

WORCESTER TOWNSHIP BOARD OF SUPERVISORS
BUSINESS MEETING MINUTES
MAY 21, 2025 – 7:00 P.M.

CALL TO ORDER

Chairman Rick DeLello called the meeting to order at 7:00 p.m. in the main meeting room of the Worcester Township Building. The Pledge of Allegiance was recited.

ROLL CALL

Supervisors present:

- Rick DeLello, Chair
- Lou Betz, Vice Chair
- Steve Quigley, Supervisor

Staff present:

- Dan DeMeno, Township Manager
- Wendy McKenna, Township Solicitor
- John Everts, Township Engineer
- Dustin Schreiber, Special Projects Manager

ANNOUNCEMENTS & INFORMATIONAL ITEMS

Chair DeLello reported that all three supervisors attended the 2025 PSATS Conference in Hershey. Supervisor Quigley highlighted key statewide topics including proposed centralized zoning and the statewide EMS funding crisis.

The Township's 2024 Audit has been completed and posted to the website. In response to a question from Bob Andorn, Manager DeMeno confirmed that the auditor will attend the June work session to present the audit findings.

PUBLIC COMMENT (General)

Christine Steere, Dayton Road, expressed appreciation to poll workers, student volunteers, and election hosts for a successful Primary Election.

Jane Voss, Stony Creek Farms, requested an update on enforcement at 1616 Whitehall Road. Manager DeMeno explained the current zoning determination, land development submission deadline, and continuing oversight under the Court of Common Pleas.

Cheryl Brumbaugh, Stony Creek Farms, inquired about interagency enforcement. Manager DeMeno and Chair DeLello confirmed the Township has been working with DEP and the Montgomery County Conservation District.

Tim Creelman asked about fines and enforcement history at 1616 Whitehall Road. Solicitor McKenna explained that the Township proceeded through civil enforcement in the Montgomery County Court of Common Pleas to obtain injunctive relief not available through the district court.

CONSENT AGENDA

Motion by Supervisor Quigley, seconded by Supervisor Betz, to approve:

- April 17, 2025 Business Meeting Minutes (corrected to reflect 38 units at Meadowood)
 - April 2025 Treasurer's Report
 - April 2025 Bill Payment List in the amount of \$494,444.17
- Motion passed unanimously.

OFFICIAL ACTION ITEMS

1. Developer Escrow Releases – The Reserve at Center Square

Motion by Supervisor Betz, seconded by Supervisor Quigley, to approve Phase 1 – Release #9. Motion passed unanimously.

Motion by Supervisor Betz, seconded by Supervisor Quigley, to approve Phase 2 – Release #7. Motion passed unanimously.

Motion by Supervisor Betz, seconded by Supervisor Quigley, to approve Phase 3 – Release #7. Motion passed unanimously.

Engineer Everts confirmed all items released were field-verified and that substantial escrow remains held for outstanding work.

2. Resolution 2025-11 – Minor Subdivision at 2991 Mohill Road

Motion by Supervisor Betz, seconded by Supervisor Quigley, to approve Resolution 2025-11 approving land development application LD-2025-03 for a two-lot minor subdivision on Mohill Road, including a flag lot and associated waiver of the traffic impact fee. Motion passed unanimously.

3. Resolution 2025-12 – Adoption of Montgomery County 2022 Hazard Mitigation Plan

Motion by Supervisor Betz, seconded by Supervisor Quigley, to approve Resolution 2025-12 adopting the Montgomery County 2022 Hazard Mitigation Plan as the official hazard mitigation plan of Worcester Township.

Manager DeMeno explained that the plan maintains the Township's eligibility for FEMA and PEMA disaster relief funds. He will post a link to the plan on the

Township's website.

Motion passed unanimously.

4. Authorization to Advertise – 2025 Road Program Bid Package

Motion by Supervisor Quigley, seconded by Supervisor Betz, to authorize advertisement of the 2025 Road Improvement Program bid.

Engineer Everts stated the base bid includes ten roads (primarily in Sunnybrook Estates), with an alternate for three roads off North Wales Road. Motion passed unanimously.

PUBLIC HEARING

Proposed Ordinance 2025-13 – Comcast Franchise Agreement

Solicitor McKenna opened the public hearing and entered Exhibits B1 through B5 into the record. She summarized the proposed 10-year agreement with Comcast, including a 5% franchise fee, reporting and audit rights, non-exclusivity, and breach penalties.

Supervisor Betz raised concerns regarding Comcast's failure to address a long-standing utility pole maintenance issue at Church and Germantown Pike.

Supervisor Quigley expressed a desire to hold Comcast to a higher standard, similar to how the Township holds private developers accountable.

The Board agreed to table action on the ordinance and leave the hearing open. Manager DeMeno and Solicitor McKenna will revisit the agreement with the Cohen Law Group and Comcast to discuss possible additions related to service and maintenance accountability. The hearing will resume at the June meeting.

OTHER BUSINESS

None.

FINAL PUBLIC COMMENT

Bob Andorn reiterated his concern that the Township is not enforcing its prohibition on internally illuminated signage. He noted that some businesses have turned off signage while others, including a supervisor's property, remain lit in contradiction to the ordinance. He asked the Township to either enforce the code or repeal it.

ADJOURNMENT

Motion by Supervisor Quigley, seconded by Supervisor Betz, to adjourn. Motion passed unanimously. The meeting adjourned at approximately 9:35 p.m.

June 12, 2025
11:58 AM

TOWNSHIP OF WORCESTER
Check Register By Check Date

Page No: 1

Range of Checking Accts: First to Last Range of Check Dates: 05/16/25 to 06/12/25
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
CAPITAL RESERVE CAPITAL FUND					
775	05/22/25	ARROC005 ARRO CONSULTING, INC.	2,118.50	05/31/25	813
776	05/22/25	MCMAH010 MCMAHON A BOWMAN COMPANY	262.50	05/31/25	813
777	05/22/25	MONTC010 MONTCO FENCE & SUPERIOR STRUCT	38,535.00	05/31/25	813
778	05/22/25	SANDS005 SANDS FORD OF RED HILL	60,200.00	05/31/25	813
779	05/22/25	TRAID005 TRAIID TRUCK EQUIPMENT, INC.	21,808.00	05/31/25	813

Checking Account Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	122,924.00	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>122,924.00</u>	<u>0.00</u>

GENERAL FUND GENERAL FUND					
36887	05/22/25	21STC005 21ST CENTRY MEDIA	529.13		811
36888	05/22/25	ALURA005 VALEO NETWORKS	2,504.68	05/31/25	811
36889	05/22/25	AMERIO05 AMERICAN FUELS, LLC.	1,159.05	05/31/25	811
36890	05/22/25	AQUAP005 AQUA PENNSYLVANIA, INC.	7.57		811
36891	05/22/25	ARMOU005 ARMOUR & SONS ELECTRIC INC	1,082.29	05/31/25	811
36892	05/22/25	ARROC005 ARRO CONSULTING, INC.	24,451.02	05/31/25	811
36893	05/22/25	BARRY005 BARRY ISETT & ASSOCIATES INC	400.00	05/31/25	811
36894	05/22/25	BEEBE005 BEE BERGVALL & CO, PC	2,000.00		811
36895	05/22/25	BRANT005 BRANT & ASSOCIATES, LLC	37,644.60	05/31/25	811
36896	05/22/25	BRUSC005 BRUSCA LANDSCAPE SUPPLY	112.00	05/31/25	811
36897	05/22/25	CARDM005 CARDMEMBER SERVICES	1,100.06	05/31/25	811
36898	05/22/25	CDILA005 CDI LAWN & EQUIPMENT	183.89		811
36899	05/22/25	CINTA005 CINTAS	215.31		811
36900	05/22/25	CLEME005 CLEMENS SEPTIC SERVICE	150.00	05/31/25	811
36901	05/22/25	DELEL005 DELELLO, RICHARD	1,506.03		811
36902	05/22/25	DHULS005 D'HULSTER, ROBERT	650.00	05/31/25	811
36903	05/22/25	FRASE005 FRASER ADVANCED INFO SYSTEMS	609.21		811
36904	05/22/25	FUREY005 FUREY & BALDASSARI, P.C.	800.00	05/31/25	811
36905	05/22/25	GTELL005 GT & E LLC	3,642.83	05/31/25	811
36906	05/22/25	HOISI005 HOISINGTON, JUSTIN	375.00		811
36907	05/22/25	KENCO005 KENCO HYDRAULICS INC	332.54	05/31/25	811
36908	05/22/25	KERPE005 KERPER, ALBERT	40.00	05/31/25	811
36909	05/22/25	KEYST005 KEYSTONE MUNICIPAL SERVICES, I	6,840.00	05/31/25	811
36910	05/22/25	LITTL005 LITTLE, ROBERT E, INC	433.56	05/31/25	811
36911	05/22/25	MCMAH010 MCMAHON A BOWMAN COMPANY	2,137.50	05/31/25	811
36912	05/22/25	MESZA005 MESZAROS, PAULA	798.00		811
36913	05/22/25	METRO005 METROPOLITAN LIFE INSURANCE CO	913.46	05/31/25	811
36914	05/22/25	MILLE015 MILLER, JESSE	375.00	05/31/25	811
36915	05/22/25	MORAN005 MORAN, MARC	375.00	05/31/25	811
36916	05/22/25	MOSES005 MOSES, AARON	650.00		811
36917	05/22/25	MOYER005 MOYER PEST CONTROL	98.00		811
36918	05/22/25	ORRJO005 ORR, JOHN	650.00		811
36919	05/22/25	PECOE005 PECO ENERGY	1,201.69	05/31/25	811
36920	05/22/25	PENNS015 PENNSYLVANIA MUNICIPAL LEAGUE	65.00	05/31/25	811
36921	05/22/25	PRIVA005 PRIVATE UTILITY ENTERPRISES, IN	490.00	05/31/25	811
36922	05/22/25	PSAB0005 PSAB-MRT	1,391.26	05/31/25	811
36923	05/22/25	SMITH005 SMITH, CHRISTINE A	3.95		811

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Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
GENERAL FUND	GENERAL FUND	Continued			
36924	05/22/25	STARP010 STAR PRINTING POSTAGE ACCT	1,123.26	05/31/25	811
36925	05/22/25	SYKES005 SYKES, PETER	680.00		811
36926	05/22/25	TRAIS005 TRAISR, LLC	1,600.00	05/31/25	811
36927	05/22/25	VERI0010 VERIZON	48.22	05/31/25	811
36928	05/22/25	VERIZ005 VERIZON WIRELESS	135.20	05/31/25	811
36929	06/04/25	ADVAN005 WM CORPORATE SERVICES INC.	465.85		814
36930	06/04/25	AMERI005 AMERICAN FUELS, LLC.	925.30		814
36931	06/04/25	COMCA005 COMCAST	647.00		814
36932	06/04/25	DELA005 DELAWARE VALLEY HEALTH INSURA	23,562.69		814
36933	06/04/25	DEMEN005 DEMENO, DAN	652.77		814
36934	06/04/25	JONES010 JONES, CHRISTIAN	628.94		814
36935	06/04/25	MGLPR005 MGL PRINTING SOLUTIONS	415.00		814
36936	06/04/25	NORTH005 NORTH PENN WATER AUTHORITY	104.11		814
36937	06/04/25	PAWC0005 PAWC	1,226.66		814
36938	06/04/25	PECOE005 PECO ENERGY	1,345.56		814
36939	06/04/25	PROTE005 EVERON	466.30		814
36940	06/04/25	PSAB0005 PSAB-MRT	1,391.26		814
36941	06/04/25	PURCH005 PURCHASE POWER	590.96		814
36942	06/04/25	QUIGL005 QUIGLEY, STEVE	1,176.72		814
36943	06/04/25	SCHRE005 SCHREIBER, DUSTIN	959.24		814
36944	06/04/25	STAT0010 STATE WORKERS INSURANCE FUND	2,672.00		814
36945	06/04/25	U-000002 ANDERSON, SCOTT & DR. JACLYN	1,375.00		814
36946	06/04/25	VERI0010 VERIZON	45.07		814
36947	06/04/25	WEXBA005 WEX BANK	940.30		814

Checking Account Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	61	0	139,095.04	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	61	0	139,095.04	0.00

WASTE WATER FUN	WASTE WATER FUND			
5036	05/22/25	AQUAP005 AQUA PENNSYLVANIA, INC.	22.33	812
5037	05/22/25	ARROC005 ARRO CONSULTING, INC.	3,804.60	05/31/25 812
5038	05/22/25	BELLW005 BELLWOAR KELLY, LLP	229.50	05/31/25 812
5039	05/22/25	PECOE005 PECO ENERGY	333.28	05/31/25 812
5040	05/22/25	TLCDR005 TLC DRAIN SEWER AND WATER	4,348.12	05/31/25 812
5041	05/22/25	UNIVA005 UNIVAR USA, INC.	1,293.20	812
5042	05/22/25	USABL005 USA BLUE BOOK	6,096.04	05/31/25 812
5043	05/22/25	VERI0010 VERIZON	183.25	05/31/25 812
5044	05/22/25	WINDR005 WIND RIVER ENVIRONMENT LLC	2,547.00	05/31/25 812
5045	06/04/25	MEADO005 MEADOWOOD SENIOR LIVING	285.67	815
5046	06/04/25	MGLPR005 MGL PRINTING SOLUTIONS	1,202.00	815
5047	06/04/25	PAWC0005 PAWC	426.40	815
5048	06/04/25	PECOE005 PECO ENERGY	12,319.11	815
5049	06/04/25	PRIVA005 PRIVATE UTILITY ENTERPRISES, IN	11,702.17	815
5050	06/04/25	UNIVA005 UNIVAR USA, INC.	5,495.31	815
5051	06/04/25	VERI0010 VERIZON	134.05	815
5052	06/04/25	WINDR005 WIND RIVER ENVIRONMENT LLC	2,442.00	815

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Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
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WASTE WATER FUN	WASTE WATER FUND	Continued			
Checking Account Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>	
Checks:	17	0	52,864.03	0.00	
Direct Deposit:	<u>0</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	
Total:	<u>17</u>	<u>0</u>	<u>52,864.03</u>	<u>0.00</u>	
<hr/>					
Report Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>	
Checks:	83	0	314,883.07	0.00	
Direct Deposit:	<u>0</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	
Total:	<u>83</u>	<u>0</u>	<u>314,883.07</u>	<u>0.00</u>	

Totals by Year-Fund Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
	5-001	119,209.68	878.95	288.00	120,376.63
	5-008	52,864.03	0.00	0.00	52,864.03
	5-030	122,924.00	0.00	0.00	122,924.00
Total of All Funds:		<u>294,997.71</u>	<u>878.95</u>	<u>288.00</u>	<u>296,164.66</u>

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Check Register By Check Date

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Totals by Fund Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
	001	119,209.68	878.95	288.00	120,376.63
	008	52,864.03	0.00	0.00	52,864.03
	030	122,924.00	0.00	0.00	122,924.00
Total of All Funds:		<u>294,997.71</u>	<u>878.95</u>	<u>288.00</u>	<u>296,164.66</u>

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TOWNSHIP OF WORCESTER
Breakdown of Expenditure Account Current/Prior Received/Prior Open

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Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
	5-001	119,209.68	0.00	0.00	0.00	119,209.68
	5-008	52,864.03	0.00	0.00	0.00	52,864.03
	5-030	122,924.00	0.00	0.00	0.00	122,924.00
Total of All Funds:		<u>294,997.71</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>294,997.71</u>

Project Description	Project No.	Project Total
ZAVETA / PADDOCKS	145-0186	554.00
3205 SKIPPACK- LGL/ENG	145-0260	3,737.60
RESERVE AT CENTER SQ-LGL/ENG	145-0299	2,349.25
WHITEHALL ESTATES-LGL/ENG	145-0303	63.00
MILL/PERNA-GUNSALAS- LGL/ENG	145-0328	223.50
BET INVESTMENT/DUBNER-LGL/ENG	145-0345	596.00
HUGANIR-ARDEN RESERVE-LGL/ENG	145-0350	1,110.30
2044 BERKS RD-LGL/ENG	145-0362	380.00
BELLFLOWER-LGL/ENG	145-0364	2,208.62
WESTRUM-TROOPER RD-LGL/ENG	145-0368	1,532.75
2991 MOHILL DRIVE-LGL/ENG	145-0377	1,314.75
1205 HOLLOW-WANGIA-LGL/ENG	145-0386	74.50
3120 FISHER-SMITH-LGL/ENG	145-0389	360.00
1038 WINDY HILL-ARDEN-LGL/ENG	145-0398	2,560.60
1501 N WALES-LGL/ENG	145-0399	819.00
ZHB APP LEE	145-0402	334.54
ZHB APP ANDERSON	145-0405	500.00
Total of All Projects:		<u>18,718.41</u>

