

ERECTED INTO A TOWNSHIP IN 1733
TOWNSHIP OF WORCESTER
AT THE CENTER POINT OF MONTGOMERY COUNTY
PENNSYLVANIA

1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Phone (610) 584-1410
Fax (610) 584-8901

THIS SECTION COMPLETED ONLY BY TOWNSHIP:

APPEAL NO. : 20-06 DATE FILED: February 28, 2020

APPLICATION: BOARD OF SUPERVISORS
 ZONING HEARING BOARD

1. Date of Application: 2-28-20

2. Classification of Appeal (Check one or more, if applicable):
- a. Appeal from the Zoning Officer's Determination
 - b. Request for Variance
 - c. Request for Special Exception
 - d. Challenges to the Validity of Zoning Ordinance or Map
 - e. Request for Conditional Use Hearing
 - f. Request for Amendment to Zoning Map
 - g. Request for Zoning Ordinance Amendment
 - h. Request for a Curative Amendment
 - i. Request for other relief within the Jurisdiction of the Zoning Hearing Board as established in Section 909.1(a) of the Pennsylvania Municipalities Code

3. Applicant:

- a. Name: SHAWN LARRIVÉE
- b. Mailing address: 46 SOUTH GRANGE AVE
COLLEGEVILLE PA. 19426
- c. Telephone number: 610-496-7311
- d. State whether owner of legal title, owner of equitable title, or tenant with the permission of owner legal title: (REQUIRED) OWNER

Please attach Deed to prove ownership, an Agreement of Sale to prove equitable ownership, or an Affidavit allowing Tenant to apply for necessary relief.

4. Applicant's attorney, if any:

- a. Name: _____
- b. Address: _____
- c. Telephone number: _____

5. Property Details:

- a. Present Zoning Classification: R-100
- b. Present Land Use: RESIDENTIAL
- c. Location (Street Address): 1035 QUARRY HALL RD WORCESTER PA.
- d. Parcel #: 67-00-02908-00-4
- e. Lot Dimensions:
 - (1) Area: 44250 SF
 - (2) Frontage: 105' ? SEE DEED
 - (3) Depth: 490' ? SEE DEED
- f. Circle all that apply in regards to the above specified property:
 - Public Water
 - Public Sewer
 - Private Well
 - Private Septic
- g. Size, construction, and use of existing improvements; use of land, if unimproved: **(Please submit as an attachment)**

6. Proposed Use(s):

- a. Proposed use(s) and construction: Please provide size, construction and proposed use(s). **(Please submit as an attachment)**

7. Legal grounds for appeal (Cite specific sections of Pennsylvania Municipalities Planning Code, Zoning Ordinance, Subdivision Regulations, and/ or other Acts or Ordinances). All sections that apply must be listed in which relief is required and an explanation provided. **(Please submit as an attachment)**

8. Has any previous appeal been filed concerning the subject matter of this appeal?
 Yes No

If yes: specify: **(Please submit as an attachment)**

9. Challenges please list requested issues of fact or interpretation: **(Please submit as an attachment)**

10. Worcester Township to provide the list of names and addresses of all property within 500 feet of the perimeter of the subject property. **(REQUIRED: SECTION 150-224)**

CERTIFICATION

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.

Shawn Larrivee
Signature

SHAWN LARRIVÉE
Printed Name

Signature

Printed Name

COMMONWEALTH OF PENNSYLVANIA:

COUNTY OF MONTGOMERY : SS

The undersigned, being duly sworn according to law, deposes and says the he/she is the above names applicant, that he/she is authorized to and does take this affidavit on behalf of the owner, and foregoing facts are true and correct.

[Handwritten Signature]

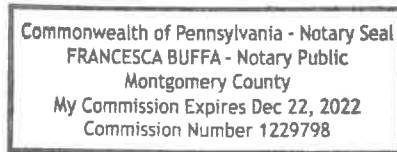
Applicant

Applicant

Sworn to and subscribed before me this 29th day of FEBRUARY, 2020

Francesca Buffa NOTARY PUBLIC

Notary Public



Date Received: 2-28-20

[Handwritten Signature]

Zoning Officer

Prepared By: **Services Investors, LLC d/b/a Services
Abstract Company
ATTN: Carolyn Grove
794 Penllyn Blue Bell Pike, Suite 120
Blue Bell, PA19422
Phone: 215-654-6160**

Return To: **Services Investors, LLC d/b/a Services
Abstract Company
ATTN: Carolyn Grove
794 Penllyn Blue Bell Pike, Suite 120
Blue Bell, PA19422
Phone: 215-654-6160**

**67-00-02908-00-4
1035 Quarry Hall Road, Norristown, PA
19403
File No. 509-004145**

Special Warranty Deed

This Deed, made on January 23, 2020, between,

Richard Weron and Barbara S. Weron

hereinafter called the Grantors of the one part, and

Shawn G. Larrivee

hereinafter called the Grantee of the other part,

Witnesseth, that the said Grantors for and in consideration of the sum of **Two Hundred Thirty Thousand Five Hundred and 00/100 Dollars, (\$230,500.00)** lawful money of the United States of America, unto him/her/them well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantee, his/her/their heirs and assigns, as sole owner;

TRACT I:

ALL THAT CERTAIN lot or piece of land with the buildings and improvements thereon erected, situate in the Township of Worcester, County of Montgomery and State of Pennsylvania, bounded and described according to a Survey and Plan thereof made by H. D. Herbert, Reg. Prof. Engineer, Center Square, on August 24, 1948, as follows:

BEGINNING at a point on the Northwesterly side of School Lane Thirty-three feet wide at the distance of Eight hundred sixty and three one hundredths feet Northeastwardly from the Northeasterly side of Germantown Pike, a corner of land of Harry W. Moore; thence along said land, North Forty-six degrees West Two hundred fifty and one one-hundredths feet to a point; thence by other land of Joseph L. Brady the two following courses and distances, North Forty-four degrees East Sixty feet to a point; thence South Forty-six degrees East Two hundred fifty and one one-hundredths feet to a point on the Northwesterly side of School Lane aforesaid; thence along said side thereof, South Forty-four degrees West Sixty feet to the place of BEGINNING.

TRACT II:

ALL THAT CERTAIN lot or piece of land, situate in the Township of Worcester, County of Montgomery and State of Pennsylvania, bounded and described according to a Survey and Plan thereof made by John E. Burkhardt and Associates, Lansdale, PA., on July 23, 1956 as follows:

BEGINNING at a point on the Northwesterly side of Quarry Hall Road, or School Lane, thirty-three feet wide, at the distance of nine hundred twenty and three one-hundredths feet Northeastwardly from the Northeasterly side of Germantown Pike, a corner of land of Michael Yustak; thence along said land North forty-six degrees West two hundred fifty and one one-hundredths feet to a pin; thence South forty-four degrees West sixty feet to a pin; thence North forty-six degrees West two hundred forty feet to a pin; thence North forty-four degrees East seventy-five feet to a pin, a corner of land about to be conveyed to Walter Rush; thence along said land South forty-six degrees East two hundred forty feet to a pin; thence North forty-four degrees East thirty feet to a pin; thence South forty-six degrees East two hundred fifty feet to a pin on the Northwesterly side of Quarry Hall Road or School Lane, aforesaid; thence along the Northwesterly side thereof South forty-four degrees West forty-five feet to the place of BEGINNING.

