutes West 578.29 feet to the place of beginning.

CONTAINING within said metes and bounds 15.241 acres, be the same more or less.

ALL THAT CERTAIN message and farm, situate in the Township of Worcester, Montgomery County, State of Pennsylvania bounded and described as follows, to wit:

BEGINNING at a point in the middle of a public road called Krause Avenue leading to Fairview Village and Center Point Road; thence by land now or late of D. D. Forter South 50 degrees West 74 perches more or less to line of land now or late of Mary C. Port; thence by said line now or late of Mary C. Port North 63 degrees 40 minutes West 80.30 perches to a corner; thence by land now or late of Arthur Brunner North 43 degrees 45 minutes East 35.96 perches and North 24 degrees 18 minutes West 41.11 perches to a corner; thence by land now or late of Milton O. Landis North 50 degrees 30 minutes East 69.71 perches to a corner of middle of first mentioned public road; thence by middle of said road South 52 degrees 40 minutes East 9.17 perches to a stone; thence still by same South 40 degrees 10 minutes East 54.88 perches; thence still by said public road South 23 degrees 25 minutes East 47.80 perches to first mentioned point and place of beginning.

CONTAINING 65.20 acres of land, be the same more or less.

ALSO ALL THAT CERTAIN lot or tract of land with the buildings thereon, situate in the Township of Worcester, County of Montgomery and State of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at an iron pin in the center line of a public road leading from Krause Avenue to the Schwenksfelder Church a corner of land now or late of Mary C. Port; thence along the line of said Mary C. Port North 57 degrees 50 minutes West 430 feet to a stake a corner; thence along land now or late of William Bidden North 50 degrees East 1220.34 feet to an iron pin in the center of Krause Avenue; thence along the center line of said Krause Avenue South 17 degrees 20 minutes East 444.25 feet to an iron pin at the intersection of the center line of the said Krause Avenue and the Road leading to the Schwenksfelder Church; thence along the center line of said public road leading from Krause Avenue to Schwenksfelder Church Southwesterly 900 feet more or less to the place of beginning.

CONTAINING according to a survey by Hiltner and Hitchcock C.E. 10.60 acres.

EXCEPTING THEREOUT AND THEREFROM ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected situate in the Township of Worcester, County of Montgomery, Commonwealth of Pennsylvania and described according to a plan thereof made by Will D. Hiltner, Registered Surveyor, Norristown, Pennsylvania in December 1948 as follows, to wit:

BEGINNING at a point formed by the intersection of the center line of Potshop (also known as Krause) Road and the center line of Valley Forge (also known as Fairview) Road; thence extending South 52 degrees 21 minutes 30 seconds East along the center line of Potshop Road 971.59 feet to a point, an angle in the said road; thence South 40 degrees 10 minutes East still along the center line of Potshop Road 413.97 feet to a spike set in the center of said road; thence South 53 degrees 02 minutes West along other land now or late of Leo Posel of which this was a part 300 feet to a stake; thence South 40 degrees 10 minutes East still along other land now or late of Leo Posel 457.68 feet to a stake; thence South 28 degrees 00 minutes East still along other land now or late of Leo Posel 1,258.63 feet to a spike set in the center line of Church Road; thence South 44 degrees 35 minutes West along the center line of Church Road 714.50 feet to a spike; thence North 63 degrees 26 minutes 10 seconds West along line of land of Eugene F. Kindlan 1,753.81 feet to a stake; thence North 44 degrees 17 minutes East along line of land of Howard A. Brunner 597.81 feet to a stake set in root of a 30 inch Maple; thence North 24 degrees 16 minutes 20 seconds West still along line of land now or late of Howard A. Brunner 1,274.85 feet to a spike in the center line of said Valley Forge Road; thence North 39 degrees 39 minutes East along the center line of Valley Forge Road 535.73 feet to a spike; thence North 29 degrees 07 minutes East still along the center line of Valley Forge Road 312.52 feet to the first mentioned point and place of beginning.

CONTAINING 79.612 acres.