TOWNSHIP OF WORCESTER

Statement of Revenue and Expenditures - Standard

06/12/2025
12:02 PM

Revenue Account Range: First to Last

Expend Account Range: First to Last

Print Zero YTD Activity: No

Include Non-Anticipated: No

Include Non-Budget: No

Year To Date As Of: 05/31/25

Current Period: 05/01/25 to 05/31/25

Prior Year: Thru 12/31/24

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-301-100-000	Property Taxes- Current	51,318.11	49,290.00	1,611.67	48,657.23	632.77 -	99
001-301-500-000	Property Taxes- Liened	726.55	510.00	60.38	213.14	296.86 -	42
001-301-600-000	Property Taxes- Interim	265.71	200.00	22.99	85.17	114.83 -	43
301 Total		52,310.37	50,000.00	1,695.04	48,955.54	1,044.46 -	97
001-310-030-000	Per Capita Taxes- Delinquent	78.10	100.00	11.00	19.80	80.20 -	20
001-310-100-000	Real Estate Transfer Taxes	501,088.81	250,000.00	39,704.27	248,413.91	1,586.09 -	99
001-310-210-000	Earned Income Taxes	3,734,313.06	3,586,000.00	807,162.29	1,182,252.86	2,403,747.14 -	33
001-310-220-000	Earned Income Taxes- Prior Year	0.00	15.00	0.00	0.00	15.00 -	0
310 Total		4,235,479.97	3,836,115.00	846,877.56	1,430,686.57	2,405,428.43 -	37
001-321-800-000	Franchise Fees	203,805.99	196,000.00	49,983.95	49,983.95	146,016.05 -	26
001-322-820-000	Road Opening Permits	424.00	300.00	53.00	106.00	194.00 -	35
001-322-900-000	Sign Permits	28.00	100.00	0.00	28.00	72.00 -	28
001-322-920-000	Solicitation Permits	588.00	500.00	252.00	588.00	88.00	118
322 Total		1,040.00	900.00	305.00	722.00	178.00 -	80
001-331-120-000	Ordinance Violations	6,117.88	1,600.00	42.36	889.55	710.45 -	56
001-341-000-000	Interest Earnings	18,440.44	5,000.00	1,212.33	3,889.51	1,110.49 -	78
001-342-000-000	Rents & Royalties	20,894.21	21,794.87	3,548.90	10,643.12	11,151.75 -	49
001-342-120-000	Cell Tower Rental	119,240.45	159,900.00	18,932.25	82,042.11	77,857.89 -	51
342 Rents & Royalties		140,134.66	181,694.87	22,481.15	92,685.23	89,009.64 -	51
001-355-010-000	Public Utility Realty Tax	3,453.57	3,453.57	0.00	0.00	3,453.57 -	0
001-355-040-000	Alcohol License Fees	600.00	600.00	0.00	200.00	400.00 -	33

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

06/12/2025
12:02 PM

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-355-050-000	General Municipal Pension State Aid	88,081.77	88,081.77	0.00	0.00	88,081.77 -	0
001-355-070-000	Volunteer Fire Relief Association	105,949.04	105,949.04	0.00	0.00	105,949.04 -	0
	355 Total	198,084.38	198,084.38	0.00	200.00	197,884.38 -	0
001-361-300-000	Land Development Fees	6,000.00	4,000.00	500.00	25,583.50	21,583.50	640
001-361-330-000	Conditional Use Fees	0.00	1,500.00	0.00	0.00	1,500.00 -	0
001-361-340-000	Zoning Hearing Board Fees	24,075.00	16,625.00	2,375.00	4,750.00	11,875.00 -	29
001-361-500-000	Map And Publication Sales	66.25	5.00	0.00	0.00	5.00 -	0
	361 Total	30,141.25	22,130.00	2,875.00	30,333.50	8,203.50	137
001-362-410-000	Building Permit Fees	138,816.21	80,000.00	7,747.51	47,213.62	32,786.38 -	59
001-362-420-000	Zoning Permit Fees	29,525.00	20,500.00	2,781.00	12,804.00	7,696.00 -	62
001-362-450-000	Commercial U&O Fees	600.00	200.00	200.00	300.00	100.00	150
001-362-460-000	Driveway Permit Fees	1,148.00	600.00	196.00	504.00	96.00 -	84
	362 Total	170,089.21	101,300.00	10,924.51	60,821.62	40,478.38 -	60
001-367-408-000	Sports & Lesson Fees	1,715.00	1,800.00	0.00	0.00	1,800.00 -	0
001-367-420-000	Park Miscellaneous	17,785.00	14,200.00	1,360.00	14,847.50	647.50	105
	367 Total	19,500.00	16,000.00	1,360.00	14,847.50	1,152.50 -	92
001-381-000-000	Miscellaneous Income	621.37	1,000.00	1,589.00	13,553.33	12,553.33	***
001-381-001-000	Service Charge Fees	288.44	225.00	31.74	101.06	123.94 -	45
	381 Miscellaneous Income	889.81	1,225.00	1,620.74	13,654.39	12,429.39	***
001-383-200-000	Escrow Administration	1,210.00	880.00	0.00	0.00	880.00 -	0
001-395-000-000	Refund of Prior Year Expenditures	9,220.92	0.00	0.00	6,088.23	6,088.23	0
	Fund 001 Revenue Totals	5,086,464.88	4,610,929.25	939,377.64	1,753,757.59	2,857,171.66 -	38

TOWNSHIP OF WORCESTER

Statement of Revenue and Expenditures

06/12/2025
12:02 PM

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-400-000-000	LEGISLATIVE BODY:	0.00	0.00	0.00	0.00	0.00	0
001-400-110-000	Legislative- Payroll	7,500.00	7,500.00	630.00	3,150.00	4,350.00	42
001-400-150-000	Legislative- Benefits	35,574.42	47,842.26	48.21	20,549.70	27,292.56	43
001-400-312-000	Legislative- Consultant Services	37,700.00	23,500.00	7,100.00	24,600.00	1,100.00 -	105
001-400-337-000	Legislative- Mileage Reimbursement	353.76	420.00	123.20	123.20	296.80	29
001-400-420-000	Legislative- Dues & Subscriptions	3,613.00	4,825.00	0.00	253.00	4,572.00	5
001-400-460-000	Legislative- Meetings & Seminars	4,530.57	5,300.00	1,382.83	2,979.83	2,320.17	56
	400 LEGISLATIVE BODY:	89,271.75	89,387.26	9,284.24	51,655.73	37,731.53	58
001-401-000-000	MANAGER:	0.00	0.00	0.00	0.00	0.00	0
001-401-120-000	Management- Payroll	283,133.54	278,750.00	32,163.45	110,384.58	168,365.42	40
001-401-150-000	Management- Benefits	54,919.44	79,035.35	3,712.38	39,597.05	39,438.30	50
001-401-312-000	Management- Consultant Services	5,904.60	9,950.00	0.00	0.00	9,950.00	0
001-401-321-000	Management- Mobile Phone	1,291.89	1,380.00	112.56	562.80	817.20	41
001-401-337-000	Management- Mileage Reimbursement	8,930.96	5,580.00	450.00	2,250.00	3,330.00	40
001-401-460-000	Management- Meetings & Seminars	4,582.10	5,610.00	65.00	2,970.66	2,639.34	53
	401 MANAGER:	358,762.53	380,305.35	36,503.39	155,765.09	224,540.26	41
001-402-000-000	FINANCIAL ADMINISTRATION:	0.00	0.00	0.00	0.00	0.00	0
001-402-120-000	Finance- Payroll	89,931.49	103,000.00	11,884.62	40,645.21	62,354.79	39
001-402-150-000	Finance- Benefits	56,484.01	54,640.36	997.90	18,243.51	36,396.85	33
001-402-321-000	Finance- Mobile Phone	300.00	300.00	25.00	125.00	175.00	42
001-402-337-000	Finance- Mileage Reimbursement	218.96	250.00	0.00	31.49	218.51	13
001-402-460-000	Finance- Meeting & Seminars	493.85	1,300.00	0.00	0.00	1,300.00	0
	402 FINANCIAL ADMINISTRATION:	147,428.31	159,490.36	12,907.52	59,045.21	100,445.15	37
001-403-000-000	TAX COLLECTION:	0.00	0.00	0.00	0.00	0.00	0
001-403-110-000	Tax Collection- Payroll	2,644.53	2,500.00	0.00	52.18	2,447.82	2

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<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
001-403-150-000	Tax Collection- Benefits	202.31	136.79	0.00	4.00	132.79	3
001-403-210-000	Tax Collection- Office Supplies	4,661.31	6,200.00	0.00	2,729.07	3,470.93	44
001-403-310-000	Tax Collection- Professional Services	38,882.10	39,446.17	7,389.62	17,738.18	21,707.99	45
	403 TAX COLLECTION:	46,390.25	48,282.96	7,389.62	20,523.43	27,759.53	43
001-404-000-000	LEGAL SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-404-310-000	Legal- General Services	259,715.95	183,663.50	33,911.85	88,692.11	94,971.39	48
001-404-320-000	Legal- RTK Services	5,672.50	12,000.00	0.00	2,961.00	9,039.00	25
	404 LEGAL SERVICES:	265,388.45	195,663.50	33,911.85	91,653.11	104,010.39	47
001-405-000-000	CLERICAL:	0.00	0.00	0.00	0.00	0.00	0
001-405-140-000	Clerical- Payroll	97,699.70	184,000.00	14,248.80	48,896.44	135,103.56	27
001-405-150-000	Clerical- Benefits	18,211.96	52,882.96	2,672.13	11,287.81	41,595.15	21
001-405-210-000	Clerical- Office Supplies	4,149.94	6,500.00	228.18	1,653.58	4,846.42	25
001-405-310-000	Payroll Services	13,010.01	13,770.00	1,846.14	6,893.92	6,876.08	50
001-405-321-000	Clerical- Telephone	3,216.92	4,893.00	500.00	1,766.44	3,126.56	36
001-405-325-000	Clerical- Postage	4,104.00	5,911.00	0.00	1,002.97	4,908.03	17
001-405-337-000	Clerical- Mileage Reimbursement	0.00	240.00	0.00	0.00	240.00	0
001-405-340-000	Clerical- Advertisement	4,227.88	6,300.00	419.72	948.85	5,351.15	15
001-405-460-000	Clerical- Meetings & Seminars	579.94	2,540.00	0.00	1,000.37	1,539.63	39
001-405-465-000	Clerical- Computer Expense	83,846.01	78,082.00	4,142.82	44,495.01	33,586.99	57
001-405-470-000	Clerical- Other Expense	12,831.19	14,226.00	694.41	4,199.22	10,026.78	30
	405 CLERICAL:	241,877.55	369,344.96	24,752.20	122,144.61	247,200.35	33
001-408-000-000	ENGINEERING SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-408-310-000	Engineering Services	81,006.52	52,250.00	7,850.20	21,695.93	30,554.07	42
001-409-000-000	GOVERNMENT BUILDINGS & PLANT:	0.00	0.00	0.00	0.00	0.00	0
001-409-136-000	Administration- Utilities	7,982.64	12,384.00	566.04	7,928.96	4,455.04	64

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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-409-137-000	Administration- Maintenance & Repairs	17,309.27	20,076.00	1,062.53	4,898.77	15,177.23	24
001-409-142-000	Administration- Alarm Service	4,282.21	4,872.00	254.43	2,755.67	2,116.33	57
001-409-147-000	Administration- Other Expenses	1,429.44	2,520.00	84.82	555.88	1,964.12	22
001-409-236-000	Garage- Utilities	12,779.57	15,780.00	431.59	7,170.15	8,609.85	45
001-409-237-000	Garage- Maintenance & Repairs	10,262.29	13,488.00	321.68	3,980.58	9,507.42	30
001-409-242-000	Garage- Alarm Service	2,049.64	3,060.00	164.40	822.00	2,238.00	27
001-409-247-000	Garage- Other Expenses	1,554.29	1,740.00	130.49	635.18	1,104.82	36
001-409-436-000	Community Hall- Utilities	4,831.03	6,900.00	135.12	2,427.40	4,472.60	35
001-409-437-000	Community Hall- Maintenance & Repairs	6,014.34	7,140.00	347.80	1,921.98	5,218.02	27
001-409-447-000	Community Hall- Other Expenses	89.51	660.00	0.00	60.62	599.38	9
001-409-536-000	Historical Bldg- Utilities	1,316.82	5,433.00	70.72	632.31	4,800.69	12
001-409-537-000	Historical Bldg- Maintenance & Repairs	1,758.20	2,088.00	312.50	150.00	1,938.00	7
001-409-636-000	Hollow Rd Rental- Utilities	0.00	250.00	0.00	0.00	250.00	0
001-409-637-000	Hollow Rd Rental- Maintenance & Repairs	249.00	4,248.00	0.00	1,130.50	3,117.50	27
001-409-737-000	Springhouse- Maintenance & Repairs	0.00	1,000.00	0.00	0.00	1,000.00	0
001-409-836-000	Dutchy Church- Utilities	481.46	600.00	50.35	199.10	400.90	33
001-409-837-000	Dutchy Church- Maintenance and Repairs	0.00	960.00	76.92	76.92	883.08	8
409 GOVERNMENT BUILDINGS & PLANT:		72,389.71	103,199.00	3,384.39	35,346.02	67,852.98	34
001-411-000-000	FIRE:	0.00	0.00	0.00	0.00	0.00	0
001-411-380-000	Fire Protection- Hydrant Rentals	26,158.64	32,671.32	7.57	4,477.04	28,194.28	14
001-411-540-000	Fire Protection- WVFD Contributions	470,645.04	480,379.04	0.00	365,930.00	114,449.04	76
411 FIRE:		496,803.68	513,050.36	7.57	370,407.04	142,643.32	72
001-413-000-000	UCC & CODE ENFORCEMENT:	0.00	0.00	0.00	0.00	0.00	0
001-413-110-000	Fire Marshal- Payroll	4,215.00	16,380.00	400.00	1,600.00	14,780.00	10
001-413-110-150	Fire Marshal- Benefits	2,532.72	5,694.71	0.00	0.00	5,694.71	0
001-413-150-000	Code Enforcement- Benefits	0.00	252.75	0.00	0.00	252.75	0

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<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
001-413-210-000	Code Enforcement- Supplies	3,645.00	6,505.00	125.00	1,936.50	4,568.50	30
001-413-312-000	Code Enforcement- Consultant Services	51,730.00	82,990.80	6,840.00	19,708.00	63,282.80	24
001-413-321-000	Code Enforcement- Mobile Phone	332.89	360.00	30.08	150.40	209.60	42
001-413-337-000	Code Enforcement- Mileage Reimbursement	0.00	840.00	0.00	0.00	840.00	0
001-413-460-000	Code Enforcement- Meetings & Seminars	0.00	400.00	0.00	0.00	400.00	0
	413 UCC & CODE ENFORCEMENT:	62,455.61	113,423.26	7,395.08	23,394.90	90,028.36	21
001-414-000-000	PLANNING & ZONING:	0.00	0.00	0.00	0.00	0.00	0
001-414-140-000	Zoning- Payroll	2,150.00	4,400.00	150.00	500.00	3,900.00	11
001-414-150-000	Zoning- Benefits	164.66	337.04	11.49	38.30	298.74	11
001-414-310-000	Zoning- Professional Services	16,313.00	13,300.00	798.00	3,226.90	10,073.10	24
001-414-313-000	Zoning- Engineering	450.12	1,500.00	0.00	0.00	1,500.00	0
001-414-314-000	Zoning- Legal	42,520.00	36,100.00	5,320.00	27,760.00	8,340.00	77
001-414-315-000	Zoning- Conditional Use	1,634.00	9,500.00	0.00	0.00	9,500.00	0
001-414-341-000	Zoning- Advertisement	3,757.91	2,700.00	0.00	174.40	2,525.60	6
001-414-460-000	Zoning- Meetings & Seminars	0.00	200.00	0.00	0.00	200.00	0
	414 PLANNING & ZONING:	66,989.69	68,037.04	6,279.49	31,699.60	36,337.44	47
001-419-000-000	OTHER PUBLIC SAFETY:	0.00	0.00	0.00	0.00	0.00	0
001-419-242-000	PA One Call	1,163.95	2,580.00	415.99	415.99	2,164.01	16
001-430-000-000	PUBLIC WORKS - ADMIN:	0.00	0.00	0.00	0.00	0.00	0
001-430-140-000	Public Works- Payroll	539,961.45	618,878.24	64,797.54	236,582.24	382,296.00	38
001-430-150-000	Public Works- Benefits	315,951.57	326,003.65	13,484.07	135,744.56	190,259.09	42
001-430-238-000	Public Works- Uniforms	6,340.23	9,700.00	58.45	1,820.74	7,879.26	19
001-430-326-000	Public Works- Mobile phones	506.98	672.00	67.56	312.80	359.20	47
001-430-460-000	Public Works- Meetings & Seminars	410.00	1,200.00	0.00	389.24	810.76	32
001-430-470-000	Public Works- Other Expenses	2,112.24	1,715.00	35.00	1,150.52	564.48	67
	430 PUBLIC WORKS - ADMIN:	865,282.47	958,168.89	78,442.62	376,000.10	582,168.79	39