PARCEL NO. 67-00-02908-00-4

BEING the same premises which Barbara A. Jose, Executrix of the Estate of Anne Marie Yustak, deceased, by Deed dated 06/18/2011 and recorded 07/07/2011 in the Office of the Recorder of Deeds in and for the County of Montgomery in Deed Book 5806, Page 1201, granted and conveyed unto Richard Weron and Barbara S. Weron, husband and wife as tenants by the entirety.

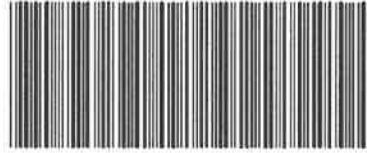




RECORDER OF DEEDS
MONTGOMERY COUNTY
Jeanne Sorg

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 6170 PG 00562 to 00566
INSTRUMENT # : 2020007613
RECORDED DATE: 01/29/2020 10:29:56 AM



5728692-0020Y


MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed	Transaction #: 5982565 - 2 Doc(s)
Document Date: 01/23/2020	Document Page Count: 4
Reference Info:	Operator Id: dawhitner
RETURN TO: (Simplifile) Services Abstract 794 Penllyn Blue Bell Pike Suite 200 Blue Bell, PA 19422 (215) 654-6160	PAID BY: SERVICES ABSTRACT
* PROPERTY DATA:	
Parcel ID #: 67-00-02908-00-4	
Address: 1035 QUARRY HALL RD	
	NORRISTOWN PA 19403
Municipality: Worcester Township (100%)	
School District: Methacton	

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: \$230,500.00	DEED BK 6170 PG 00562 to 00566 Recorded Date: 01/29/2020 10:29:56 AM
FEES / TAXES:	I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.
Recording Fee:Deed \$86.75	
State RTT \$2,305.00	
Worcester Township RTT \$1,152.50	
Methacton School District RTT \$1,152.50	
Total: \$4,696.75	
	
	Jeanne Sorg Recorder of Deeds

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

***COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION**

DEED

File No. 509-004145

Grantor: Richard Weron and Barbara S. Weron

Grantee: Shawn G. Larrivee

I certify the address of the Grantee to be, and mail tax bill to:

1035 Quarry Hall Rd. Norristown PA 19403

Certified by: Shawn G. Larrivee

Premises: 1035 Quarry Hall Road, Norristown, Worcester, Montgomery County, State/Commonwealth of Pennsylvania

TOGETHER with all the singular the buildings, improvements, ways, streets, alleys, driveway, passages, waters, water-courses, rights liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said grantors, as well at law as in equity, of, in and to the same.


TO HAVE AND TO HOLD the said lot or piece of ground described hereditaments and appurtenances and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, his/her/their heirs and assigns, to and for the only proper use and behoof of the said Grantee, his/her/their heirs and assigns, forever.

AND THE SAID Grantors his/her/their heirs, executors, administrators and assigns do covenant, promise and agree to and with the said Grantee his/her/their heirs and assigns, by these premises that the said Grantors, his/her/their heirs and assigns, and all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee his/her/their heirs and assigns, against him/her/them, the said Grantors his/her/their heirs and assigns and against all and every person and persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under him/her/them, or any of them, shall and will WARRANT and forever DEFEND.

IN WITNESS WHEREOF, the parties of the first part hereunto set his/her/their hand and seal as of the day and year first above written.

Sealed and delivered in the presence of:

Witness _____


Richard Weron

Witness _____


Barbara S. Weron

State/Commonwealth of Pennsylvania

County of Montgomery

On this 23rd day of JANUARY, 2020 before me, the undersigned, a Notary Public in and for said state, personally appeared **Richard Weron and Barbara S. Weron** personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed by their signatures on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

In witness whereof, I hereto set my hand and official seal.



Notary Public
My commission expires: _____

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
CAROLYN B. GROVE, Notary Public
Whitpain Twp., Montgomery County
My Commission Expires January 31, 2021