ALSO EXCEPTING THEREOUT AND THEREFROM A certain tract or parcel of land in Worcester Township, Montgomery County, Commonwealth of Pennsylvania, bounded and described as follows:

BEGINNING at a point in a boundary line between lands now or late of Leo Posel, et ux and lands of the Philadelphia Variety Club, et al, and being situate North 22 degrees 48 minutes West 700.00 feet more or less, from the center of Church Road and the common corner between the aforesaid land; thence from the aforesaid point of beginning and binding said lands of the Philadelphia Variety Club as follows: (1) North 22 degrees 48 minutes West 540.00 feet, more or less (2) North 10 degrees 38 minutes West 70.00 feet, more or less, to a point; thence leaving said lands and running over and across the aforesaid lands now or late of Leo Posel as follows: (1) North 58 degrees 00 minutes East 170.00 feet, more or less (2) South 32 degrees 00 minutes East 570.00 feet, more or less (3) South 53 degrees 30 minutes West 250.00 feet, more or less to the point or place of beginning.

CONTAINING 2.80 acres of land, more or less.

BEING ASSESSMENT PARCEL NUMBER 67-00-02842-00-7.

BEING part of the same premises which The First National Bank of Lansdale by Deed dated August 8, 1944 and recorded in Montgomery County, in Deed Book 1598 page 1 conveyed unto Leo Posel in fee.

And the said Leo Posel died on June 3, 1975, leaving a Will probated and registered at Montgomery County as Will No. 46-75-1526, wherein Letters Testamentary were granted unto Ramon Posel on June 26, 1975.

And by Adjudication of the First and Final Account of Ramon Posel, Executor of the Estate of Leo Posel, deceased, and Schedule of Distribution in accordance therewith approved and filed 6/21/1979 in Orphans Court #77271 the premises was awarded to Ramon Posel and Sidney Posel, Trustees of Residuary Trust per Item Second of the Will of Leo Posel, deceased.

UNDER AND SUBJECT to certain rights of record.

BOOK 4773 PG 1482

Together with all and singular, the tenements, hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversions, remainders, rents, issues and profits thereof: And also, all the estate, right, title, interest,

property, claim and demand whatsoever, as well in law as in equity, of the said parties of the first part, of, in, or to the above-described premises, and every part and parcel thereof, with the appurtenances.

To have and to hold all and singular the above-mentioned and described premises, together with the appurtenances, unto the said part Y- of the second part, its successors

and assigns forever, SUBJECT as aforesaid.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals the day and year first above written.

Sealed and Delivered }
IN THE PRESENCE OF US: }

Ramon Posel (SEAL)
RAMON POSEL

Sidney Posel (SEAL)
SIDNEY POSEL

Trustees of Residuary Trust
under the Will of Leo Posel,
deceased

55.710-
A. H. H. H. H. H.

The State of Pennsylvania
Notary Public

Commonwealth of Pennsylvania }
County of Philadelphia } SS.

On this, the second day of July, 1985, before me, the undersigned Officer, a Notary Public in and for the County and State aforesaid,

RAMON POSEL and SIDNEY POSEL, Trustees of Residuary Trust under the Will of Leo Posel, deceased, personally appeared known to me (satisfactorily proven) to be the persons whose names (are) subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

Bess Connor
Notary Public

(NOTARIAL SEAL)

My Commission Expires:

BESS CONNOR
Notary Public, Phila., F.M.A. Co.
My Commission Expires Dec. 7, 1988

BOOK 4773:1483

Commonwealth of Pennsylvania
County of

SS.

On this, the _____ day of _____, 19____, before me

the undersigned Officer, personally appeared _____ who acknowledged himself to be the _____ of _____, a corporation, and that he as such, being authorized to do so executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself (herself) as

~~In Witness Whereof, I hereunto set my hand and official seal.~~

COPIES RETURNED TO THE INSURANCE COMPANY
c 782 684 ROS
DEED.

~~RAMON POSEL, and SIDNEY POSEL,~~
Trustees of Residuary Trust
under the Will of Leo Posel,
deceased

TO

PHILADELPHIA VARIETY CLUB
CAMP, a Pennsylvania
non-profit corporation

Premises:

Fairview and Krause Roads
Worcester Township
Montgomery County, PA

CEN NO. 67-00-02842-00-7

1983 John C. Clark Company, Philadelphia. 664/S

Prepared By:

James R. Williams, Esquire
WOLF, BLOCK, SCHORR and
SOLIS-COHEN
Twelfth Floor, Packard Bldg.
Philadelphia, PA 19102



Montgomery County S. S.

Recorded in the Office for Recording of Deeds & c.

In and for said county in Deeds book

No. 4773 Page 1479 & c.

Witness my hand and seal of office this 29

day of July 19 85

James R. Price

Recorder

BOOK 4773 PG 1484

The address of the above-named Grantee
is W. Penn. Hotel, Phila. Pa. 19103

On behalf of the Grantee