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<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
001-432-000-000	WINTER MAINTENANCE- SNOW REMOVAL:	0.00	0.00	0.00	0.00	0.00	0
001-432-200-000	Snow Removal- Materials	27,127.10	39,125.00	0.00	53,970.00	14,845.00 -	138
001-432-450-000	Snow Removal- Contractor	0.00	1,500.00	0.00	0.00	1,500.00	0
	432 WINTER MAINTENANCE- SNOW REMOVA	27,127.10	40,625.00	0.00	53,970.00	13,345.00 -	133
001-433-000-000	TRAFFIC CONTROL DEVICES:	0.00	0.00	0.00	0.00	0.00	0
001-433-313-000	Traffic Signal- Engineering	10,511.72	9,000.00	0.00	56.25	8,943.75	1
001-433-361-000	Traffic Signal- Electricity	4,271.43	4,740.00	400.54	1,608.89	3,131.11	34
001-433-374-000	Traffic Signal- Maintenance	13,607.95	11,400.00	666.30	4,442.55	6,957.45	39
	433 TRAFFIC CONTROL DEVICES:	28,391.10	25,140.00	1,066.84	6,107.69	19,032.31	24
001-437-000-000	REPAIRS OF TOOLS AND MACHINERY:	0.00	0.00	0.00	0.00	0.00	0
001-437-250-000	Machinery & Tools- Vehicle Maintenance	93,653.01	82,200.00	4,802.62	54,680.29	27,519.71	67
001-437-260-000	Machinery & Tools- Small Tools	8,622.74	16,000.00	730.00	2,615.14	13,384.86	16
	437 REPAIRS OF TOOLS AND MACHINERY:	102,275.75	98,200.00	5,532.62	57,295.43	40,904.57	58
001-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
001-438-231-000	Gasoline	6,974.41	6,000.00	934.81	3,401.88	2,598.12	57
001-438-232-000	Diesel Fuel	20,836.89	29,976.52	3,824.85	11,591.07	18,385.45	39
001-438-242-000	Road Signs	3,248.07	6,000.00	0.00	1,039.08	4,960.92	17
001-438-245-000	Road Supplies	24,830.78	56,500.00	0.00	5,238.81	51,261.19	9
001-438-313-000	Engineering	12,582.21	25,000.00	5,421.10	5,421.10	19,578.90	22
001-438-370-000	Road Program- Contractor	0.00	15,000.00	6,198.50	6,198.50	8,801.50	41
	438 ROADS & BRIDGES:	68,472.36	138,476.52	16,379.26	32,890.44	105,586.08	24
001-446-000-000	STORM WATER MANAGEMENT:	0.00	0.00	0.00	0.00	0.00	0
001-446-313-000	Stormwater Management- Engineering	18,398.45	37,000.00	109.25	844.25	36,155.75	2
001-452-000-000	PARTICIPANT RECREATION:	0.00	0.00	0.00	0.00	0.00	0

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<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
001-452-248-000	Camps & Sport Leagues	1,260.00	1,300.00	0.00	0.00	1,300.00	0
001-452-250-000	Community Day	8,855.72	13,000.00	0.00	0.00	13,000.00	0
001-452-520-000	Library	8,866.00	9,309.30	0.00	0.00	9,309.30	0
	452 PARTICIPANT RECREATION:	18,981.72	23,609.30	0.00	0.00	23,609.30	0
001-454-000-000	PARKS:	0.00	0.00	0.00	0.00	0.00	0
001-454-436-000	Heebner Park- Utilities	3,963.28	3,876.00	596.78	1,850.03	2,025.97	48
001-454-437-001	Heebner Park- Athletic Fields	6,678.48	15,800.00	1,363.85	2,369.85	13,430.15	15
001-454-437-002	Heebner Park- Expenses	7,514.29	8,000.00	592.47	2,838.31	5,161.69	35
001-454-438-001	Mount Kirk Park- Athletic Fields	709.50	3,700.00	224.90	459.90	3,240.10	12
001-454-438-002	Mount Kirk Park- Expenses	1,128.67	1,550.00	91.50	720.33	829.67	46
001-454-438-003	Mount Kirk Park- Utilities	3,006.03	2,195.00	135.37	1,468.32	726.68	67
001-454-439-001	Sunny Brook Park- Athletic Fields	1,924.46	4,700.00	492.25	727.25	3,972.75	15
001-454-439-002	Sunny Brook Park- Expenses	2,660.91	3,602.00	216.34	630.33	2,971.67	18
001-454-446-000	Sunny Brook Park- Utilities	1,360.50	2,100.00	32.86	1,652.10	447.90	79
001-454-470-000	Heyser Park- Horse Ring	575.00	500.00	0.00	0.00	500.00	0
001-454-471-000	Heyser Park- Expenses	0.00	350.00	0.00	150.00	200.00	43
001-454-480-000	Trail Expenses	913.68	2,850.00	0.00	236.91	2,613.09	8
001-454-490-000	Other Parks	2,758.04	7,160.00	253.14	1,264.89	5,895.11	18
	454 PARKS:	33,192.84	56,383.00	3,999.46	14,368.22	42,014.78	25
001-459-000-000	PUBLIC RELATIONS:	0.00	0.00	0.00	0.00	0.00	0
001-459-340-000	Public Relations- Community Newsletter	16,696.45	23,520.00	1,123.26	1,123.26	22,396.74	5
001-459-341-000	Public Relations- Other Communications	0.00	2,000.00	0.00	0.00	2,000.00	0
	459 PUBLIC RELATIONS:	16,696.45	25,520.00	1,123.26	1,123.26	24,396.74	4
001-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
001-486-350-000	Insurances	121,259.50	136,645.50	0.00	59,508.00	77,137.50	44

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<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
001-492-300-000	Transfer To Capital Fund	2,150,435.68	981,391.33	0.00	0.00	981,391.33	0
	Fund 001 Expenditure Totals	5,380,441.42	4,616,173.59	256,734.85	1,585,854.05	3,030,319.54	34
001 Fund							
			Prior	Current	YTD		
	Revenues:	5,086,464.88	939,377.64	1,753,757.59			
	Expenditures:	5,380,441.42	256,734.85	1,585,854.05			
	Net Income:	293,976.54 -	682,642.79	167,903.54			

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Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
008-341-000-000	Interest Earnings	70,621.40	15,000.00	5,323.43	25,969.39	10,969.39	173
008-364-110-000	Tapping Fees	3,200.00	48,577.62	3,254.61	16,354.50	32,223.12 -	34
008-364-120-000	Sewer Fees- Residential	620,532.03	615,842.86	32,941.91	307,489.13	308,353.73 -	50
008-364-130-000	Sewer Fees- Commercial	162,911.05	150,000.00	18,847.85	74,573.34	75,426.66 -	50
008-364-140-000	Late Fees	10,022.16	8,000.00	1,629.37	5,456.40	2,543.60 -	68
008-364-150-000	Certification Fees	1,075.00	1,000.00	100.00	350.00	650.00 -	35
	364 Total	797,740.24	823,420.48	56,773.74	404,223.37	419,197.11 -	49
008-381-000-000	Miscellaneous Income	395,907.88	25.00	0.00	0.00	25.00 -	0
	Fund 008 Revenue Totals	1,264,269.52	838,445.48	62,097.17	430,192.76	408,252.72 -	51
Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
008-429-000-000	WASTEWATER COLLECTION AND TREATMENT	0.00	0.00	0.00	0.00	0.00	0
008-429-242-000	Alarm Services	601.55	1,232.00	0.00	1,350.89	118.89 -	110
008-429-300-000	Other Expenses	229,663.61	209,652.00	14,388.67	79,743.83	129,908.17	38
008-429-313-000	Engineering	10,263.14	10,000.00	2,512.00	6,496.00	3,504.00	65
008-429-314-000	Legal	4,361.58	5,000.00	229.50	612.00	4,388.00	12
008-429-316-000	Plant Operations	90,035.00	91,056.00	0.00	22,199.63	68,856.37	24
008-429-321-000	Telephone	1,072.67	1,080.00	44.07	447.27	632.73	41
008-429-361-000	Utilities	123,667.17	135,000.00	10,574.89	44,847.02	90,152.98	33
008-429-374-000	Equipment & Repairs	29,435.51	27,960.00	3,721.13	10,611.38	17,348.62	38
008-429-421-001	Center Point- Operations	5,910.00	6,444.00	0.00	1,521.00	4,923.00	24
008-429-421-002	Center Point- Utilities & Repairs	5,316.68	7,572.00	708.99	2,778.35	4,793.65	37
008-429-422-001	Meadowood- Operations	5,910.00	6,444.00	0.00	1,521.00	4,923.00	24
008-429-422-002	Meadowood- Utilities & Repairs	3,528.70	6,540.00	465.67	1,801.36	4,738.64	28
008-429-423-001	Heritage Village- Operations	5,417.50	6,444.00	0.00	0.00	6,444.00	0
008-429-423-002	Heritage Village- Utilities & Repairs	4,031.60	6,648.00	503.75	3,960.82	2,687.18	60
008-429-424-001	Fawn Creek- Operations	7,065.00	6,444.00	0.00	1,521.00	4,923.00	24

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

06/12/2025
12:02 PM

<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
008-429-424-002	Fawn Creek- Utilities & Repairs	3,474.99	5,532.00	543.47	1,153.60	4,378.40	21
008-429-425-001	Chadwick Place- Operations	5,910.00	6,444.00	0.00	1,521.00	4,923.00	24
008-429-425-002	Chadwick Place- Utilities & Repairs	3,099.61	5,700.00	459.18	2,173.33	3,526.67	38
008-429-426-001	Adair Pump- Operations	6,787.50	6,444.00	0.00	1,521.00	4,923.00	24
008-429-426-002	Adair Pump- Utilities & Repairs	4,079.32	5,580.00	382.50	2,759.12	2,820.88	49
008-429-700-000	Capital Improvements	93,008.54	89,880.00	10,729.20	127,796.86	37,916.86 -	142
008-429-800-000	Depreciation	313,669.00	0.00	0.00	0.00	0.00	0
	429 WASTEWATER COLLECTION AND TREATM	956,308.67	647,096.00	45,263.02	316,336.46	330,759.54	49
008-471-000-000	DEBT PRINCIPAL:	0.00	0.00	0.00	0.00	0.00	0
008-471-200-000	General Obligation Bond- Principal	0.00	130,000.00	0.00	0.00	130,000.00	0
008-472-000-000	DEBT INTEREST:	0.00	0.00	0.00	0.00	0.00	0
008-472-200-000	General Obligation Bond- Interest	36,556.26	41,431.26	0.00	0.00	41,431.26	0
008-475-000-000	Fiscal Agent Fees- 2016 Bond	1,050.00	1,100.00	0.00	0.00	1,100.00	0
008-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
008-486-350-000	Insurance Expense	6,689.50	6,971.50	0.00	6,971.50	0.00	100
	Fund 008 Expenditure Totals	1,000,604.43	826,598.76	45,263.02	323,307.96	503,290.80	39

008 Fund	Prior	Current	YTD
Revenues:	1,264,269.52	62,097.17	430,192.76
Expenditures:	1,000,604.43	45,263.02	323,307.96
Net Income:	263,665.09	16,834.15	106,884.80

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

06/12/2025
12:02 PM

<u>Revenue Account</u>	<u>Description</u>	<u>Prior Yr Rev</u>	<u>Anticipated</u>	<u>Curr Rev</u>	<u>YTD Rev</u>	<u>Excess/Deficit</u>	<u>% Real</u>
030-341-000-000	Interest Earnings	876,161.07	720,000.00	67,695.03	334,191.42	385,808.58 -	46
030-354-351-000	Grants	193,560.00	173,442.00	0.00	0.00	173,442.00 -	0
030-363-100-000	Traffic Impact Fees	66,183.77	14,204.00	0.00	13,422.39	781.61 -	94
030-381-000-000	Miscellaneous Income	3,500.00	2,000.00	1,000.00	2,000.00	0.00	100
030-392-010-000	Transfer From General Fund	2,150,435.68	981,391.33	0.00	0.00	981,391.33 -	0
030-395-000-000	Refund of Prior Year Expenditures	8,100.00	0.00	0.00	0.00	0.00	0
	Fund 030 Revenue Totals	3,297,940.52	1,891,037.33	68,695.03	349,613.81	1,541,423.52 -	18
<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
030-405-000-000	SECRETARY/CLERK:	0.00	0.00	0.00	0.00	0.00	0
030-405-720-000	Office Equipment	7,440.73	44,500.00	0.00	4,986.89	39,513.11	11
030-409-000-000	GOVERNMENT BUILDINGS & PLANTS:	0.00	0.00	0.00	0.00	0.00	0
030-409-600-000	Building Improvements	3,696.24	51,500.00	0.00	7,064.00	44,436.00	14
030-430-600-000	Capital Roads	1,286,036.57	1,377,070.00	60,805.50	65,546.20	1,311,523.80	5
030-430-740-000	Equipment Purchases	134,738.97	425,173.42	21,808.00	138,304.49	286,868.93	33
	430 Total	1,420,775.54	1,802,243.42	82,613.50	203,850.69	1,598,392.73	11
030-433-600-000	Traffic Signs & Signals	12,228.00	33,000.00	0.00	0.00	33,000.00	0
030-454-600-000	Parks and Trails	210,489.29	411,800.00	40,310.50	71,011.46	340,788.54	17
030-454-710-000	Land Acquisition	10,386.41	31,000.00	0.00	0.00	31,000.00	0
	454 Total	220,875.70	442,800.00	40,310.50	71,011.46	371,788.54	16
030-471-201-000	Bond principal	35,000.00	0.00	0.00	0.00	0.00	0
030-472-200-000	Loan Interest	100,808.06	135,908.85	0.00	49,066.58	86,842.27	36
030-492-010-000	Transfer to General Fund	350,000.00	0.00	0.00	0.00	0.00	0
030-492-080-000	Transfer to Sewer Fund	946.66	0.00	0.00	0.00	0.00	0
	492 Total	350,946.66	0.00	0.00	0.00	0.00	0

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

06/12/2025
12:02 PM

Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
	Fund 030 Expenditure Totals	2,151,770.93	2,509,952.27	122,924.00	335,979.62	2,173,972.65	13
030 Fund			Prior	Current	YTD		
Revenues:		3,297,940.52		68,695.03	349,613.81		
Expenditures:		2,151,770.93		122,924.00	335,979.62		
Net Income:		1,146,169.59		54,228.97 -	13,634.19		

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

06/12/2025
12:02 PM

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
035-341-000-000	Interest Earnings	15,747.02	6,000.00	1,656.32	5,480.89	519.11 -	91
035-355-020-000	Liquid Fuel Funds	357,387.92	355,778.42	0.00	363,411.52	7,633.10	102
	Fund 035 Revenue Totals	373,134.94	361,778.42	1,656.32	368,892.41	7,113.99	101
Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
035-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
035-438-370-000	Road Maintenance Contractor	350,000.00	0.00	0.00	0.00	0.00	0
	Fund 035 Expenditure Totals	350,000.00	0.00	0.00	0.00	0.00	0

035 Fund	Prior	Current	YTD
Revenues:	373,134.94	1,656.32	368,892.41
Expenditures:	350,000.00	0.00	0.00
Net Income:	23,134.94	1,656.32	368,892.41

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

06/12/2025
12:02 PM

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
040-341-200-000	Interest Earnings Developers	1,328.64	0.00	88.42	435.98	435.98	0
	Fund 040 Revenue Totals	1,328.64	0.00	88.42	435.98	435.98	0
<hr/>							
040 Fund			Prior	Current	YTD		
	Revenues:	1,328.64		88.42	435.98		
	Expenditures:	0.00		0.00	0.00		
	Net Income:	1,328.64		88.42	435.98		
<hr/>							
Grand Totals			Prior	Current	YTD		
	Revenues:	10,023,138.50		1,071,914.58	2,902,892.55		
	Expenditures:	8,882,816.78		424,921.87	2,245,141.63		
	Net Income:	1,140,321.72		646,992.71	657,750.92		

Worcester Volunteer Fire Department

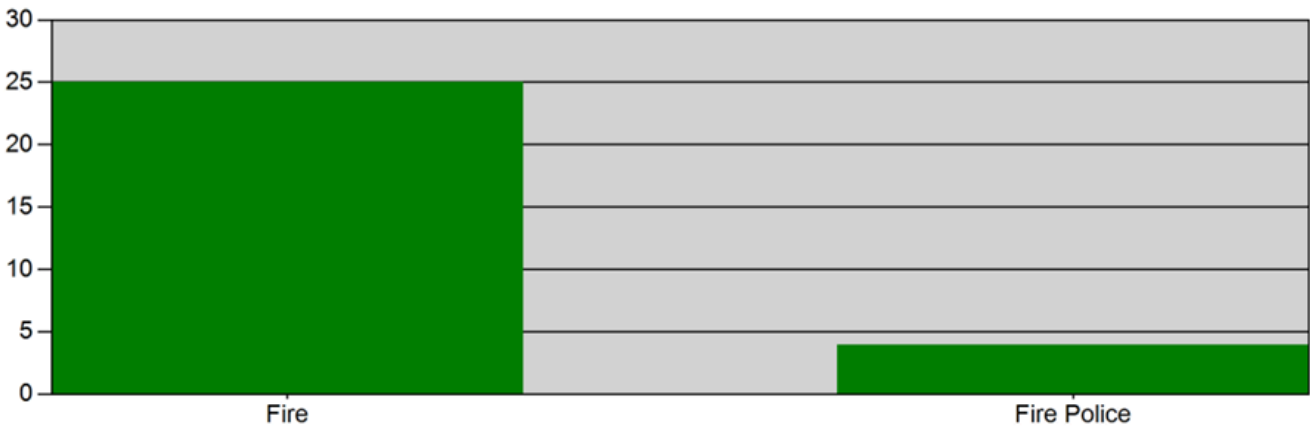
Worcester, PA

This report was generated on 6/8/2025 6:35:05 PM



Incidents by Shift for Date Range

Start Date: 05/01/2025 | End Date: 05/31/2025



SHIFT	# INCIDENTS
Fire	25
Fire Police	4

TOTAL: 29

Fire Call Average Attendance: 17.8

FP Call Average Attendance: 6.2

Drill Average Attendance: 34.5

Daytime Calls Twp Employees Assisted On: 6

Call Man Hours: 278.8

Drill Man Hours: 352:00

Events: 3

Total Elapsed Time on Calls: 20:08:52

Worcester Volunteer Fire Department

Worcester, PA

This report was generated on 6/8/2025 6:33:07 PM



Count of Incidents by Incident Type per Zone

Incident Status: Reviewed | Start Date: 05/01/2025 | End Date: 05/31/2025

% of Incidents per Zone



INCIDENT TYPE	# INCIDENTS	% of TOTAL
14 - LANSDALE		
360 - Water & ice-related rescue, other	2	6.90%
Zone: 14 - LANSDALE Total Incident:	2	6.90%
27 - NORRISTOWN		
113 - Cooking fire, confined to container	1	3.45%
Zone: 27 - NORRISTOWN Total Incident:	1	3.45%
53 - LOWER PROVIDENCE		
111 - Building fire	1	3.45%
113 - Cooking fire, confined to container	1	3.45%
360 - Water & ice-related rescue, other	1	3.45%
551 - Assist police or other governmental agency	1	3.45%
552 - Police matter	1	3.45%
736 - CO detector activation due to malfunction	1	3.45%
Zone: 53 - LOWER PROVIDENCE Total Incident:	6	20.69%
76 - TOWAMENCIN		
322 - Motor vehicle accident with injuries	1	3.45%
Zone: 76 - TOWAMENCIN Total Incident:	1	3.45%
78 - UPPER SALFORD		
111 - Building fire	1	3.45%
Zone: 78 - UPPER SALFORD Total Incident:	1	3.45%
83 - WORCESTER		
111 - Building fire	1	3.45%
130 - Mobile property (vehicle) fire, other	1	3.45%
151 - Outside rubbish, trash or waste fire	1	3.45%
160 - Special outside fire, other	1	3.45%
311 - Medical assist, assist EMS crew	2	6.90%
322 - Motor vehicle accident with injuries	3	10.34%