1035 QUARRY HALL ROAD WORCESTER TOWNSHIP 2ND STORY ADDITION

GENERAL NOTES	DRAWING INDEX	LEGEND	VICINITY MAP																												
<ol style="list-style-type: none"> 1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE IRC CODE ADOPTED BY THE COMMONWEALTH OF PENNSYLVANIA. 2) GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, STRUCTURE AND MATERIALS, AND SHALL BRING ANY DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. 3) ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AFTER 28 DAYS. 4) ALL EXTERIOR DECKING, POSTS AND JOISTS SHALL BE PRESSURE-TREATED. 5) WOOD SILLS ON CONCRETE OR CMU SHALL BE PRESSURE-TREATED OR PROVIDED WITH TERMITE SHIELDS AT ALL FOUNDATION WALLS. 6) ALL EXTERIOR NAILS, BOLTS, ANCHORS, AND HANGERS SHALL BE GALVANIZED. 7) DOUBLE FLOOR JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS WHICH ARE PARALLEL TO JOISTS. 8) ALL JOISTS SHALL BE BRIDGED AT 8'-0" O.C. (MAX). JOISTS SPANNING LESS THAN 16'-0" SHALL BE BRIDGED AT MIDSPAN. 9) ALL EXTERIOR WOOD WALLS SHALL BE 2X4 STUDS. 10) INTERIOR WOOD PARTITIONS SHALL BE 2X4 UNLESS OTHERWISE NOTED. 11) ALL CORNERS OF THE STRUCTURE SHALL BE SHEATHED WITH 5/8" APA RATED SHEATHING, EXPOSURE I NAILED WITH 6D COMMON NAILS 4" O.C. (MAX) AT PANEL EDGES AND 6" O.C. (MAX) AT INTERMEDIATE SUPPORTS. BALANCE OF SHEATHING SHALL BE AT BUILDER'S OPTION. 12) BUILDING SHALL BE WRAPPED WITH DUPONT TYVEK. 13) PORTLAND CEMENT STUCCO SHALL CONSIST OF BASE AND FINISH COATS APPLIED OVER MIN. 2.4 SELF FURRING GALV. WIRE LATH AND 30# FELT. 14) WINDOW SIZES ARE GENERAL. ALL GLAZING OVER 9SF AND/OR WITHIN 24" OFF FLOOR SHALL BE TEMPERED. WINDOWS 6" ABOVE GRADE SHALL BE AT LEAST 18" OFF FLOOR. 15) ALL STUD FRAMED WALLS GREATER THAN 8'-6" VERTICALLY SHALL BE LATERIALLY BRACED AT THE MIDPOINT WITH SOLID BLOCKING. 16) INTERIOR PARTITIONS SHALL RECEIVE 1/2" GYPSUM DRYWALL. 17) NO BACKFILLING OR ROUGH GRADING SHALL BE DONE UNTIL THE FIRST FLOOR DECK IS COMPLETELY INSTALLED. 18) ALL DIMENSIONS ARE TO ROUGH STUD FACE, CONCRETE OR C.M.U. FACE. 19) MASONRY AND STONE VENEERS SHALL BE ANCHORED TO SHEATHING WITH GALVANIZED CORRUGATED METAL TIES AT 2'-8" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. FLASHING SHALL EXTEND BELOW MASONRY OR STONE AT ALL SILLS; WEEP HOLES SHALL BE PROVIDED AT 4'-0" O.C. AT BASE OF CAVITY. 20) METAL HEAD FLASHING SHALL BE INSTALLED IN ALL WINDOWS THAT ARE NOT LOCATED IMMEDIATELY BELOW AN 8" MIN EAVE PROJECTION. MIN. 6" WIDE 30# BUILDING PAPER FLASHING SHALL BE INSTALLED AROUND PRIMED WOOD WINDOWS. 21) ALLOW A MINIMUM OF 8" BETWEEN THE TOP OF FOUNDATION AND GRADE AND A MINIMUM OF 6" BETWEEN FINISH GRADE AND SHEATHING OR SIDING. 22) ALL SMOKE DETECTORS SHALL BE INTERCONNECTED. ALL DETECTORS SHALL HAVE A PRIMARY 120 VOLT SUPPLY AND A SECONDARY SYSTEM CONSISTING OF A BATTERY BACK-UP. 23) CONSULT MANUFACTURER SPECIFICATIONS OF ENGINEERED LUMBER. PAY PARTICULAR ATTENTION TO ASSEMBLY OF MULTIPLE MEMBER BEAMS, NAILING PROCEDURES AND CUT OUTS FOR UTILITIES. 24) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND ACCOMMODATION OF HVAC, PLUMBING, AND ELECTRICAL SYSTEMS. NO STRUCTURAL OR ARCHITECTURAL CHANGES SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE ARCHITECT. 	<p>T-1 TITLE SHEET</p> <p>A-1 FLOOR PLANS</p> <p>A-2 ELEVATIONS</p> <p>A-3 BUILDING SECTIONS</p> <p>S-1 STRUCTURAL PLANS</p>	<p style="text-align: center;">LEGEND</p> <table border="0" style="width: 100%;"> <tr> <td style="vertical-align: top;"> <p>ADJ. ADJUSTABLE AGL. ABOVE GROUND LEVEL AMSL. ABOVE MEAN SEA LEVEL APPROX. APPROXIMATE CAB. CABINET CONC. CONCRETE CONT. CONTINUOUS CONST. CONSTRUCTION COAX. COAXIAL CJ. CONSTRUCTION JOINT DIA. DIAMETER DTL. DETAIL DWG. DRAWING EA. EACH ELEC. ELECTRIC ELEV. ELEVATION EQ. EQUAL EQUIP. EQUIPMENT EXT. EXTERIOR FF. FINISH FLOOR FTG. FOOTING GA. GAUGE GALV. GALVANIZED GC. GENERAL CONTRACTOR GRND. GROUND HORIZ. HORIZONTAL INT. INTERIOR LG. LONG MAX. MAXIMUM MFG. MANUFACTURER</p> </td> <td style="vertical-align: top;"> <p>MIN. MINIMUM MTL. METAL NIC. NOT IN CONTRACT NTS. NOT TO SCALE OC. ON CENTER OHP. OVERHEAD POWER OHT. OVERHEAD TELCO PWR. POWER SF. 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ZONED = R100
 LOT SIZE = 44250SF
 EXISTING BUILDING AREA = 1499SF
 DEMO BUILDING AREA = 198SF
 NEW BUILDING AREA = 281SF
 TOTAL BUILDING AREA = 1582SF = 4%
 ALLOWABLE BUILDING AREA = 20%
 EXISTING IMPERVIOUS AREA = 3033SF
 NEW IMPERVIOUS AREA = 281SF
 TOTAL IMPERVIOUS AREA = 3314SF = 7%
 ALLOWABLE IMPERVIOUS AREA = 30%

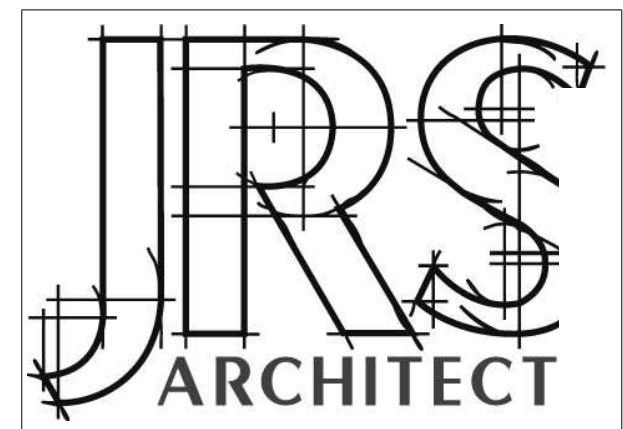
1 FIRST FLOOR PLAN
 A-1 SCALE: 1/4" = 1'-0"

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PROJECT
 1035 QUARRY HALL ROAD
 WORCESTER TOWNSHIP

PROJECT NUMBER DRAWN BY CHECKED BY APPROVED BY

SHEET TITLE
 ARCHITECTURAL
 PLOT PLAN



J.R. Stephens
 Architects

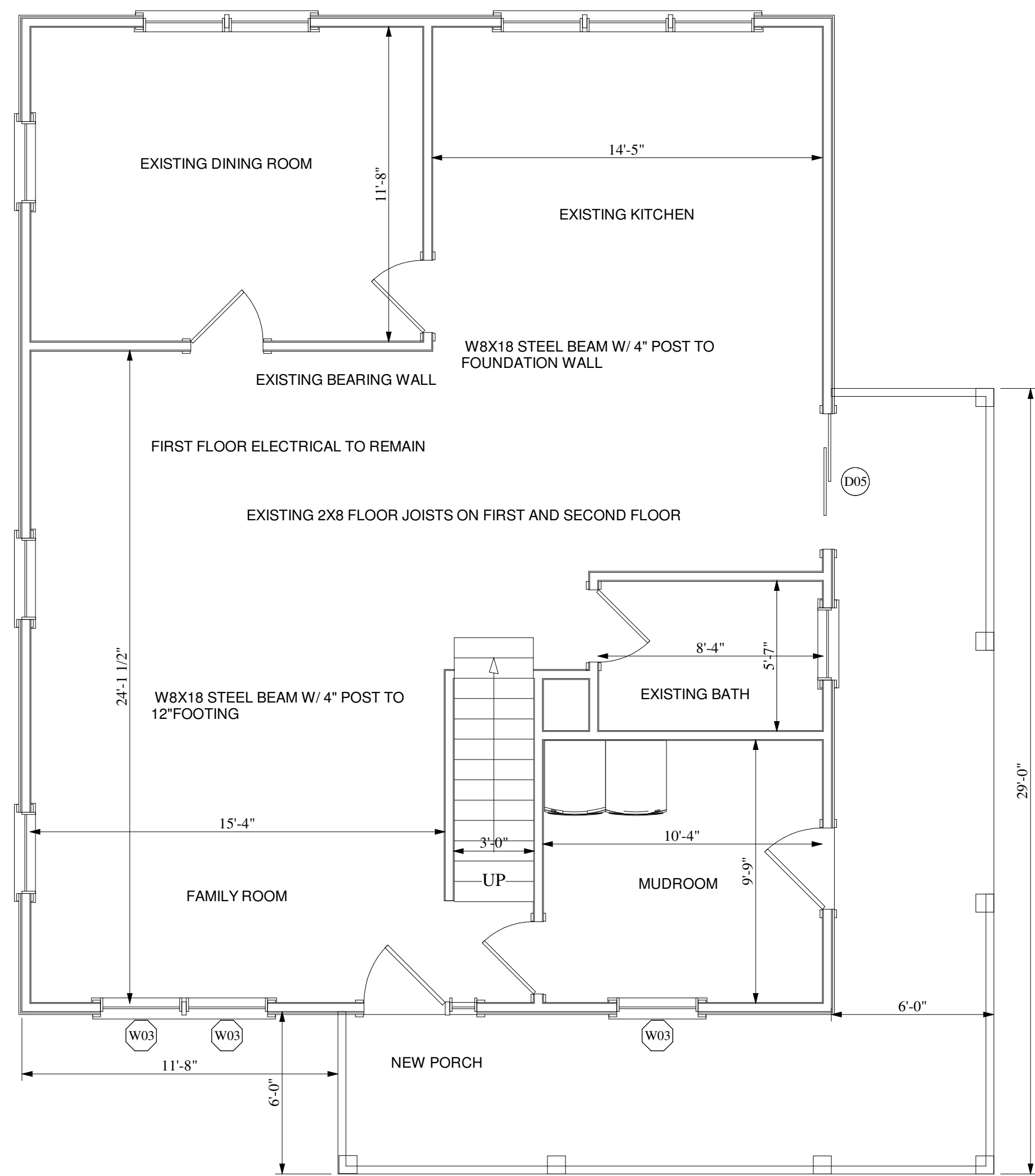


Contact Person:
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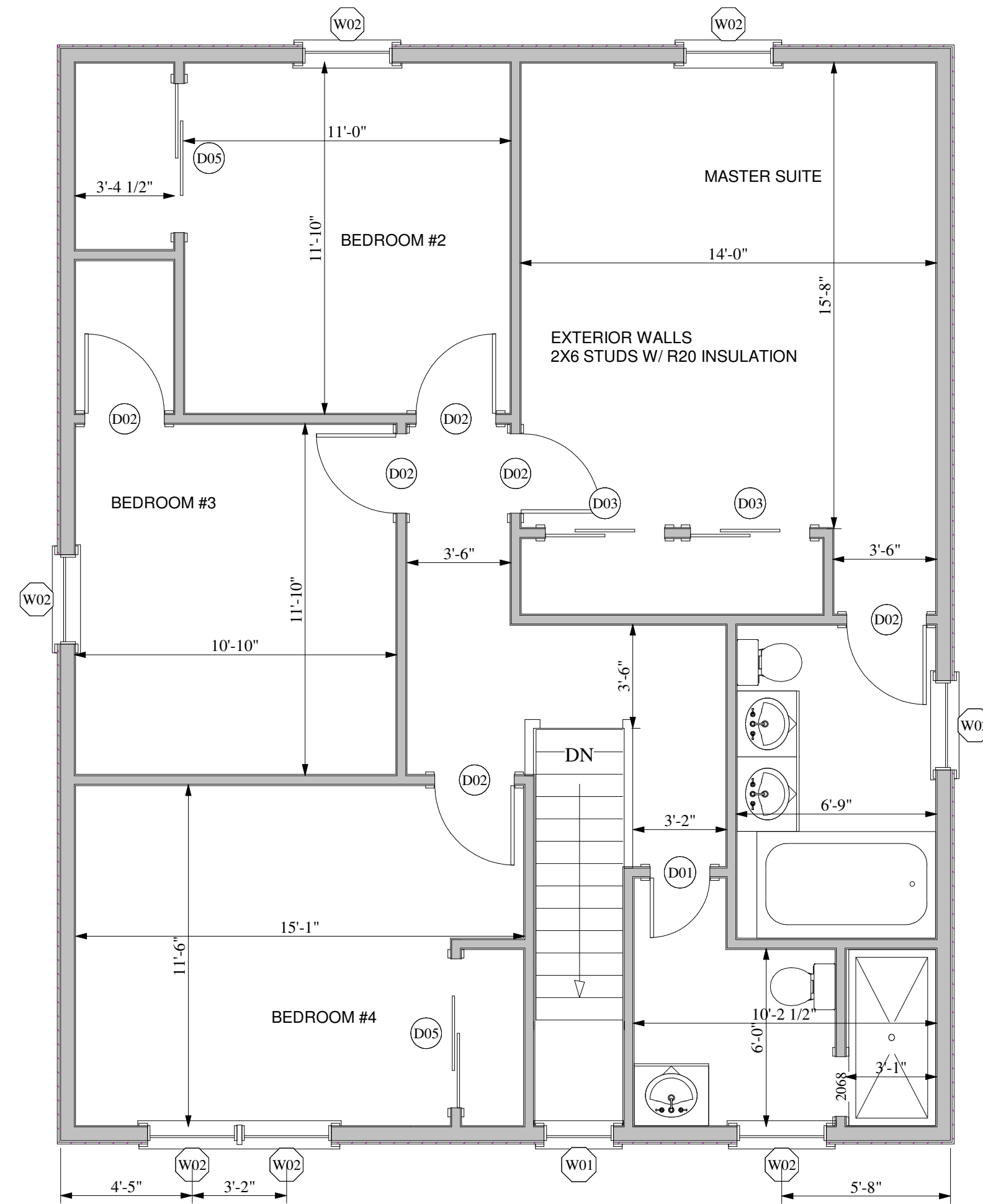
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P.O. Box 301, Fairview Village, PA 19409
 Tel: 610-496-5428 email julie@rstephensarchitects.com