Report shows count of incidents for Status selected.



emergencyreporting.com
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331 - Lock-in (if lock out , use 511)	1	3.45%
412 - Gas leak (natural gas or LPG)	1	3.45%
631 - Authorized controlled burning	1	3.45%
745 - Alarm system activation, no fire - unintentional	4	13.79%
746 - Carbon monoxide detector activation, no CO	1	3.45%
Zone: 83 - WORCESTER Total Incident:	17	58.62%
86 - SKIPPACK		
324 - Motor vehicle accident with no injuries.	1	3.45%
Zone: 86 - SKIPPACK Total Incident:	1	3.45%
TOTAL INCIDENTS FOR ALL ZONES:	29	100%

Report shows count of incidents for Status selected.



emergencyreporting.com

Doc Id: 1390

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PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Number of Records Returned: 195

Search Criteria: which_cad='P' and occ_date between '2025-05-01' and '2025-05-31' and municipality='46226' and jurisdiction='PA'

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-525480	2025-525480	May-01-2025	08:20:24	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	273 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-525584	2025-525584	May-01-2025	08:43:35	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MORRIS RD / N WALES RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-526522	2025-526522	May-01-2025	12:39:57	SEEOF(SEE OFFICER GO)	SEEOF(SEE OFFICER GO)	2205 WENTZ CHURCH RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-527868	2025-527868	May-01-2025	18:09:17	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	MORRIS RD / WENTZ CHURCH RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-528739	2025-528739	May-02-2025	00:04:48	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ATL (ATTEMPT LOCATE PERSON - VEHICLE GO)	257 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-529837	2025-529837	May-02-2025	08:27:38	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	77 BRISTOL CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-531667	2025-531667	May-02-2025	16:05:03	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	VALLEY FORGE RD / GRIFFITH RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-532407	2025-532407	May-02-2025	19:02:55	SEEOF(SEE OFFICER GO)	HARASS (HARASSMENT - COMM - STALK - OTHER)	324 SILO MILL LN, WORCESTER TWP (MONTGOMERY)	Yes	GO & TRACS (CRASH WITH GO)
PA 2025-533011	2025-533011	May-02-2025	22:35:00	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-533282	2025-533282	May-03-2025	00:10:01	MVCHR (MVC - HIT AND RUN, NO INJURIES)	CANCEL(CANCELLED BY COMPLAINANT X)	261 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-533712	2025-533712	May-03-2025	03:09:12	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	260 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-534235	2025-534235	May-03-2025	07:43:23	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-534355	2025-534355	May-03-2025	08:22:51	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	SKIPPACK PIKE / SHUTT MILL RD [WORCESTER ELEMENTARY, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-534396	2025-534396	May-03-2025	08:38:43	DSCHHW(DOMESTIC SECURITY CHECK - HOUSE OF WORSHIP CC)	DSCHHW(DOMESTIC SECURITY CHECK - HOUSE OF WORSHIP CC)	2100 BLOCK S VALLEY FORGE RD [CENTRAL SCHWENKFELDER, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-538092	2025-538092	May-04-2025	09:31:18	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	1045 QUARRY HALL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-538673	2025-538673	May-04-2025	13:46:42	SUAT (SUICIDE - ATTEMPT OR THREAT)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	2592 COLD SPRING RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-539659	2025-539659	May-04-2025	19:21:15	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	MORRIS RD / MUHLENBERG DR, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-541923	2025-541923	May-05-2025	10:27:39	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	57 ESSEX CT, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-541959	2025-541959	May-05-2025	10:35:03	THRETP(THREATS - ACTOR ON SCENE)	THRETP(THREATS - ACTOR ON SCENE)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-542414	2025-542414	May-05-2025	12:32:06	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	275 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-543595	2025-543595	May-05-2025	17:38:21	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	265 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-544036	2025-544036	May-05-2025	19:58:43	SEEOFC(SEE OFFICER GO)	SEEOFC(SEE OFFICER GO)	1134 HOLLOW RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-544156	2025-544156	May-05-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-545007	2025-545007	May-06-2025	06:53:49	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	2960 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-545491	2025-545491	May-06-2025	07:59:44	CMR (CRIMINAL MISCHIEF)	CMR (CRIMINAL MISCHIEF)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-545567	2025-545567	May-06-2025	08:10:03	DOMA (DOMESTIC - IN PROGRESS)	DOMO (DOMESTIC - OTHER GO)	3030 STUMP HALL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-545904	2025-545904	May-06-2025	09:18:30	CY104 (CHILDLINE)	SEEOFC(SEE OFFICER GO)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-546875	2025-546875	May-06-2025	12:46:44	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	275 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-547784	2025-547784	May-06-2025	16:36:31	SEEOFC(SEE OFFICER GO)	SEEOFC(SEE OFFICER GO)	3451 ERNEST LN, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-547951	2025-547951	May-06-2025	17:31:21	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	MVCNR (MVC - NON-REPORTABLE)	3444 GERMANTOWN PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-548322	2025-548322	May-06-2025	19:20:02	CMR (CRIMINAL MISCHIEF)	DIST (DISTURBANCE/NOISE COMPLAINT GO)	1001 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-548524	2025-548524	May-06-2025	20:58:10	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	KRIEBEL MILL RD / MILL RD [KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-548530	2025-548530	May-06-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-551021	2025-551021	May-07-2025	12:08:48	DSCHK (DOMESTIC SECURITY CHECK CC)	DSCHK (DOMESTIC SECURITY CHECK CC)	VALLEY FORGE RD / MILL RD [TRINITY CHURCH & SCHOOL, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-551598	2025-551598	May-07-2025	14:32:30	SPEECH(SPEECH CC)	SPEECH(SPEECH CC)	3205 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-551970	2025-551970	May-07-2025	15:39:08	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	1477 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-552972	2025-552972	May-07-2025	19:54:34	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	2244 OAK TER, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-553173	2025-553173	May-07-2025	20:50:16	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	1325 MERRYBROOK RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-553198	2025-553198	May-07-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-553530	2025-553530	May-07-2025	23:07:49	SUSPP (SUSPICIOUS PERSON GO)	WELCK (WELFARE CHECK GO)	1421 N TROOPER RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-553638	2025-553638	May-08-2025	00:24:11	DISM (DISABLED MOTORIST CC)	DISMT (DISABLED MOTORIST ON ROAD CC)	261 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-554487	2025-554487	May-08-2025	07:46:34	SEEOFC(SEE OFFICER GO)	UNDERA(UNDERAGE DRINKING)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	No	GENERAL OFFENSE
PA 2025-556570	2025-556570	May-08-2025	15:50:29	MVCHR (MVC - HIT AND RUN, NO INJURIES)	MVCHR (MVC - HIT AND RUN, NO INJURIES)	N WALES RD / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-557185	2025-557185	May-08-2025	18:23:49	DISMT (DISABLED MOTORIST ON ROAD CC)	DISM (DISABLED MOTORIST CC)	W GERMANTOWN PIKE / VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-557298	2025-557298	May-08-2025	19:01:14	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	SKIPPACK PIKE / SHUTT MILL RD [WORCESTER ELEMENTARY, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



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PA 2025-557632	2025-557632	May-08-2025	21:00:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-558255	2025-558255	May-09-2025	03:24:56	ALARMB(ALARM - BURGLAR)	ALRMNF(ALARM FALSE NO FAULT CC)	1547 N TROOPER RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-558756	2025-558756	May-09-2025	07:17:48	DSCHHW(DOMESTIC SECURITY CHECK - HOUSE OF WORSHIP CC)	DSCHHW(DOMESTIC SECURITY CHECK - HOUSE OF WORSHIP CC)	SKIPPACK PIKE / WENTZ CHURCH RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-558777	2025-558777	May-09-2025	07:23:52	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	SKIPPACK PIKE / SHUTT MILL RD [WORCESTER ELEMENTARY, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-558895	2025-558895	May-09-2025	07:48:33	DSCHK (DOMESTIC SECURITY CHECK CC)	DSCHK (DOMESTIC SECURITY CHECK CC)	VALLEY FORGE RD / HICKORY HILL RD [HEEBNER PARK, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-559387	2025-559387	May-09-2025	09:43:55	CY104 (CHILDLINE)	SEE OFC(SEE OFFICER GO)	3410 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-559528	2025-559528	May-09-2025	10:26:16	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	KRIEBEL MILL RD / GERMANTOWN PIKE [METHACTON HS KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-560324	2025-560324	May-09-2025	14:16:16	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	2680 OVERHILL DR, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-560424	2025-560424	May-09-2025	14:46:48	MVCNR (MVC - NON-REPORTABLE)	CANCEL(CANCELLED BY COMPLAINANT X)	3205 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-560755	2025-560755	May-09-2025	15:47:34	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-560889	2025-560889	May-09-2025	16:16:44	CY104 (CHILDLINE)	SEE OFC(SEE OFFICER GO)	2107 BUSTARD RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-561443	2025-561443	May-09-2025	18:53:09	MVCI (MVC - INJURIES)	MVC RNI(MVC - REPORTABLE, NO INJURIES)	3100 W GERMANTOWN PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-561526	2025-561526	May-09-2025	19:20:38	MVC RNI(MVC - REPORTABLE, NO INJURIES)	MVC GOA(MVC - GONE ON ARRIVAL CC)	N WALES RD / SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-561576	2025-561576	May-09-2025	19:38:40	ASSALT(ASSAULT)	SEE OFC(SEE OFFICER GO)	1224 VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-561814	2025-561814	May-09-2025	21:00:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-562147	2025-562147	May-09-2025	22:55:24	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED



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PA 2025-563288	2025-563288	May-10-2025	07:45:27	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	262 1476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-563355	2025-563355	May-10-2025	08:06:05	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	272 1476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-563363	2025-563363	May-10-2025	08:06:38	INFORM(POLICE INFORMATION CC)	INFORM(POLICE INFORMATION CC)	2030 SHEARER RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-563413	2025-563413	May-10-2025	08:19:02	MVCNR (MVC - NON-REPORTABLE)	MVCNRNI(MVC - REPORTABLE, NO INJURIES)	S VALLEY FORGE RD / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-564204	2025-564204	May-10-2025	12:26:59	ALARMB(ALARM - BURGLAR)	ALRMNF(ALARM FALSE NO FAULT CC)	41 HAMPTON CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-564647	2025-564647	May-10-2025	14:57:22	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	2680 OVERHILL DR, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-564762	2025-564762	May-10-2025	15:14:54	MVCNR (MVC - NON-REPORTABLE)	MVCGOA(MVC - GONE ON ARRIVAL CC)	WATER STREET RD / TWO GLENS LN, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-565486	2025-565486	May-10-2025	18:39:49	MVCHR (MVC - HIT AND RUN, NO INJURIES)	CANCEL(CANCELLED BY COMPLAINANT X)	1600 GREEN HILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-565929	2025-565929	May-10-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-566535	2025-566535	May-10-2025	23:57:56	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	VALLEY FORGE RD / SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-567655	2025-567655	May-11-2025	09:04:44	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	259 1476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-568841	2025-568841	May-11-2025	15:31:07	TRERDR(TRAFFIC VIOLATION/ERRATIC DRIVER CC)	TRERDR(TRAFFIC VIOLATION/ERRATIC DRIVER CC)	1270 DELL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-568926	2025-568926	May-11-2025	16:00:03	MVCNR (MVC - NON-REPORTABLE)	MVCGOA(MVC - GONE ON ARRIVAL CC)	MANION LN / UMBRELL DR, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-569396	2025-569396	May-11-2025	18:49:17	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	2288 WARNER RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-569654	2025-569654	May-11-2025	20:26:47	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	2225 LOCUST DR, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE



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PA 2025-569736	2025-569736	May-11-2025	21:00:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-570074	2025-570074	May-11-2025	23:22:10	THEFT (THEFT)	SUSPP (SUSPICIOUS PERSON GO)	2016 CEDARS HILL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-570607	2025-570607	May-12-2025	06:41:18	MVCUNK(MVC - UNKNOWN INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MORRIS RD / S VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-572532	2025-572532	May-12-2025	12:49:23	THEFT (THEFT)	BURG (BURGLARY OR ATTEMPTED BURGLARY)	3205 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-574564	2025-574564	May-12-2025	21:00:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-575938	2025-575938	May-13-2025	08:05:40	MVCNR (MVC - NON-REPORTABLE)	MVCI (MVC - INJURIES)	VALLEY FORGE RD / TOWNSHIP LINE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-576695	2025-576695	May-13-2025	10:22:44	WELCK (WELFARE CHECK GO)	HARASS (HARASSMENT - COMM - STALK - OTHER)	3379 SADDLE WOOD CT, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-579360	2025-579360	May-13-2025	21:00:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-579798	2025-579798	May-14-2025	03:00:21	MVCUNK(MVC - UNKNOWN INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	2058 BETHEL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-579952	2025-579952	May-14-2025	05:44:15	REPO (VEHICLE REPOSSESSION CC)	REPO (VEHICLE REPOSSESSION CC)	2137 BETHEL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-580577	2025-580577	May-14-2025	07:43:50	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	1235 QUARRY HALL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-581387	2025-581387	May-14-2025	10:24:05	MOTSBC(MOTOR CARRIER SAFETY - SCHL BUS/VEH SPOT CHECK CC)	MOTSBC(MOTOR CARRIER SAFETY - SCHL BUS/VEH SPOT CHECK CC)	SKIPPACK PIKE / S VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-581508	2025-581508	May-14-2025	10:52:03	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	SKIPPACK PIKE / WENTZ CHURCH RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-581646	2025-581646	May-14-2025	11:21:05	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	KRIEBEL MILL RD / GERMANTOWN PIKE [KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-581942	2025-581942	May-14-2025	12:22:38	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	SKIPPACK PIKE / BUSTARD RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



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PA 2025-582051	2025-582051	May-14-2025	12:45:07	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	2 - 2661 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-582092	2025-582092	May-14-2025	12:55:31	THEFTF(THEFT - FRAUD/FORGERY)	THEFTF(THEFT - FRAUD/FORGERY)	2505 SPRING CREEK RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-582573	2025-582573	May-14-2025	14:46:13	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	2058 BETHEL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-582707	2025-582707	May-14-2025	15:03:02	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	LAT: 40° 11' 52.17"N LONG: 075° 18' 18.74"W[BETHEL DR BETHEL DR, WORCESTER TWP (MONTGOMERY)	Yes	WARNING (TRAFFIC STOP)
PA 2025-583138	2025-583138	May-14-2025	16:29:21	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	263 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-583302	2025-583302	May-14-2025	17:09:09	LOST (LOST ITEM - NON NCIC CC)	LOST (LOST ITEM - NON NCIC CC)	276 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-583423	2025-583423	May-14-2025	17:34:31	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	BLACKSMITH LN / ANVIL DR, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-584092	2025-584092	May-14-2025	21:00:03	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-585726	2025-585726	May-15-2025	08:50:32	SEEOFC(SEE OFFICER GO)	SEEOFC(SEE OFFICER GO)	2111 S VALLEY FORGE RD [CENTRAL SCHWENFELDER CHURCH, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-585839	2025-585839	May-15-2025	09:14:44	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCNR (MVC - NON-REPORTABLE)	S VALLEY FORGE RD / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-586224	2025-586224	May-15-2025	10:33:42	SEEOFC(SEE OFFICER GO)	PATCHK(PATROL CHECK CC)	2750 MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-586348	2025-586348	May-15-2025	11:08:38	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	256 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-586388	2025-586388	May-15-2025	11:15:26	SUAT (SUICIDE - ATTEMPT OR THREAT)	RASPEC(REQUEST ASSIST - SPECIALIZED SERVICES GO)	933 HERITAGE DR, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-587770	2025-587770	May-15-2025	16:17:35	DISMT (DISABLED MOTORIST ON ROAD CC)	DISM (DISABLED MOTORIST CC)	N WHITEHALL RD / SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-588743	2025-588743	May-15-2025	20:45:35	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	BUSTARD RD / SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-588786	2025-588786	May-15-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



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PA 2025-592845	2025-592845	May-16-2025	19:01:12	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	KRIEBEL MILL RD / GERMANTOWN PIKE [KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-593227	2025-593227	May-16-2025	20:52:57	DISMT (DISABLED MOTORIST ON ROAD CC)	DISM (DISABLED MOTORIST CC)	W GERMANTOWN PIKE / N TROOPER RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-593253	2025-593253	May-16-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-597092	2025-597092	May-17-2025	19:00:08	PFAV (PFA VIOLATION)	PFAV (PFA VIOLATION)	3327 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-597456	2025-597456	May-17-2025	21:00:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-599491	2025-599491	May-18-2025	11:55:57	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	MORRIS RD / N WALES RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-600716	2025-600716	May-18-2025	18:03:19	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-601217	2025-601217	May-18-2025	21:00:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-602180	2025-602180	May-19-2025	06:58:17	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-603369	2025-603369	May-19-2025	10:44:50	THEFTF(THEFT - FRAUD/FORGERY)	THEFTF(THEFT - FRAUD/FORGERY)	3426 MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-603523	2025-603523	May-19-2025	11:20:36	MVCHR (MVC - HIT AND RUN, NO INJURIES)	MVCHR (MVC - HIT AND RUN, NO INJURIES)	2504 SPRING CREEK RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-604926	2025-604926	May-19-2025	16:37:28	SEEOF(C(SEE OFFICER GO)	CANCEL(CANCELLED BY COMPLAINANT X)	1202 MERRYBROOK RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-605564	2025-605564	May-19-2025	19:15:43	ABNVEH(ABANDONED VEHICLE GO)	INFORM(POLICE INFORMATION CC)	2641 HAWTHORN DR, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-605698	2025-605698	May-19-2025	20:01:28	ASSALT(ASSAULT)	ASALS(ASSAULT - SIMPLE)	GREEN HILL RD / SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-605847	2025-605847	May-19-2025	21:00:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-607880	2025-607880	May-20-2025	09:53:03	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	3112 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE



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PA 2025-608112	2025-608112	May-20-2025	10:36:53	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	1317 SKIPPACK PIKE LANSDALE PA[S VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-608827	2025-608827	May-20-2025	12:56:45	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	SKIPPACK PIKE / HOLLOW RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-608991	2025-608991	May-20-2025	13:30:09	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	3000 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-610052	2025-610052	May-20-2025	16:51:48	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	259 I476 N [ZONE 22 NB, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-610839	2025-610839	May-20-2025	20:50:34	DISM (DISABLED MOTORIST CC)	DISM (DISABLED MOTORIST CC)	270 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-610859	2025-610859	May-20-2025	21:00:03	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-612788	2025-612788	May-21-2025	10:19:16	DSCHK (DOMESTIC SECURITY CHECK CC)	DSCHK (DOMESTIC SECURITY CHECK CC)	VALLEY FORGE RD / HICKORY HILL RD [HEEBNER PARK, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-612831	2025-612831	May-21-2025	10:30:01	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	SKIPPACK PIKE / SHUTT MILL RD [WORCESTER ELEMENTARY SCHO, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-614962	2025-614962	May-21-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-615324	2025-615324	May-22-2025	00:28:37	REPO (VEHICLE REPOSESSION CC)	REPO (VEHICLE REPOSESSION CC)	2650 MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-616121	2025-616121	May-22-2025	07:57:03	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	MORRIS RD / N WALES RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-618686	2025-618686	May-22-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-620284	2025-620284	May-23-2025	07:25:03	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-620525	2025-620525	May-23-2025	07:45:20	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	2106 BUSTARD RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-620836	2025-620836	May-23-2025	08:11:42	DISM (DISABLED MOTORIST CC)	DISM (DISABLED MOTORIST CC)	VALLEY FORGE RD / WATER STREET RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-622279	2025-622279	May-23-2025	10:22:33	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	261 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-622491	2025-622491	May-23-2025	10:41:20	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	256 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-625483	2025-625483	May-23-2025	15:30:23	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	266 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-628082	2025-628082	May-23-2025	19:23:59	SUSPP (SUSPICIOUS PERSON GO)	DRUGF (DRUG - FOUND INCL. PARAPHERNALIA)	3418 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-628909	2025-628909	May-23-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-629292	2025-629292	May-23-2025	21:57:15	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	1700 BLK VALLEY FORGE RD[VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-629644	2025-629644	May-23-2025	23:15:36	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	259 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-630582	2025-630582	May-24-2025	05:47:05	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	2700 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-631975	2025-631975	May-24-2025	09:13:06	THEFTF(THEFT - FRAUD/FORGERY)	THEFTF(THEFT - FRAUD/FORGERY)	2522 BRUNER CIR, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-632455	2025-632455	May-24-2025	10:07:35	THRET (THREATS - ACTOR NOT ON SCENE)	SEEOFC(SEE OFFICER GO)	2110 WENTZ CHURCH RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-634228	2025-634228	May-24-2025	13:10:14	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	266 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-634377	2025-634377	May-24-2025	13:27:02	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	276 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-636453	2025-636453	May-24-2025	16:48:12	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	256 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-638165	2025-638165	May-24-2025	20:15:06	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	1000 BLK VALLEY FORGE RD[VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	WARNING (TRAFFIC STOP)
PA 2025-638462	2025-638462	May-24-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-639851	2025-639851	May-25-2025	02:50:59	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2109 DEEP MEADOW LN, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-639933	2025-639933	May-25-2025	04:43:25	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	273 I476 N [NB 22 23, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-639977	2025-639977	May-25-2025	05:47:33	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	2600 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-641927	2025-641927	May-25-2025	11:18:44	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	253 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-642108	2025-642108	May-25-2025	11:37:43	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	1005 KRIEBEL MILL RD [METHACTON, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-642280	2025-642280	May-25-2025	11:51:42	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2131 HAINES WAY, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-642330	2025-642330	May-25-2025	11:58:19	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	266 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-642485	2025-642485	May-25-2025	12:15:22	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-645467	2025-645467	May-25-2025	17:36:18	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	2561 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-646715	2025-646715	May-25-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-648447	2025-648447	May-26-2025	07:36:45	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	SKIPPACK PIKE / LANDIS RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-653141	2025-653141	May-26-2025	17:40:24	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	270 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-653343	2025-653343	May-26-2025	18:12:20	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	78 CHADWICK CIR, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-654241	2025-654241	May-26-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-654899	2025-654899	May-27-2025	00:52:02	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2535 STONY CREEK RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-655686	2025-655686	May-27-2025	07:38:33	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	MORRIS RD / S VALLEY FORGE RD [EB, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-658106	2025-658106	May-27-2025	15:43:54	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-658146	2025-658146	May-27-2025	15:53:03	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	267 I476 N [22, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-658314	2025-658314	May-27-2025	16:30:19	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	S VALLEY FORGE RD / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-658875	2025-658875	May-27-2025	19:02:11	DOMA (DOMESTIC - IN PROGRESS)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	3359 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-658936	2025-658936	May-27-2025	19:28:15	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	N WALES RD / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



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CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-659160	2025-659160	May-27-2025	20:57:39	DOMA (DOMESTIC - IN PROGRESS)	HARASS (HARASSMENT - COMM - STALK - OTHER)	112 MEADOW VIEW LN, WORCESTER TWP (MONTGOMERY)	Yes	GO & TRACS (CRASH WITH GO)
PA 2025-659156	2025-659156	May-27-2025	21:00:03	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-660280	2025-660280	May-28-2025	07:40:09	MVCI (MVC - INJURIES)	MVCI (MVC - INJURIES)	SKIPPACK PIKE / OLD ORCHARD RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-660693	2025-660693	May-28-2025	09:11:47	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	3229 FAWN RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-661114	2025-661114	May-28-2025	10:47:25	ROBBOT(ROBBERY - OTHER)	ROBBOT(ROBBERY - OTHER)	3223 W GERMANTOWN PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-663181	2025-663181	May-28-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-663644	2025-663644	May-29-2025	00:56:16	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	HENNING WAY / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-664698	2025-664698	May-29-2025	08:29:50	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	268 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-667929	2025-667929	May-29-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-668751	2025-668751	May-30-2025	01:33:44	BURG (BURGLARY OR ATTEMPTED BURGLARY)	SEEOFC(SEE OFFICER GO)	3047 PAWLINGS FORD RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-668922	2025-668922	May-30-2025	05:00:46	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	254 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-669701	2025-669701	May-30-2025	08:12:13	ASSALT(ASSAULT)	HARASS (HARASSMENT - COMM - STALK - OTHER)	1001 STERIGERE ST[SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-670314	2025-670314	May-30-2025	10:28:23	TROTH (TRAFFIC VIOLATION - OTHER CC)	TROTH (TRAFFIC VIOLATION - OTHER CC)	HEEBNER RD / HOLLOW RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-672126	2025-672126	May-30-2025	16:48:21	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-672441	2025-672441	May-30-2025	18:08:02	SEEOFC(SEE OFFICER GO)	SEEOFC(SEE OFFICER GO)	3327 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-672986	2025-672986	May-30-2025	21:00:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

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PA 2025-674799	2025-674799	May-31-2025	09:51:01	SEEOFC(SEE OFFICER GO)	SEEOFC(SEE OFFICER GO)	2850 BAYTON RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-675643	2025-675643	May-31-2025	14:12:50	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	267 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-675936	2025-675936	May-31-2025	15:25:02	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	BLUE FOX DR / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-676121	2025-676121	May-31-2025	16:12:38	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	3300 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-677034	2025-677034	May-31-2025	21:00:03	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL

Skippack Emergency Medical Services

4058 Mensch Rd
P.O. Box 59
Skippack, PA 19474

Business 610.454.9665
Fax 610.454.9666



Skippack EMS
May 2025 calls
Worcester Township

Calls dispatched	53
Transported	32
Refusals	3
No services *	1
Fire	1
Covered by other squads	15
Lift assist	
Recall	1

* includes: accidental/false alarm for medical alert alarm, no patient found, deceased, or police matters

NORTH PENN WATER AUTHORITY
MINUTES OF THE BOARD OF DIRECTORS' MEETING
April 22, 2025

George E. Witmayer, Chair, called the meeting to order at 7:00 p.m. The following Board members attended the meeting: Kenneth V. Farrall, Richard C. Mast, Amy Cummings-Leight, Arthur C. Bustard, Franco D'Angelo, Robert C. McCarney, William K. Dingman, Michael R. Filiatrault and Jeffrey H. Simcox. Also present were Anthony J. Bellitto, P.E., Executive Director, Keith L. Hass, P.E., Deputy Executive Director, Ami Tarburton, Director of Finance and Human Resources, Daniel P. Pearce, Director of Information Technology, Daniel C. Preston, P.E., Director of Asset Management and Strategic Initiatives, Jonathan C. Hartzell, Director of Operations and Field Services, and Paul G. Mullin, Esquire, Hamburg, Rubin, Mullin, Maxwell & Lupin, Solicitor.

The following items, by agenda number, were discussed:

1. **MINUTES** – Upon the motion of Mr. Filiatrault, seconded by Mr. Dingman, the Board approved unanimously the Minutes of the March 25, 2025, Board of Directors meeting as presented.
2. **BIDS** – There was no Bid activity this month.
3. **PUBLIC COMMENTS** – There were no members of the public in attendance at the meeting.
4. **FINANCIALS:**
 - 4.1. The **Statement of Income and Expense** for the period ending March 31, 2025, was highlighted by Ms. Tarburton and discussed. Ms. Tarburton noted that Metered Sales were up 6%, compared to 2024, approximately \$316,000. Total Revenues are up 10% year-to-date, compared to 2024 due to increased tapping and service connection fees related to developer activity. Operating expenses were 26% of the budget with 25% of time elapsed. Income after debt service is \$1.9 million compared to \$1.2 million in 2024. Debt Service Coverage is at 1.68, which is above the 1.10 required by the Trust Indenture. Total Debt Service Coverage is at 4.00 due to the timing of non-operating revenue and this will continue to level out as the year progresses. The Statement of Net Position is up 4.5% approximately \$7.6 million, year to year. Capital expenditures are trending upward at 16% of budget and metered sales charts are at or exceeding the 3-year average except for BCWSA sales which is related to potential billing lag. The Human Resources and Payroll report was also reviewed and discussed. Following discussion, upon the motion of Ms. Cummings-Leight, seconded by Mr. McCarney, the Board voted unanimously to accept the financial reports.
 - 4.2. Check Registers for the period March 20, 2025, to April 14, 2025, were distributed and discussed. Upon the motion of Mr. Farrall, seconded by Mr. Filiatrault, the Board ratified unanimously the payments listed.

5. **OPERATIONS, METER/CUSTOMER SERVICE, AND STATISTICS REPORT** – The Report for the month of March 2025 was presented, highlighted by Mr. Hartzell, and discussed.
6. **ENGINEERING AND WATER QUALITY REPORT** – The Report for the month of March 2025 was presented, highlighted by Mr. Preston, and discussed.
7. **INFORMATION TECHNOLOGY REPORT** – The Report for the month of March 2025 was presented, highlighted by Mr. Pearce, and discussed.
8. **ADMINISTRATION AND PUBLIC RELATIONS REPORT** – The Report for the month of March 2025 was presented, highlighted by Mr. Bellitto, and discussed. It was noted that the Forest Park tour was a success.
9. **FOREST PARK WATER** – Mr. Dingman, Chair of the Forest Park Water Operating Committee, reported that the committee had not met. There was nothing further to report beyond that contained in the Board Packet.
10. **MAIN EXTENSIONS:**
 - 10.1. M.E. 1416, 1445, & 1487 – Reserve at Center Square
Toll Mid-Atlantic LP Company, Inc., Worcester Township
Upon the motion of Mr. Bustard, seconded by Mr. D’Angelo, the Board authorized unanimously the execution of Resolution No. 25-04-22B for the Deed of Dedication of Public Utility Line and the Deed of Dedication itself, respectively. Further, the Board authorized the execution of a Deed of Easement.
 - 10.2 M.E. 1532 – Heritage Crown Realty
116 Railroad Street, LLC, 341 W. Butler Avenue, New Britain Borough
Upon the motion of Mr. Farrall, seconded by Dingman, the Board authorized unanimously the execution of the Main Extension Agreement and further, the Board authorized the execution of a Deed of Easement.
 - 10.3 M.E. 1554 – 380 E Hancock Street
Wilmington Capital Limited, LLC, Lansdale Borough
Upon the motion of Mr. Simcox, seconded by Mr. McCarney, the Board authorized unanimously Tentative Approval for 9 EDUs.
 - 10.4. North Penn High School
North Penn School District, 1340 S. Valley Forge Road, Towamencin Township
Upon the motion of Mr. Dingman, seconded by Mr. McCarney, the Board authorized unanimously the execution of the Deed of Easement and the execution of a Deed of Extinguishment of Easement Agreement.

11. **ITEMS FOR DISCUSSION:**

- 11.1 PA Small Water and Sewer Program Grant Application – Mr. Hass indicated that the Authority is in the process of applying for a \$346,000 grant to replace water main on Forest Avenue in Hatfield Township. The \$407,000 project requires 15% matching funds by NPWA and consists of the replacing of 1,000 feet of 4” cast iron pipe with 8” ductile iron main and the renewal of 13 services. Upon the motion of Mr. McCarney, seconded by Mr. Mast, and after discussion, the Board authorized unanimously, Resolution No. 25-04-22A to pursue a grant application with the Department of Community and Economic Development.
- 11.2. Landlord/Tenant Procedure for new accounts: Mr. Hartzell reviewed the letter being sent out to about 2,500 customers regarding the new policy going forward, effective January 1, 2026. For landlord properties occupied by tenants, all new accounts must be in the name of the property owner. For existing accounts that are currently in the name of the tenant, when the tenant moves out, the account will be updated and placed in the name of the property owner.

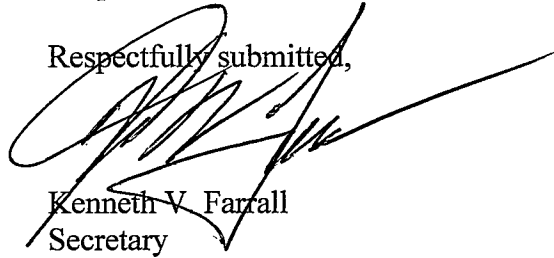
12. **COMMITTEE REPORTS:**

- 12.1. Engineering Committee – Mr. Farrall, Chair of the Engineering Committee, reported that the committee had not met since the last Board meeting.
- 12.2. Executive Committee – Mr. Simcox, Chair of the Executive Committee, reported that the committee had not met.
- 12.3. Finance Committee – Ms. Cummings-Leight, Chair of the Finance Committee, reported that the committee met this evening prior to the Board meeting and gave a summary. There were two agenda items:
 - 12.3.1. 2024 Financial Statements Review – The Committee received a copy of the 2024 Financial Statements and Ms. Tarburton provided a summary of performance measures, indicating the financial picture of the Authority is good. Net position increased by 3.9%, due to increased revenues and capital contributions. Upon the motion of Mr. Dingman and seconded by Mr. Filiatrault, the Board approved unanimously the 2024 audited Financial Statements.
 - 12.3.2. Forest Park Treatment Plant Expansion Financial Analysis – Ms. Tarburton provided to the Committee a memo dated March 3, 2025 and presentation highlighting important aspects of the financial analysis related to the Forest Park expansion. The analysis indicates that with borrowing \$50 million dollars in 2027, with first payment due in 2028, the Authority can absorb additional debt without significant financial impact to the customers. The main reason for this is that current debt payments will be ending in the next few years.