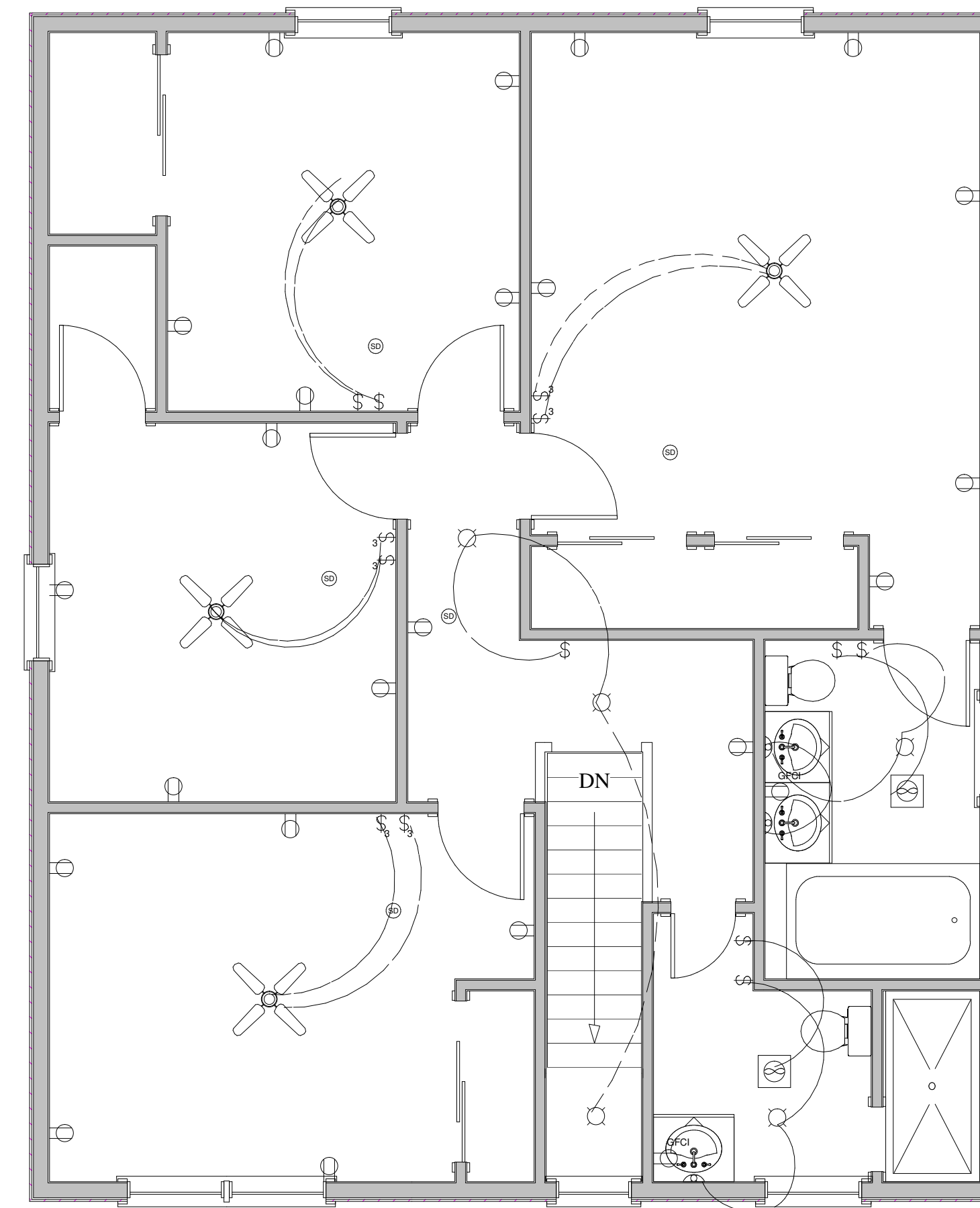
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 License No. RA016665



1 FIRST FLOOR PLAN
A-1 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
A-1 SCALE: 1/4" = 1'-0"



- NOTE:
1. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED W/ A BATTERY BACKUP.
 2. PROVIDE LIGHTS IN ATTIC EVERY 10' ALONG CENTER PATH. PLACE SWITCH IN HALL.
 3. ALL BEDROOM OUTLETS SHALL BE ON AN ARC-FAULT BREAKER.

3 SECOND FLOOR ELECTRICAL PLAN
A-1 SCALE: 1/4" = 1'-0"

DOOR SCHEDULE				
NUMBER	QTY	WIDTH	HEIGHT	COMMENTS
D01	1	24"	80"	
D02	6	32"	80"	
D03	2	48"	80"	
D05	3	60"	80"	

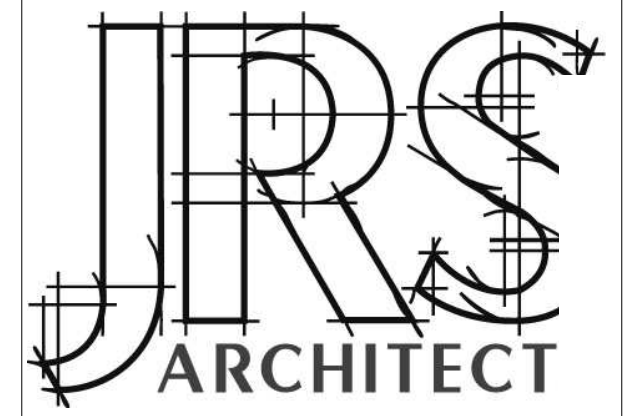
WINDOW SCHEDULE					
NUMBER	QTY	WIDTH	HEIGHT	EGRESS	COMMENTS
W01	1	28"	48"		
W02	7	36"	56"		
W03	3	36"	60"		

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PROJECT: 1035 QUARRY HALL ROAD WORCESTER TOWNSHIP

PROJECT NUMBER: _____ DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____


SHEET TITLE: ARCHITECTURAL FLOOR PLANS



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SHEET NUMBER:
A-1



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1 FRONT ELEVATION
A-2 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
A-2 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
A-2 SCALE: 1/4" = 1'-0"



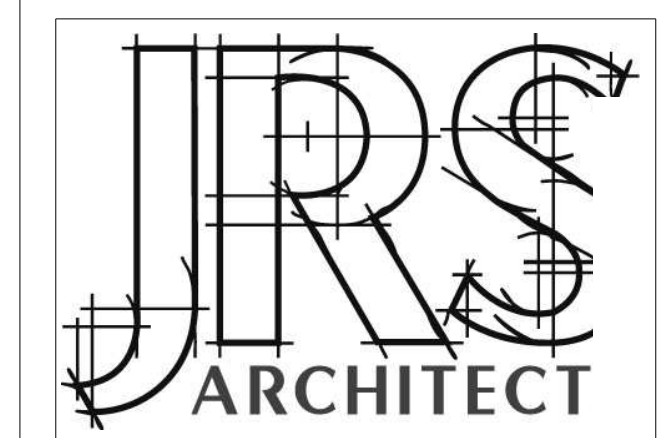
4 SIDE ELEVATION
A-2 SCALE: 1/4" = 1'-0"