13. **CORRESPONDENCE** - Various items of correspondence and newspaper articles contained in the Authority meeting booklet were reviewed. There was nothing further to note.
14. **COMING EVENTS:**
- 14.1. Public Voting
Tuesday, May 20, 2025: Primary Election
Tuesday, November 4, 2025: General Election
North Penn Water Authority
300 Forty Foot Road, Lansdale, PA
 - 14.2. Annual Municipal Banquet
Thursday, May 22, 2025
Indian Valley Country Club
650 Bergey Road, Telford, PA
 - 14.3. Forest Park Operating Committee Meeting
Tuesday, August 19, 2025
North Wales Water Authority
200 W. Walnut Street, North Wales, PA
6:00 pm
 - 14.4. NPWA/NWWA Joint Board Meetings
Thursday, September 4, 2025
North Penn Water Authority
300 Forty Foot Road, Lansdale, PA
7:00 pm
 - 14.5. PMAA 83rd Annual Conference and Trade Show
September 7-10, 2025
Wind Creek Bethlehem
Bethlehem, PA
 - 14.6. NPWA 60th Anniversary Open House
Thursday, September 18, 2025
North Penn Water Authority
300 Forty Foot Road, Lansdale, PA
3:00- 7:00 pm
 - 14.7. Forest Park Customer Appreciation Day Golf Outing
Monday, September 29, 2025
The Bucks Club
2600 York Road, Jamison, PA
15. **OLD BUSINESS** – There was no Old Business.
16. **NEW BUSINESS** – There was no New Business.
17. **EXECUTIVE SESSION** – The Board adjourned to Executive Session at 7:47 pm to discuss real estate matters and reconvened at 8:05 pm.

There being no further business, upon the motion of Ms. Cummings-Leight, seconded by Mr. Farrall, the Board voted unanimously to adjourn at 8:06 pm.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'K. V. Farrall', written over the printed name and title.

Kenneth V. Farrall
Secretary

Public Works Department Report

May 2025

1) Road Maintenance

- A. Cleared inlets and drains throughout the Township**
- B. Filled potholes throughout the Township**
- C. Adding stone to roadway edge erosion areas**
- D. ROW mowing**

2) Storm Maintenance

- A. No significant weather events in the month of May**

3) Parks

- A. Twice weekly cleaning of restrooms, emptying trash receptacles, and stocking dog bags**
- B. Repairing washouts and general trail maintenance**
- C. Pruning and removal of dead trees in all parks and trail systems**
- D. Heebner Park playing field fencing repairs completed**
- E. Mowing and trimming of all Township properties**
- F. Playing field maintenance**
- G. Spring turf applications completed**
- H. Spayed weeds on Township properties**
- I. Power washing pavilions and benches**

4) Vehicle/Equipment Maintenance

- A. Performed weekly maintenance of all Township vehicles**
- B. 64-59 DEF sensor/pump repair**
- C. 64-50 Hydraulic leak repair**
- D. 64-63 Hydraulic leak repair**
- E. 64-51 Controller repair and program update**

5) Miscellaneous

- A. Setting up and cleaning of Community Hall for rentals and Township events**
- B. Nike Compost facility open to residents twice weekly**
- C. Primary election at Community Hall**
- D. Emergency generator maintenance**

Private Utility Enterprises, Inc

May 29, 2025

Dan DeMeno
Township of Worcester
1721 Valley Forge Road
Worcester, PA 19490

RE: Berwick STP PA0050393 and Valley Green STP PA0050393
Monthly Operation and Maintenance Report for April 2025.

Mr DeMeno,

Attached, please find the summary of analytical results and operation and maintenance activities for the Berwick and Valley Green sewage treatment plants and collection system.

Please feel free to contact me with questions at the above number.

Thank you,

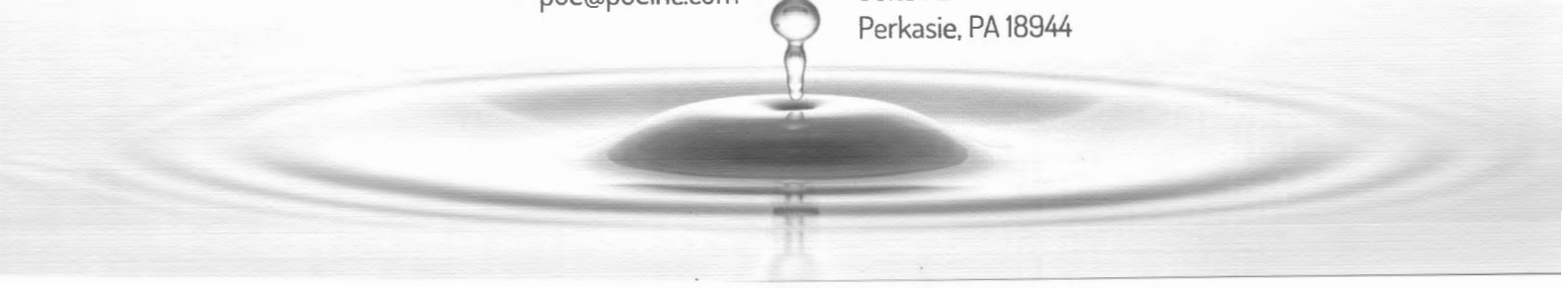


Teresa J Peachey
Office Manager

Cc: John Scully, President
John Evarts
Christian Jones

215-766-2626
pue@pueinc.com

1000 E Walnut Street
Suite 721
Perkasie, PA 18944



**Worcester Township WWTP
Operations and Maintenance Report**

April 2025

Non-Routine Maintenance / Events:

Berwick

4/23/25 - Upon arrival, found the level in Influent EQ 1 was right at the high-level float and the IEP was not running. Found the Lead float was stuck on a floating rag mat in a position that made the float unable to be tripped. Manually tripped the float and the IEP started running. Broke up and moved as much as possible of the rag mat to the other ½ of the tank to the other side of the tank divider. Slightly opened the diffuser air valve for the ½ of the tank opposite of the floats to slowly breakup and keep the rags on that side of the divider. Will call Brandon Martin to come and clean rags from all the influent EQ tanks. Drained the moisture from the compressor tank.

4/24/25 - Removed the leaking air diffuser manifold from Influent EQ 1, tank 3. When the Influent EQ level was low, the diffuser manifold was a wide open air leak. The first 7' of the manifold down pipe was still in good shape and usable. Cut the bad section of the pipe off and tapped threads at the end of the pipe. From a new pipe, cut a 7' length from it and tapped threads to one of the ends. Connected the two pipes with a coupler and reinstalled the diffuser manifold into the tank. Opened the diffuser air valve and aeration is restored to the tank no matter where the level in the tank is.

Pump Stations

4/05/2025 – Adair PS – Responded to pump 1 failure. Found VFD fail. Reset VFD

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE 2025-302

**AN ORDINANCE AMENDING SECTIONS OF THE TOWNSHIP CODE
REGARDING ACCESSORY STRUCTURES AND ASSOCIATED DEFINITIONS**

WHEREAS, from time to time, corrections and other revisions are required to be made to the Township Code of Worcester Township;

WHEREAS, the Commonwealth of Pennsylvania mandates that municipalities have published in a newspaper of general circulation all proposed ordinances that make such corrections and revisions, at a great expense to municipalities;

WHEREAS, Worcester Township consolidates such corrections and revisions into one proposed ordinance, in lieu of individual ordinances, so as to minimize the expense incurred by the taxpayers in meeting this unfunded advertisement mandate; and

WHEREAS, the Board of Supervisors of Worcester Township has determined that it is in the best interests of the Township to amend the Township Code as set forth herein below.

NOW, THEREFORE, the Board of Supervisors of Worcester Township, Montgomery County, Pennsylvania, hereby ordains and enacts as follows:

SECTION I

1. Chapter 150, Zoning, Section §150-9 shall be modified as follows:
 - a. Definition of Accessory Building shall be modified to read: See Accessory Structure
 - b. Definition of Accessory Structure shall be added and read: A structure that is accessory to and incidental to that of the principal structure(s) and that is located on the same lot.
 - c. Definition of Barn shall be added and read: a large farm building used for storing grain, hay or straw, or for housing livestock.
 - d. Definition of Greenhouse shall be added and read: A building in which plants are grown that need protection from cold weather.
 - e. Definition of Silo shall be added and read: A tall cylinder used for bulk storage of agricultural products.
 - f. Definition of Agricultural Products shall be added and read: Any commodity or product that comes from agriculture, whether raw or processed, and is intended for human or animal consumption.
 - g. Definition of Building Height shall be modified to read: The vertical distance measured from the average finished grade at the foundation corners to the highest point of the building or structure, excluding chimneys and similar projections.

SECTION II

1. Chapter 150, Zoning, Section §150-177 shall be deleted in its entirety, and replaced to read:

A. Accessory uses and structures to a single-family detached residential use shall be regulated as follows:

- (1) In all districts, except those regulated in Subsection A(2) through (9) below, accessory structures shall be located in the rear yard or side yard only; said accessory structures may be erected subject to the following requirements:
 - i. Accessory structures 250 square feet or less in gross floor area have a minimum rear and side setback requirement of 10 feet and a maximum height of 12 feet
 - ii. Accessory structures between 250 square feet and 1200 square feet in gross floor area have a minimum rear and side setback requirement of 15 feet and a maximum height of 20 feet.
 - iii. Accessory structures 1200 square feet or greater and less than 3000 square feet in gross floor area have a minimum rear and side setback requirement of 20 feet and a maximum height of 25 feet.
 - iv. Accessory structures - 3000 square feet or greater in gross floor area have a minimum rear and side setback requirement of 30 feet and a maximum height of no greater than the maximum allowed principal building height in that location.
- (2) Exemption for De Minimis Accessory Structures - Accessory structures with a footprint of one (1) foot or less in diameter shall be exempt from the requirements of this section. Such structures are considered de minimis in nature and shall not be subject to permitting or setback limitations set forth herein, provided they do not present a public safety hazard or violate other provisions of the Township Code. These structures shall not exceed 25 feet in height.
- (3) Private swimming pools shall be constructed in accordance with the applicable Township ordinances and shall be located entirely within the rear yard of the lot on which the pool is located and at least 10 feet behind the closest part of the main building. However, in no case shall the distance from the pool to the side or rear property line be less than 25 feet. In the AGR, R-175, and R-AG-175 districts, excluding properties created pursuant to Option 1 or Option 2, as set forth in Article XVIA, Conservation Subdivisions, the distance from the pool to the side and rear property lines shall be not less than 50 feet. The water edge shall be the line for measurement of these setbacks. All filters, heaters and accessory structures incidental thereto meet the same setback criteria. Freestanding spas and hot tubs shall be exempt from the requirement to be located at least 10 feet behind the closest part of the main building.
[Amended 5-19-2021 by Ord. No. 284]
- (4) Private tennis courts and private sports courts and all facilities incidental

thereto shall be located on a lot 60,000 square feet or larger and in the rear yard only. Except as set forth below for lighted courts, a private tennis court shall not be less than 50 feet from the side and rear property lines, and a private sports court shall not be less than 75 feet from the side and rear property lines. A vegetative screening landscape buffer in accordance with the Worcester Township Landscape Ordinance requirements for rear and side yards as set forth in § 130-28 of the Worcester Township Subdivision and Land Development Ordinance shall be provided for all private tennis courts and private sports courts and all facilities incidental thereto. To the extent required by the Township Engineer, all tennis courts and sports courts shall have stormwater management facilities. All required stormwater management facilities shall be approved by the Township Engineer.

The lighting of a private tennis court or private sports court shall conform to § 150-200. Any lighted private tennis court or sports court shall not be less than 100 feet from the side and rear property lines. No tennis court or sports court shall be illuminated after 9:00 p.m. Sunday through Thursday, or after 10:00 p.m. on Friday and Saturday.

- (5) Private stables for the keeping of horses and livestock and barns shall be permitted on properties having a gross lot area of three acres or more. A gross lot area of three acres shall allow a maximum of two large animals (e.g., horses, cattle, llamas). Two small animals (e.g., goats, sheep, mini horses, ponies, yearling horses or cattle, donkeys) shall be the equivalent of one large animal. Each additional acre of gross lot area shall allow the keeping of one additional large animal or the equivalent. All grazing areas should be suitably fenced to contain the animals at all times. All buildings and structures (including rings, but not including fencing) used for the housing, stabling, training, and recreational enjoyment of such animals shall be located within the building envelope and shall be no higher than 35 feet.
 - (6) Private mailboxes shall be located as required by the United States Postal Service. Private newspaper boxes may be located adjacent to private mailboxes and no closer to the cartway than a private mailbox.
 - (7) Private driveways shall be regulated by § 150-155, and private parking spaces shall be regulated by § 150-153.
 - (8) Structures associated with public or private utilities (such as water, stormwater, sanitary waste, power, fuel, telephone, and cable) to serve permitted agricultural and single-family residential uses shall be exempt from the setbacks in this section.
 - (9) Dwelling units are expressly prohibited within any permitted accessory structure.
- B. Accessory uses authorized by this chapter shall not be interpreted to include nonpermanent structures for the sale of goods, which are prohibited by Chapter 119,¹ except as otherwise set forth therein.
- C. Private or public school uses. Accessory structures such as backstops, dugouts/team structures, retaining walls, scoreboards, bleachers (permanent or movable), benches, goals (permanent or movable), or similar accessory structures associated with outdoor sports and athletic facilities may be located or erected within 50 feet of a front lot line or 40 feet of any other property line subject to the following:
[Added 1-15-2014 by Ord. No. 248]

- (1) Backstops shall be permitted on any baseball or softball field but shall be limited to a maximum height of 40 feet;
- (2) Scoreboards shall be permitted and shall not be considered signs so long as the scoreboard complies with the following:
 - (a) Scoreboards shall not contain any advertisement for any company, product, or service;
 - (b) Scoreboards shall be limited to a maximum size of 36 feet by 10 feet;
 - (c) Scoreboards shall be limited to one per field;
 - (d) Scoreboards shall be limited to a maximum height, when mounted, of 20 feet from average surrounding grade within a stadium and 15 feet when mounted at all other fields on a single property; and
 - (e) Scoreboards, if illuminated, shall:
 - [1] Be internally illuminated LED displaying only the score and necessary game information and shall be illuminated only during the time of play and for a maximum period of 30 minutes following the end of play; and
 - [2] Neither cast any illumination off of the subject property nor create a nuisance or intrusion to the privacy of adjacent residential property owners or the public;
- (3) Dugouts or team shelters shall be limited to two per field, one for the home team and one for the visiting team;
- (4) Dugouts or team shelters shall be a maximum size of 12 feet by 50 feet;
- (5) No structure shall be located or erected so as to interfere with the sight triangle of any intersection; and
- (6) Fences and walls shall be regulated by § 150-182L.

SECTION III

1. Chapter 150, Zoning, Section §150-15, Subsection A shall be deleted in its entirety
2. Chapter 150, Zoning, Section §150-23, Subsection B shall be deleted in its entirety.
3. Chapter 150, Zoning, Section §150-25.4, Subsection B shall be deleted in its entirety.
4. Chapter 150, Zoning, Section §150-31, Subsection A shall be deleted in its entirety.
5. Chapter 150, Zoning, Section §150-39, Subsection A shall be deleted in its entirety.
6. Chapter 150, Zoning, Section §150-55, Subsection A shall be deleted in its entirety.
7. Chapter 150, Zoning, Section §150-71, Subsection B shall be deleted in its entirety.
8. Chapter 150, Zoning, Section §150-79, Subsection B shall be deleted in its entirety.
9. Chapter 150, Zoning, Section §150-87, Subsection A(3) shall be deleted in its entirety.
10. Chapter 150, Zoning, Section §150-95, Subsection B shall be deleted in its entirety.

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE 2025-303

**AN ORDINANCE AMENDING THE WORCESTER TOWNSHIP ZONING
ORDINANCE TO ESTABLISH REGULATIONS AND DEFINITIONS FOR CHILDCARE
CENTERS AND FAMILY CHILDCARE HOMES, AND TO CLARIFY PARKING
REQUIREMENTS FOR SUCH USES**

WHEREAS, the Board of Supervisors of Worcester Township recognizes the growing need for quality childcare services and the importance of providing regulatory clarity and flexibility to support such uses in appropriate zoning districts;

WHEREAS, the Board of Supervisors seeks to define and regulate Childcare Centers and Family Childcare Homes in a manner that ensures public safety, preserves neighborhood character, and aligns with applicable Commonwealth licensing standards;

WHEREAS, the Board of Supervisors finds it necessary to amend the Worcester Township Zoning Ordinance to permit Childcare Centers by right in the C Commercial District, allow Family Childcare Homes as a by-right use on residential properties, and establish appropriate definitions and parking standards for such uses;

NOW, THEREFORE, be it ordained and enacted by the Board of Supervisors of Worcester Township, Montgomery County, Pennsylvania, as follows:

Section 1. Amendment to Section 150-9, Definitions.

Childcare Center – A facility licensed or approved by the Pennsylvania Department of Human Services, providing supervised care, instruction, or developmental guidance to seven (7) or more children under the age of sixteen (16) who are not related by blood, marriage, or adoption to the operator, for fewer than twenty-four (24) hours per day. A Childcare Center may have a Kindergarten program licensed by the Pennsylvania Department of Education in the same building on a single lot.

Family Childcare Home – A residence where the operator resides and provides supervised care, instruction, or developmental guidance to three (3) to six (6) children under the age of sixteen (16) who are not related by blood, marriage, or adoption to the operator, for fewer than twenty-four (24) hours per day. The facility must be licensed by the Pennsylvania Department of Human Services if more than three children are served.