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PROJECT
**1035 QUARRY HALL ROAD
WORCESTER TOWNSHIP**

PROJECT NUMBER _____ DRAWN BY _____ CHECKED BY _____ APPROVED BY _____

SHEET TITLE
**ARCHITECTURAL
ELEVATIONS**



**J.R. Stephens
Architects**

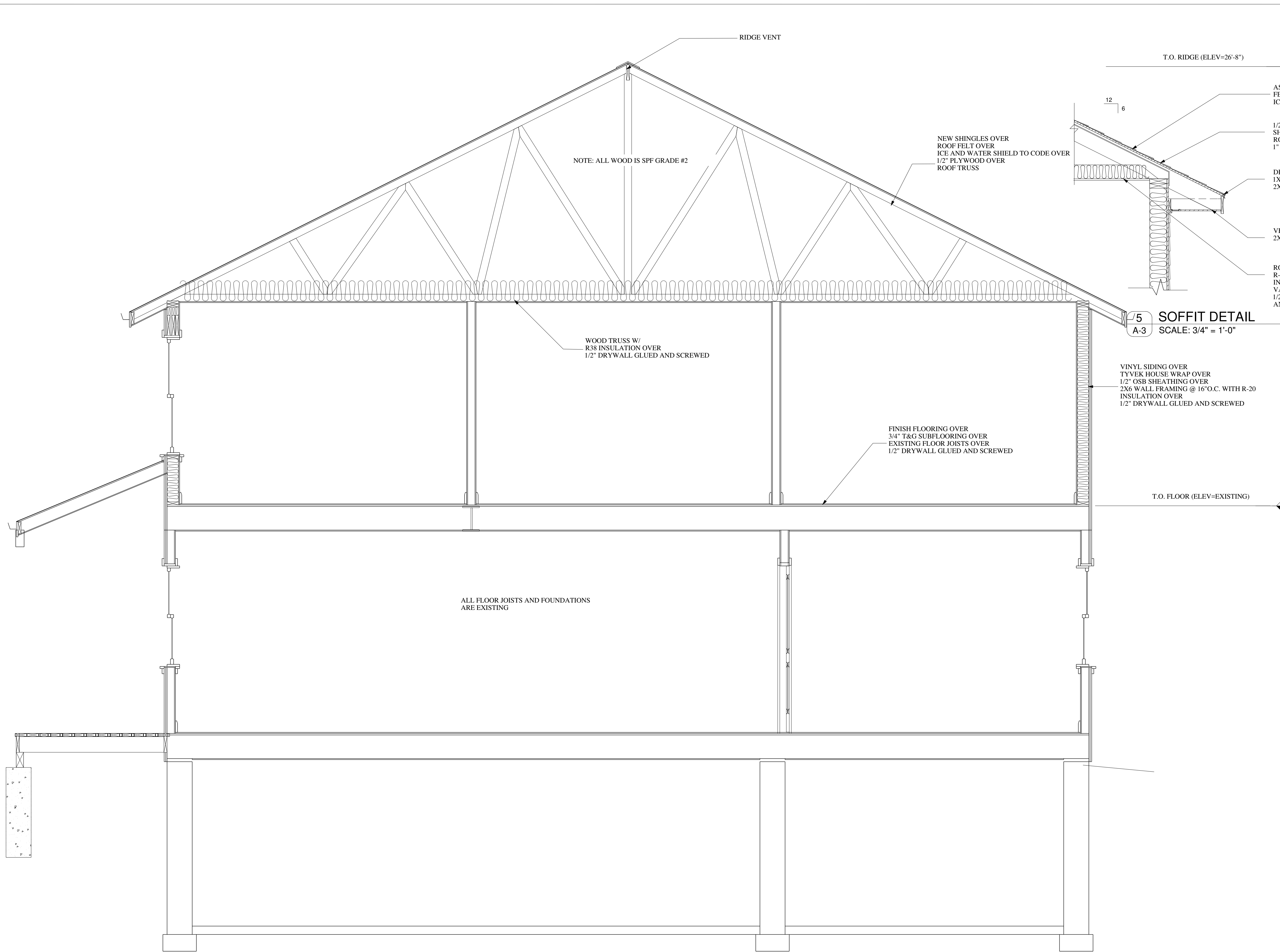


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SHEET NUMBER
A-2

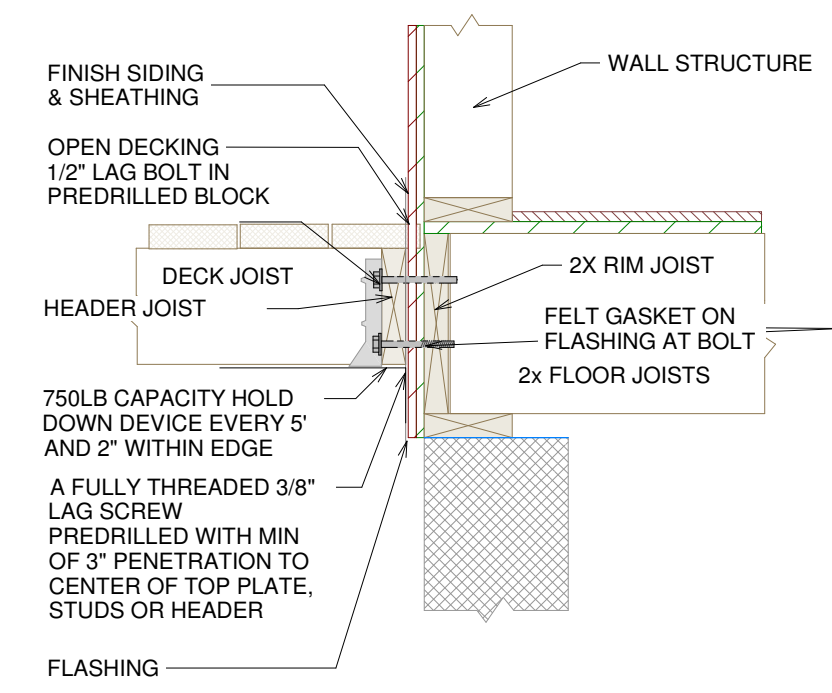
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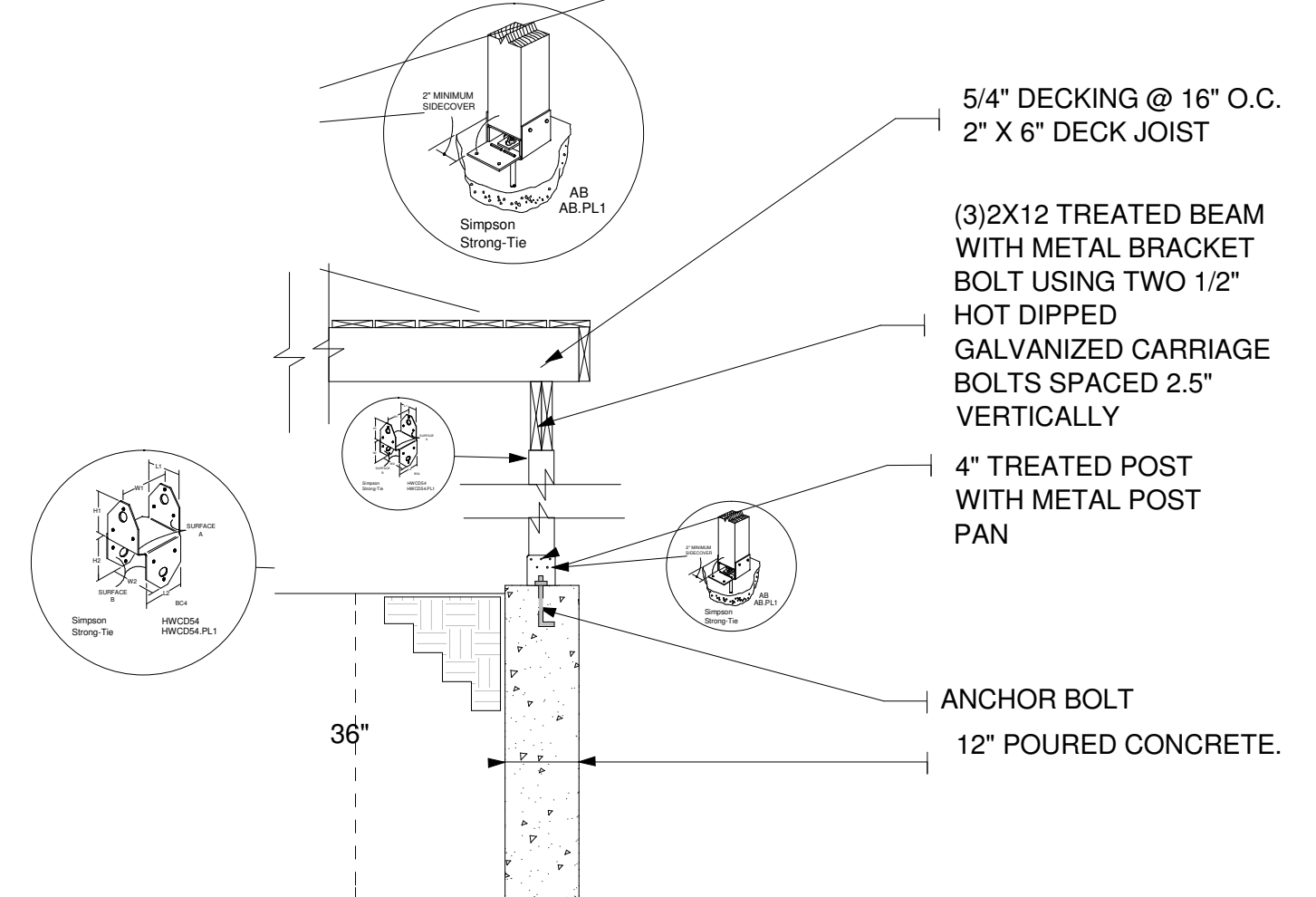
5 SOFFIT DETAIL
A-3 SCALE: 3/4" = 1'-0"