School – A facility or institution, public or private, that provides a structured curriculum of elementary, secondary, or higher education approved or licensed by the Pennsylvania Department of Education, including associated buildings, playgrounds, athletic fields, and accessory structures customarily incidental to educational uses. This term includes primary schools, secondary schools, vocational schools, colleges, universities, and similar educational facilities, but excludes childcare facilities, trade schools for adults, or private tutoring centers not offering a formal academic curriculum.

Section 2. Amendment to Section 150-112, Use Regulations in the C Commercial District.

Worcester Township Zoning Ordinance, Article XVII ('C Commercial District'), Section 150-112 ('Use regulations') is hereby amended to add a new subsection K as follows:

K. Childcare Center. Childcare centers are permitted by right within the C Commercial District, subject to compliance with the following standards:

- The facility shall provide a dedicated outdoor play area, located within the side or rear yard, fenced, secured, and landscaped to minimize impacts on adjoining properties.
- A traffic management plan shall be submitted demonstrating safe daily operations and event management, subject to review and approval by the Township. This plan shall be submitted during the land development or building permit review process.
- All childcare centers must maintain a current license issued by the Pennsylvania Department of Human Services.

Section 3. Childcare Centers Accessory to Places of Worship.

Childcare centers operated as an accessory use to a place of worship are permitted by right, provided that:

- The childcare center is located on the same lot or contiguous lots under common ownership with the place of worship;
- The childcare center is operated, sponsored, or directly overseen by the place of worship, and is not a third-party tenant or independent operator unrelated to the religious institution;
- The childcare center maintains a valid license from the Pennsylvania Department of Human Services;
- The facility shall provide a dedicated outdoor play area, located within the side or rear yard, fenced, secured, and landscaped to minimize impacts on adjoining properties.
- A traffic management plan shall be submitted demonstrating safe daily operations and event management, subject to review and approval by the Township. This plan shall be submitted during the land development or building permit review process.

Section 4. Family Childcare Homes Permitted by Right in Residential Properties.

Family Childcare Homes shall be permitted by right on any property that is used for residential purposes subject to the following conditions:

1. The Family Childcare Home shall be located within the operator's primary residence.
2. No more than six (6) unrelated children may be cared for at any one time.
3. The operator shall submit a valid license issued by the Pennsylvania Department of Human Services prior to commencing operation.

4. The use shall not alter the residential character of the dwelling, and no exterior signage shall be permitted.

5. No non-resident employees or assistants shall be permitted. All childcare must be provided by residents of the home.

Section 5. Amendment to Section 150-153.B, Required Off-Street Parking Facilities.

Worcester Township Zoning Ordinance, Article XXII ('Off-Street Parking and Loading'), Section 150-153.B ('Required off-street parking facilities') is hereby amended to add a new subsection (13) as follows:

13) Childcare center: One (1) space per employee, plus one (1) space per fifteen (15) children enrolled, plus overflow parking equal to twenty-five percent (25%) of the total required parking.

Section 6. School and Childcare Center Use in Same Facilities

The combined use of a School and Childcare center located in one building on one lot shall be permitted in all districts where Childcare Centers are permitted by right. All requirements for Childcare Centers are required to be met.

Section 7. Savings Clause.

The provisions of this Ordinance are severable. If any section, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions of this Ordinance.

Section 8. Repealer.

All ordinances or parts of ordinances inconsistent with the provisions of this Ordinance are hereby repealed to the extent of such inconsistency.

Section 9. Effective Date.

This Ordinance shall become effective as provided by law.

ORDAINED AND ENACTED this ____ day of _____, 2025.

BOARD OF SUPERVISORS
WORCESTER TOWNSHIP

By: _____

Rick DeLello, Chair

Attest: _____

Daniel DeMeno, Secretary



CKS Engineers
4259 West Swamp Road, Suite 410
Doylestown, PA 18902
P: 215.340.0600
www.cksengineers.com

June 12, 2025
Ref: # 7200-208-25
C0003644.00

Via Email

Township of Worcester
PO Box 767
Worcester, PA 19490-0767

Attention: Bob D'Hulster, Public Works Director

Reference: 2025 Roadway Improvement Program – Bid Results

Dear Bob:

This Bid Solicitation was opened on June 11, 2025 for the 2025 Roadway Improvement Program for Worcester Township. A total of five (5) bids were submitted for this contract. The low bid was submitted by Heidelberg Materials Northeast LLC of Flourtown, Pennsylvania, and their Base Bid was \$929,378.60.

In addition to the Base Bid, there was one (1) Alternate/Add-on item included in the contract. The Township can consider awarding only the Base Bid or the Base Bid plus Alternate/Add-On item. If the Township were to award the base and alternate bid items together, the total cost would be \$1,029,395.60. After reviewing the Base Bid and Alternate/Add-on item, it should be noted that Heidelberg Materials Northeast LLC is the low bidder for the Base Bid and/or Alternate/Add-on project option.

We have reviewed the documents submitted by Heidelberg Materials Northeast LLC that were included with their bid and find them to be in order and satisfactory.

By this letter, we are recommending the Township consider awarding the Base Bid and the Alternate/Add-on item to Heidelberg Materials Northeast LLC, for their bid amount of \$1,029,395.60.

Please note that this project does qualify for the use of PennDOT Liquid Fuel Funds and the Township will make the appropriate application to utilize these funds. Attached to this letter is a summary of bids and bid tabulation of bids received. Please contact me if you have any questions or need any additional information on this contract.

Very truly yours,
CKS ENGINEERS
Township Engineers

John W. Evarts, P.E.

JWE/paf
Enclosures

cc: Dan DeMeno, Township Manager
Christian Jones, Assistant Township Manager
James F. Weiss, CKS Engineers
JJ Kelso, CKS Engineers
File

2025 ROADWAY IMPROVEMENT PROGRAM

BID SUMMARY

BID DATE: JUNE 11, 2025

	CONTRACTOR	BASE BID	BASE BID + ADD/ALTERNATE NO. 1
1	Heidelberg Materials Northeast LLC 409 Stenton Ave Flourtown PA 19031	\$929,378.60	\$1,029,395.60
2	Allan Myers LP 1805 Berks Road Worcester, PA 19490	\$947,825.50	\$1,051,274.00
3	James D. Morrissey, Inc. 9119 Frankford Avenue Philadelphia, PA 19114	\$1,052,807.90	\$1,163,990.90
4	H & K Group. Inc. P.O. Box 196 2052 Lucon Road Skippack, PA 19474	\$1,071,352.10	\$1,182,681.90
5	Glasgow, Inc. 104 Willow Grove Ave. Glenside, PA 19038	\$1,107,654.00	\$1,228,267.00

WORCESTER TOWNSHIP, BUCKS COUNTY

2025 ROADWAY IMPROVEMENT PROGRAM

BID TABULATION

No.	Description	Unit Of Measure	Quantity	(1)		(2)		(3)		(4)		(5)	
				Heidelberg Materials Northeast LLC		Allan Myers LP		James D. Morrissey, Inc.		H&K Group, Inc.		Glasgow Inc.	
				Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total	Unit Price	Total
BASE BID													
1	Concrete Curb Replacements (ADA)	LF	640	\$127.20	\$81,408.00	\$120.00	\$76,800.00	\$95.00	\$60,800.00	\$99.00	\$63,360.00	\$150.00	\$96,000.00
2	Concrete Sidewalk Replacements (ADA)	SF	4240	\$26.40	\$111,936.00	\$65.00	\$275,600.00	\$30.00	\$127,200.00	\$31.00	\$131,440.00	\$49.00	\$207,760.00
3	Detectable Warning Surface (ADA) 44 Ramps	SF	272	\$62.50	\$17,000.00	\$40.00	\$10,880.00	\$30.00	\$8,160.00	\$31.00	\$8,432.00	\$60.00	\$16,320.00
4	Standard Concrete Curb Replacements (Property Owner)	LF	11	\$125.00	\$1,375.00	\$150.00	\$1,650.00	\$128.00	\$1,408.00	\$135.00	\$1,485.00	\$160.00	\$1,760.00
5	Curb Driveway Depression Replacements (Property Owner)	LF	259	\$125.00	\$32,375.00	\$150.00	\$38,850.00	\$128.00	\$33,152.00	\$135.00	\$34,965.00	\$160.00	\$41,440.00
6	Pavement Repair - Type 1, 3" 19mm Binder	SY	104	\$26.00	\$2,704.00	\$120.00	\$12,480.00	\$32.00	\$3,328.00	\$34.00	\$3,536.00	\$44.00	\$4,576.00
7	Full-width Mill (1-1/2" Depth)	SY	54012	\$2.20	\$118,826.40	\$1.00	\$54,012.00	\$3.70	\$199,844.40	\$3.30	\$178,239.60	\$3.00	\$162,036.00
8	Leveling/Scratch Course	TON	482	\$110.00	\$53,020.00	\$80.00	\$38,560.00	\$102.00	\$49,164.00	\$102.00	\$49,164.00	\$85.00	\$40,970.00
9	Wearing Course	TON	5252	\$92.00	\$483,184.00	\$77.00	\$404,404.00	\$102.00	\$535,704.00	\$109.00	\$572,468.00	\$96.50	\$506,818.00
10	Roadway Widening	SY	211	\$85.00	\$17,935.00	\$125.00	\$26,375.00	\$115.00	\$24,265.00	\$90.00	\$18,990.00	\$91.00	\$19,201.00
11	Replace Traffic Signal Loop – Single	EA	1	\$2,071.00	\$2,071.00	\$2,200.00	\$2,200.00	\$1,950.00	\$1,950.00	\$2,050.00	\$2,050.00	\$2,295.00	\$2,295.00
12	Replace Traffic Signal Loop – Double	EA	1	\$2,283.00	\$2,283.00	\$2,350.00	\$2,350.00	\$2,150.00	\$2,150.00	\$2,250.00	\$2,250.00	\$2,800.00	\$2,800.00
13	Double Yellow Centerline	LF	350	\$3.20	\$1,120.00	\$2.50	\$875.00	\$4.75	\$1,662.50	\$3.10	\$1,085.00	\$3.10	\$1,085.00
14	6" White Lane Divider Line	LF	350	\$2.40	\$840.00	\$1.65	\$577.50	\$4.00	\$1,400.00	\$2.35	\$822.50	\$2.30	\$805.00
15	2' x 12' Stop Bar	EA	1	\$127.40	\$127.40	\$120.00	\$120.00	\$120.00	\$120.00	\$125.00	\$125.00	\$123.00	\$123.00
16	2' x 20' Stop Bar	EA	1	\$212.40	\$212.40	\$200.00	\$200.00	\$200.00	\$200.00	\$210.00	\$210.00	\$205.00	\$205.00
17	"Only" Legend	EA	4	\$265.50	\$1,062.00	\$305.00	\$1,220.00	\$250.00	\$1,000.00	\$260.00	\$1,040.00	\$260.00	\$1,040.00
18	Right Arrow	EA	2	\$212.35	\$424.70	\$143.00	\$286.00	\$200.00	\$400.00	\$210.00	\$420.00	\$205.00	\$410.00
19	Left Arrow	EA	2	\$212.35	\$424.70	\$143.00	\$286.00	\$200.00	\$400.00	\$210.00	\$420.00	\$205.00	\$410.00
20	Misc. Excavation Below Subgrade	CY	5	\$210.00	\$1,050.00	\$20.00	\$100.00	\$100.00	\$500.00	\$170.00	\$850.00	\$320.00	\$1,600.00
BASE BID TOTALS					\$929,378.60		\$947,825.50		\$1,052,807.90		\$1,071,352.10		\$1,107,654.00
ALTERNATE/ADD-ON NO. 1													
1	Concrete Curb Replacements (ADA)	LF	100	\$127.20	\$12,720.00	\$120.00	\$12,000.00	\$95.00	\$9,500.00	\$99.00	\$9,900.00	\$150.00	\$15,000.00
2	Concrete Sidewalk Replacements (ADA)	SF	480	\$26.40	\$12,672.00	\$55.00	\$26,400.00	\$29.50	\$14,160.00	\$31.00	\$14,880.00	\$49.00	\$23,520.00
3	Detectable Warning Surface (ADA) – 6 Ramps	SF	48	\$62.50	\$3,000.00	\$40.00	\$1,920.00	\$30.00	\$1,440.00	\$31.00	\$1,488.00	\$60.00	\$2,880.00
4	Full-Width Mill (1-1/2" Depth)	SY	5796	\$2.50	\$14,490.00	\$1.00	\$5,796.00	\$4.25	\$24,633.00	\$3.30	\$19,126.80	\$3.50	\$20,286.00
5	Leveling/Scratch Course	TON	45	\$110.00	\$4,950.00	\$100.00	\$4,500.00	\$102.00	\$4,590.00	\$102.00	\$4,590.00	\$85.00	\$3,825.00
6	Wearing Course	TON	555	\$92.00	\$51,060.00	\$95.00	\$52,725.00	\$102.00	\$56,610.00	\$109.00	\$60,495.00	\$96.40	\$53,502.00
7	Misc. Excavation Below Subgrade	CY	5	\$225.00	\$1,125.00	\$21.50	\$107.50	\$50.00	\$250.00	\$170.00	\$850	\$320.00	\$1,600.00
ALTERNATE/ADD-ON NO. 1 TOTAL					\$100,017.00		\$103,448.50		\$111,183.00		\$111,329.80		\$120,613.00
AWARD SCENARIOS													
BASE BID					\$929,378.60		\$947,825.50		\$1,052,807.90		\$1,071,352.10		\$1,107,654.00
BASE BID + ALTERNATE/ADD-ON NO. 1					\$1,029,395.60		\$1,051,274.00		\$1,163,990.90		\$1,182,681.90		\$1,228,267.00

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION 2025-_____

**A RESOLUTION TO GRANT PRELIMINARY APPROVAL OF
TROOPER RIDGE SUBDIVISION**

WHEREAS, Commerce Pursuit Capital, LP, ("Applicant") has submitted a Plan of Subdivision and Land Development to Worcester Township and has made application for Preliminary Plan Approval of the Plan known as Trooper Ridge Subdivision. The Applicant is the equitable owner of a 15.11 acre parcel, split zoned in the R-100 Residential Zoning District and C-Commercial Zoning District as well as the MR Multi-Residential Overlay District, said parcel being Tax Parcel No. 67-00-01540-004, as more fully described in a Deed recorded in the Montgomery County Recorder of Deeds Office; and,

WHEREAS, the Applicant proposes to subdivide the existing 15.11 acre parcel to create two lots. Lot 1 will be a 1.45 acre (gross) lot to contain an existing single-family dwelling with a detached garage located entirely in the R-100 Residential Zoning District. Lot 2 will be a 13.66 acre (gross) lot to contain 45 townhouses in nine building clusters pursuant to the MR Multi-Residential Overlay Zoning District (the "Development"); and

WHEREAS, said plan received a recommendation for Preliminary Plan Approval by the Worcester Township Planning Commission at their meeting on May 22, 2025; and

WHEREAS, the Preliminary Plan of Subdivision and Land Development was prepared by T & M Associates, consisting of 46 sheets dated December 19, 2024, last revised March 26, 2025, known as Trooper Ridge Subdivision, (the "Plan(s)" or "Preliminary Plan"); and

WHEREAS, the Preliminary Plan is now in a form suitable for Preliminary Plan Approval by the Worcester Township Board of Supervisors, subject to certain conditions.

NOW, THEREFORE, IN CONSIDERATION OF THE FOREGOING,

IT IS HEREBY RESOLVED by the Board of Supervisors of Worcester Township, as follows:

1. **Approval of Plan.** The Preliminary Plan proposed by T & M Associates as described above is hereby granted Preliminary Approval, subject to the conditions set forth below.
2. **Conditions of Approval.** The approval of the Preliminary Plan is subject to strict compliance with the following conditions:
 - A. Compliance with all comments and conditions set forth in the CKS Engineers, Inc. letter of May 15, 2025, relative to the Plan.
 - B. Compliance with all comments and conditions set forth in the Montgomery County Planning Commission review letter of May 21, 2025.
 - C. Compliance with all comments and conditions set forth in the Bowman traffic review letter dated May 7, 2025.
 - D. Compliance with all comments and conditions set forth in the Fire Marshal review letter dated March 6, 2025 to the satisfaction of the Fire Marshal.
 - E. No parking shall be permitted along West Germantown Pike or North Trooper Road (S.R. 3002); no parking signs shall be placed along West Germantown Pike in such areas deemed appropriate by the Township traffic engineer.
 - F. Payment to the Township of a Traffic Impact Fee, in the total amount of \$81,250.00.
 - G. Prior to recording the Final Plan, the Applicant shall purchase 45 EDUs at the current rate per EDU.
 - H. At Final Plan approval, it will be determined whether an outdoor recreational amenity area will be provided; or, at the Board of Supervisors' discretion, the Township may require a fee-in-lieu of outdoor recreational facilities.
 - I. At Final Plan approval, it will be determined if a deferral of the Applicant's obligation to install sidewalks pursuant to Section 130-18.A of the Subdivision and Land Development Ordinance is warranted or if a fee-in-lieu of required sidewalks will be required.
 - J. The approval and/or receipt of permits required from any and all outside agencies, including but not limited to, Montgomery County Conservation District, Pennsylvania Department of

Environmental Protection, Pennsylvania Department of Transportation, Montgomery County Roads and Bridges Department, East Norriton Township (for signal and other infrastructure improvements in their jurisdiction), the receipt of will-serve letters from all applicable utilities, and all other authorities, agencies, and duly constituted public bodies having jurisdiction in any way over the development.