2 DECK ROOF DETAIL
A-3 SCALE: 1/2" = 1'-0"



3 DECK DETAIL
A-3 SCALE: 1" = 1'-0"

ALL WOOD SHALL BE SPF #2 PRESSURE TREATED USE ONLY 10P HOT DIPPED GALVANIZED NAILS



4 DECK DETAIL
A-3 SCALE: 1/2" = 1'-0"

1 BUILDING SECTION
A-3 SCALE: 1/2" = 1'-0"

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PROJECT: 1035 QUARRY HALL ROAD WORCESTER TOWNSHIP

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SHEET TITLE: ARCHITECTURAL ELEVATIONS

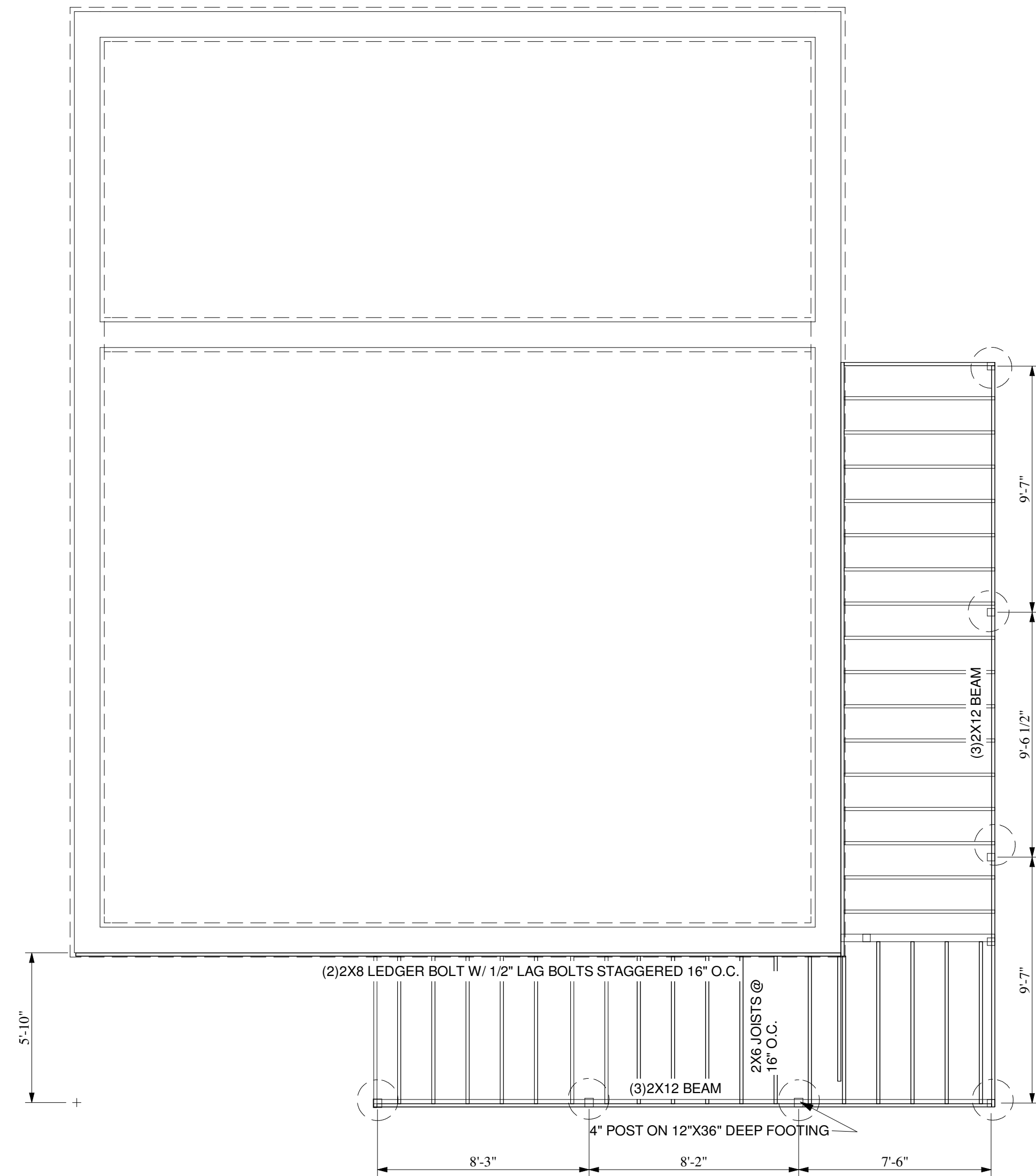
J.R. Stephens Architects

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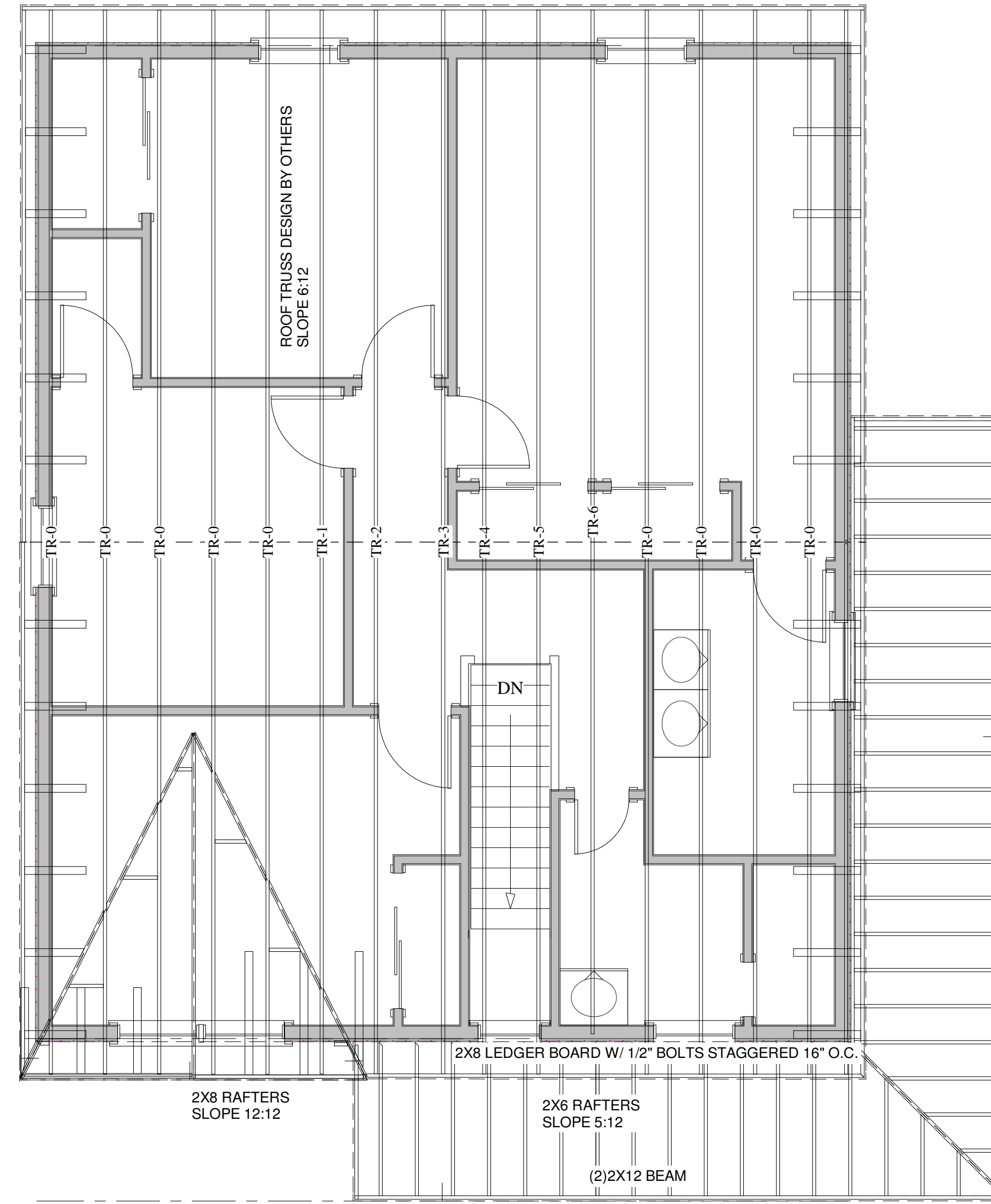
SHEET NUMBER:
A-3

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5 PORCH FRAMING
A-1 SCALE: 1/4" = 1'-0"



4 ROOF FRAMING PLAN
A-1 SCALE: 1/4" = 1'-0"

CONCRETE NOTES:

1. REINFORCED CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318 LATEST EDITION.
2. CONCRETE MATERIALS: Fc = 3000 PSI
CEMENT: ASTM C150, TYPE 1
AGGREGATE: ASTM C33
WATER: ASTM C94
3. REINFORCING MATERIALS:
REINFORCING BARS: ASTM A615, GRADE 60, DEFORMED
4. REINFORCING BARS SHALL BE LAPPED A MINIMUM OF 36 BAR DIAMETERS
5. MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT AS FOLLOWS:
CAST AGAINST EARTH: 3" CLEAR
CONCRETE EXPOSED TO EARTH: 2" CLEAR
ALL OTHER CONCRETE: 3/4" CLEAR
6. COLD-WEATHER PLACING SHALL COMPLY WITH THE PROVISIONS OF ACI-306R. THE USE OF CALCIUM CHLORIDE, SALT AND OTHER MATERIALS CONTAINING ANTI-FREEZE AGENTS OR CHEMICAL ACCELERATORS SHALL NOT BE PERMITTED UNLESS OTHERWISE ACCEPTED IN THE MIX DESIGN.

MASONRY NOTES:

1. MASONRY MATERIALS:
CONCRETE MASONRY UNITS ASTM C90, TYPE 1
MIN COMP. STRENGTH = 1500 PSI
MORTAR - TYPE M OR S MIN COMP. STRENGTH = 2500 PSI
GROUT ASTM C476
MIN COMP. STRENGTH = 3000 PSI
2. REINFORCING MATERIALS:
REINFORCING BARS ASTM A615, GRADE 60, DEFORMED
JOINT REINFORCING ASTM A951, 0.148" RODS MIN.

TIMBER NOTES:

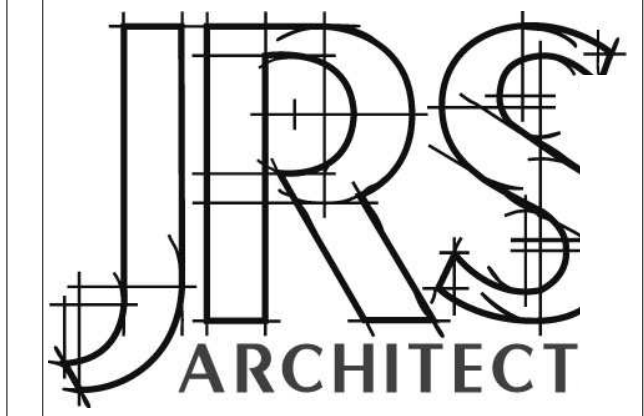
1. ALL WOOD FRAMING SHALL BE FABRICATED, ERECTED, AND BRACED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION
2. ALL SAWN LUMBER SHALL BE SPF GRADE #2
3. ALL EXTERIOR DECKING, POSTS, AND JOISTS SHALL BE TREATED. FASTENERS AND CONNECTORS USED WITH TREATED WOOD SHALL UTILIZE COATINGS TO EFFECTIVELY MINIMIZE CORROSION DUE TO WOOD TREATMENTS.
4. ALL STEEL TIMBER FASTENINGS AND JOIST HANGERS SHALL BE A MINIMUM OF 16 GA. GALVANIZED STEEL WITH A RATED LOAD CAPACITY EQUAL TO OR EXCEEDING THE IMPOSED LOADING REQUIREMENTS
5. ALL WOOD PLATES BEARING ON MASONRY OR CONCRETE WALLS SHALL BE PRESSURE TREATED LUMBER UNLESS OTHERWISE NOTED
6. ALL DOUBLE JOISTS SHALL BE SPIKED TOGETHER WITH 10D NAILS @ 16" O.C.. ALL DOUBLE TJI JOISTS SHALL BE ATTACHED PER MANUFACTURERS SPECIFICATIONS
7. ALL WOOD BEAMS MADE UP OF 3 OR MORE MEMBERS SHALL BE BOLTED TOGETHER W/ 1/2" DIAMETER BOLTS @ 32" O.C.
8. ALL PLYWOOD ROOF SHEATHING SHALL BE SECURED W/ PLY CLIPS AT CENTERLINE OF PLYWOOD SPAN AND AT ALL EDGES OF PARALLEL TO SPAN
9. PLYWOOD SHEATHING SHALL BE CONTINUOUS OVER A MINIMUM OF 3 SPANS
10. PLYWOOD SHALL BE SECURED USING 8D NAILS
11. ALL CORNERS OF THE STRUCTURE SHALL BE SHEATHED WITH 1/2" APA RATED SHEATHING, EXPOSURE 1 NAILED WITH 8D COMMON NAILS 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
12. ALL FIRST FLOOR AND BASEMENT DOOR AND WINDOW HEADERS ARE (2)2X12 UNLESS OTHERWISE NOTED.
13. ALL SECOND FLOOR DOOR AND WINDOW HEADERS ARE (2)2X10 UNLESS OTHERWISE NOTED.

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PROJECT: 1035 QUARRY HALL ROAD WORCESTER TOWNSHIP

SHEET TITLE: STRUCTURAL FLOOR PLANS

PROJECT NUMBER: _____ DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____



J.R. Stephens Architects



Contact Person:
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SHEET NUMBER
S-1

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