- K. In the event the Applicant elects to proceed with construction of the Development in phases, the record Plan shall be revised to reflect only the applicable phase or phases ("Phase Plan"); prior to recording the Preliminary/Final Plan or any Phase Plan, Applicant shall enter into a Land Development and Financial Security Agreement ("Agreement") with the Township for the applicable phase or phases. The Agreement shall be in a form satisfactory to the Township Solicitor, and the Applicant shall obligate itself to complete all of the improvements shown on the Plans in accordance with applicable Township criteria and specifications, as well as to secure the completion of the public improvements by posting financial security as required by the Pennsylvania Municipalities Planning Code, and in form satisfactory to the Township Solicitor.
- L. Prior to recording the Final Plan, Applicant shall enter into a Land Development and Financial Security Agreement ("Agreement") with the Township. The Agreement shall be in a form satisfactory to the Township Solicitor, and the Applicant shall obligate itself to complete all of the improvements shown on the Plans in accordance with applicable Township criteria and specifications, as well as to secure the completion of the public improvements by posting financial security as required by the Pennsylvania Municipalities Planning Code, and in form satisfactory to the Township Solicitor.
- M. Applicant agrees to provide Township with estimated costs for financial security and establish financial security for all public improvements, to the satisfaction of the Township Engineer, prior to Final Plan recording and issuance of any building, grading or other permits. Applicant shall provide financial security, as required by the Township, for all work that falls under their responsibility per the approved Final Plan.
- N. Following approval of the Final Plan, the Applicant shall provide to the Township for signature that number of Final Plans required for recording and filing with the various

Departments of Montgomery County, plus an additional three (3) Plans to be retained by the Township, and the Applicant shall have all Plans recorded, and the Applicant return the three (3) Plans to the Township within seven (7) days of Plan recording.

- O. The Applicant shall provide a copy of the recorded Final Plan in an electronic format acceptable to the Township Engineer, within seven (7) days of Plan recording.
- P. The Applicant shall make payment of all outstanding review fees and other charges due to the Township prior to Final Plan recording.
- Q. The Development shall be constructed in strict accordance with the content of the Final Plan, notes on the Plan and the terms and conditions of this Resolution and the Resolution of Final Plan Approval.
- R. The cost of accomplishing, satisfying and meeting all of the terms and conditions and requirements of the Plans, notes to the Plans, this Resolution, the Final Approval Resolution, and any required agreements shall be borne entirely by the Applicant, and shall be at no cost to the Township.
- S. Applicant shall provide the Township Manager and the Township Engineer with at least seventy-two (72) hour notice prior to the initiation of any grading or ground clearing, whether for the construction of public improvements or in connection with any portion of the Development.
- T. Applicant understands that it will not be granted Township building or grading permits until the Final Plan, financial security, and all appropriate development and financial security agreements, easements, and other required legal documents are approved by the Township and recorded with the Montgomery County Recorder of Deeds and all appropriate approvals and/or permits from Township or other agencies for the above mentioned project are received. Any work performed on this project without the proper permits, approvals, and agreements in place will be stopped.
- U. Applicant shall execute a Stormwater Management BMP Operations and Maintenance Agreement and Declaration of Stormwater Easement in favor of the Township, satisfactory to the Township Solicitor, which shall be recorded simultaneously with the Final Plan.

V. In the event that a Homeowners Association is proposed to maintain the stormwater management facilities/storm sewer system, access roads for the multi family dwelling units, open space and common areas within the Development, the Declaration of Covenants and Restrictions setting forth the Homeowners Association's obligations regarding same shall be in form satisfactory to the Township Solicitor.

3. **Waivers.** Unless stated otherwise in this Resolution, this Preliminary Plan Approval shall not constitute the granting of any additional waivers or deferrals except as set forth herein. All additional requested waivers and deferrals will be considered at the time of Final Plan Approval. If the Final Plan is not compliant with the Zoning or Subdivision and Land Development Ordinance of the Township, then this approval does not grant permission for said noncompliance because at the time of Final Plan Approval, the Township will either permit the noncompliance by additional waivers or will deny the additional waiver request and, possibly, deny the Final Plan.

The Worcester Township Board of Supervisors hereby grants the following waivers requested with respect to this Plan:

- A. §129-18.C.(2) of the Worcester Township Stormwater Management Ordinance - a partial waiver to permit HDPE storm pipe for structures S9 to S2 and T12 to T9.
- B. §129-18-H.(12) of the Worcester Township Stormwater Management Ordinance - a waiver to allow for the basin emergency spillway to be vegetated with a permanent liner.
- C. §129-18.H.(19) of the Worcester Township Stormwater Management Ordinance - a waiver for the freeboard of 100-year water elevation to top of outlet structure. The additional freeboard to emergency spillway requires a waiver as the primary spillway is a weir in the lower chamber.
- D. §130-16.B.2.a of the Worcester Township Subdivision and Land Development Ordinance - to permit the internal private access street to have radii less than 150 feet;
- E. §130-16.C.1.a.4 of the Worcester Township Subdivision and Land Development Ordinance - to permit a 40 foot right-of-way rather than the required 50 foot right-of-way as the internal street will be a private street, and to permit the internal access street to have a width of 24 feet;

- F. § 130-17.B.2. of the Worcester Township Subdivision and Land Development Ordinance - to permit less than a 40 foot distance from street intersections to driveways at units 1, 10 and 45;
 - G. § 130-17.D.2 of the Worcester Township Subdivision and Land Development Ordinance - to permit the proposed guest parking direct access to the internal access way;
 - H. § 130-18.A.3 of the Worcester Township Subdivision and Land Development Ordinance - to permit sidewalks to be 4 feet from the curblines; and
 - I. § 130-18.B.1.a of the Worcester Township Subdivision and Land Development Ordinance - to permit Belgian Block curb along the internal access drives of the public rights-of-way.
4. **Acceptance.** The Conditions of Approval set forth in paragraph 2 above shall be accepted by the Applicant, in writing, within ten (10) days from the date of receipt of this Resolution.
5. **Effective Date.** This Resolution shall become effective on the date upon which the Conditions are accepted by the Applicant in writing.

BE IT FURTHER RESOLVED that the Plan shall be considered to have received Preliminary Plan Approval once staff appointed by the Worcester Township Board of Supervisors determines that any and all conditions attached to said approval have been resolved to the satisfaction of Township staff. This approval **DOES NOT** represent nor constitute Final Plan Approval. Any changes to the approved site Plan will require the submission of an amended site Plan for land development review by all Township review parties.

RESOLVED and **ENACTED** this _____ day of June, 2025 by the Worcester Township Board of Supervisors.

FOR WORCESTER TOWNSHIP

By: _____
Richard DeLello, Chairman
Board of Supervisors

Attest: _____
Daniel DeMeno, Secretary

ACCEPTANCE

The undersigned states that he/she is authorized to execute this Acceptance on behalf of the Applicant and equitable owner of the property which is the subject matter of this Resolution, that he/she has reviewed the Conditions imposed by the Board of Supervisors in the foregoing Resolution and that he/she accepts the Conditions on behalf of the Applicant and the equitable owner and agrees to be bound thereto. This Acceptance is made subject to the penalties of 18 Pa. C.S.A. Section 4904 relating to unsworn falsifications to authorities.

COMMERCE PURSUIT CAPITAL, LP

Date: _____

By: _____

(PRINT NAME AND TITLE)



April 4, 2025

Mr. Dan Demeno, Township Manager/Zoning Officer
Worcester Township
1721 South Valley Forge Road
Worcester, PA 19490

RE: **Trooper Ridge Subdivision – Waiver Requests
Preliminary Land Development Plan**

Dear Mr. Demeno:

On behalf of the applicant, Commercial Pursuit Capital, LLC, we respectfully request the following waiver related to the preliminary land development plan design:

Chapter 129: Stormwater Management

§129-18.C.(2): All storm sewer piping shall be Class III reinforced concrete pipe

Waiver Justification: The applicant is requesting a partial waiver from this requirement to allow for HDPE storm pipe for structures S9 to S2 and T12 to T9. These pipes are integrated with the swales along the outer perimeter of the development and HDPE is a more appropriate material to work with in these areas.

§129-18.H.(12): Emergency spillways discharging over fill embankments shall be constructed of reinforced concrete checkerblocs.

Waiver Justification: The applicant is requesting a waiver from this requirement to allow for the basin emergency spillway to be vegetated (grass) with a North American Green C-350 liner. The C-350 liner can withstand velocities of up to 10.5 fps in an unvegetated condition and 20 fps when fully vegetated. The max velocity in each spillway based on the 100-year design storm is less than 2 fps.

§129-18.H.(19): A minimum of 6 inches is required between the emergency spillway elevation and the top of grade elevation of the outlet structure. Six inches is also required between the 100-year water surface elevation and the top of grade of the outlet structure.

Waiver Justification: The proposed stormwater management basin system utilizes an efficient, unique design which minimizes the footprint. There is a vegetated surface component that provides water quality treatment for smaller, more frequent storm events designed per the PADEP MRC protocol. Larger storms are designed to overtop the outlet structure to be collected in a lower underground chamber for rate control. The nature of this efficient-footprint design requires a waiver for the freeboard of 100-year water elevation to top of outlet structure. The additional freeboard to emergency spillway also requires a waiver as the primary spillway is a weir in the lower chamber. However, at the surface, the basin is provided with two (2) earthen emergency spillways. It must lastly be noted that the basin is designed with the TR-55 Method, which is 2.5x more conservative than the Rational Method that the ordinance allows for smaller sites such as this, that the additional freeboard requirements may have been considered for.



§130-16.B.2.a: Horizontal curves for streets shall have a minimum radius of 150 feet

Waiver Justification: Section 130-17.C Driveways for Land Developments, Subsection (1) allows driveways intended for the use of two or more families where the usage by the occupants constitutes essentially a private street. Driveways serving as a private street shall not be dedicated to the municipality. Subsection (2) states that construction of driveways to be used as private streets shall conform to the minimum design standards for public streets, other than those applicable to rights-of-way, width, curbing and shoulder grading; provided, however, that the width of the cartway shall not be in any event less than 20 feet.

The applicant offers that the internal accessway serving the townhouses, which fall within the Township's definition of multifamily units, complies with the definition of private street as defined in Section 130.17.C.

Should it be determined that the internal access drive does not fall within the purview of Section 130.17.C, a waiver is requested from 130-16.B.2.a to allow the internal access street to have radii less than 150' because it is intended to serve only the 45 units and is designed to reduce the amount of roadway otherwise required thus minimizing impervious surface, promote the goal of providing an interesting small community environment that provides for landscaped courts within paved areas, guest parking areas, and locations for community mailboxes. In addition the courts create endpoints at either end of the internal access drive that are more in keeping with a cohesive community than a "J" or "T" turn-around would be.

§130-16.C.1.a.4: A 50 foot wide right of way is required for internal roads.

Waiver Justification: See the description of Section 130-17.C Driveways for Land Developments, above.

A waiver is requested to not provide a 50 foot wide right of way because the internal street will be private and maintained by a Planned Community Association (PCA). In the alternative, a waiver is requested to allow a private right of way that is 40 feet wide.

§130-16.C.1.a.4: A 32, 30, or 28 foot wide cartway is required.

Waiver Justification: See the description of Section 130-17.C Driveways for Land Developments, above.

Should it be determined that the internal access drive does not fall within the purview of Section 130.17.C, a waiver is requested from 130-16.C.1.a.4 to allow the internal access street to have a width of 24 feet because it is intended to serve only the 45 units and is designed to minimize impervious surface, promote the goal of providing an interesting small community environment that provides for landscaped islands within paved areas, guest parking areas, and locations for community mailboxes. In the Fire Marshal's review, it was stated that the 24 foot wide access drive is acceptable with the installation of "No Parking" signs. "No Parking" signs have been provided on the plans.

§130-17.B.2: Driveways shall be a minimum of 40 feet from street intersections.

Waiver Justification: See the description of Section 130-17.C Driveways for Land Developments, above.

Should it be determined that the internal access drive does not fall within the purview of Section 130.17.C, a waiver is requested from 130—17.B.2 to allow less than a 40 feet distance from street intersections to driveways. The closest edge of the paved parking spaces in front of units 1, 10, and 45 are 38 feet from the centerline of the nearest intersecting street which would be a de minimis relief of 2 feet.



§130-17.D.2: Perpendicular parking spaces are prohibited along private roadways unless separated by barrier curbing and at least 7 feet from the cartway

Waiver Justification: See the description of Section 130-17.C Driveways for Land Developments, above.

Should it be determined that the internal access drive does not fall within the purview of Section 130.17.C, a waiver is requested from 130—17.D.2 to allow the proposed guest parking direct access to the internal access way. If a separate driveway is required to provide access to the guest parking spaces, it would reduce the area available to provide guest parking and increase the amount of impervious surface for the development. It would also adversely impact the ability to develop the property for the proposed use given the existing topography at the property and the other ordinance requirements, including the setback and buffer requirements.

§130-18.A.1: Sidewalks shall be provided along all streets.

Waiver Justification: A waiver is requested to not provide a sidewalk along the last 240 feet of Trooper Road frontage at the northern end of the property. There is no sidewalk or significant shoulder beyond the northern end of the property. The property along the final 240 feet for which the waiver is requested has several large trees front of the existing house that would require demolition and change the character of the house. Also there are steep grades that would require significant change in front of the existing house and to the north to accommodate a sidewalk.

§130-18.A.3: Sidewalks shall be 5 feet from the curbline

Waiver Justification: A waiver is requested to allow sidewalks to be 4 feet from the curbline. Montgomery County Planning Commission typically recommends at least a 2-foot verge. The 4-foot verge provided is adequate for tree planting and provides sufficient separate from the sidewalk for pedestrian safety along the internal access driveway.

§130-18.B.1.a: Curbing must be concrete

Waiver Justification: A waiver is requested to provide Belgian Block curb along the internal access drives outside of the public rights-of-way to promote a unique community environment for the development.

Thank you very much for your consideration of the requested waivers and please contact me with any questions you may have.

Sincerely,
T&M Associates

Barry G. Stingel, PLA
Supervising Landscape Architect

PRELIMINARY LAND DEVELOPMENT PLANS

FOR

TROOPER RIDGE SUBDIVISION

WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE	
1	COVER SHEET	*
2	LEGEND AND NOTES SHEET	
3	EXISTING CONDITIONS PLAN	
4	EXISTING CONDITIONS PLAN-2	
5	EXISTING RESOURCES PLAN	
6	DEMOLITION PLAN	*
7	SITE PLAN	*
8	SITE PLAN	
9	GRADING PLAN	
10	UTILITY PLAN	
11	DRAINAGE PLAN	
12	LANDSCAPE PLAN	
13	LIGHTING PLAN	
14	EROSION AND SEDIMENT CONTROL PLAN	*
15	NATURAL RESOURCES PROTECTION PLAN	
16	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	
17	STORM PROFILE-1	
18	STORM PROFILE-2	
19	STORM PROFILE-3	
20	STORM PROFILE-4	
21	SANITARY PROFILE-5	
22	SANITARY PROFILE-6	
23	ROAD PROFILE- CENTERLINE	
24	ROAD PROFILE- NORTH LOOP	
25	ROAD PROFILE- SOUTH LOOP	
26	CONSTRUCTION SITE DETAILS-1	
27	CONSTRUCTION SITE DETAILS-2	
28	STORM SEWER DETAILS-1	
29	STORM SEWER DETAILS-2	
30	UTILITY DETAILS-1	
31	UTILITY DETAILS-2	
32	UTILITY DETAILS-3	
33	LANDSCAPE DETAILS	
34	LANDSCAPE SCHEDULE	
35	LIGHTING DETAILS	
36	EROSION AND SEDIMENT CONTROL DETAILS-1	
37	EROSION AND SEDIMENT CONTROL DETAILS-2	
38	EROSION AND SEDIMENT CONTROL DETAILS-3	*
39	EROSION AND SEDIMENT CONTROL DETAILS-4	
40	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS-1	*
41	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS-2	
42	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS-3	
43	FIRETRUCK TURNING TEMPLATE	
44	FIRETRUCK TURNING TEMPLATE-2	
45	TRASH TRUCK TURNING TEMPLATE	
46	BOX TRUCK TURNING TEMPLATE	
** SHEETS INDICATED TO BE INCLUDED IN RECORD PLAN SET		

UTILITY USER LIST

ACT NUMBER 287 OF 1974 AS AMENDED

COMCAST

1250 HADDONFIELD-BERLIN RD
CHERRY HILL, NJ, 08034
CONTACT: WYATT PARRISH
EMAIL: WYATT.PARRISH@COMCAST.COM
PHONE: 484-368-4391

PECO ENERGY

C/O USIC LLC
450 S HENDERSON RD SUITE B
KING OF PRUSSIA, PA, 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: NIKKIASIMPKINS@USICLLC.COM
PHONE: 484-681-5720

MONTGOMERY COUNTY - PA

1 MONTGOMERY PLZ-ASST & INF-RD & BRG
PO BOX 311-SUITE 613
NORRISTOWN, PA, 19404
CONTACT: MORGAN ROUSCHER
EMAIL: MORGAN.ROUSCHER@MONTGOMERYPA.GOV
PHONE: 610-278-5173

VERIZON BUSINESS FORMERLY MCI

700 WESTON PKWY
CARY, NC, 27513
CONTACT: VICTOR WOOD
EMAIL: VICTOR.S.WOOD@VERIZON.COM
PHONE: 919-414-2782

PENNSYLVANIA AMERICAN WATER

171 W JOHNSON HIGHWAY
NORRISTOWN, PA, 19401
CONTACT: SITI YEARWOOD
EMAIL: SITI.YEARWOOD@AMWATER.COM
PHONE: 610-292-3575

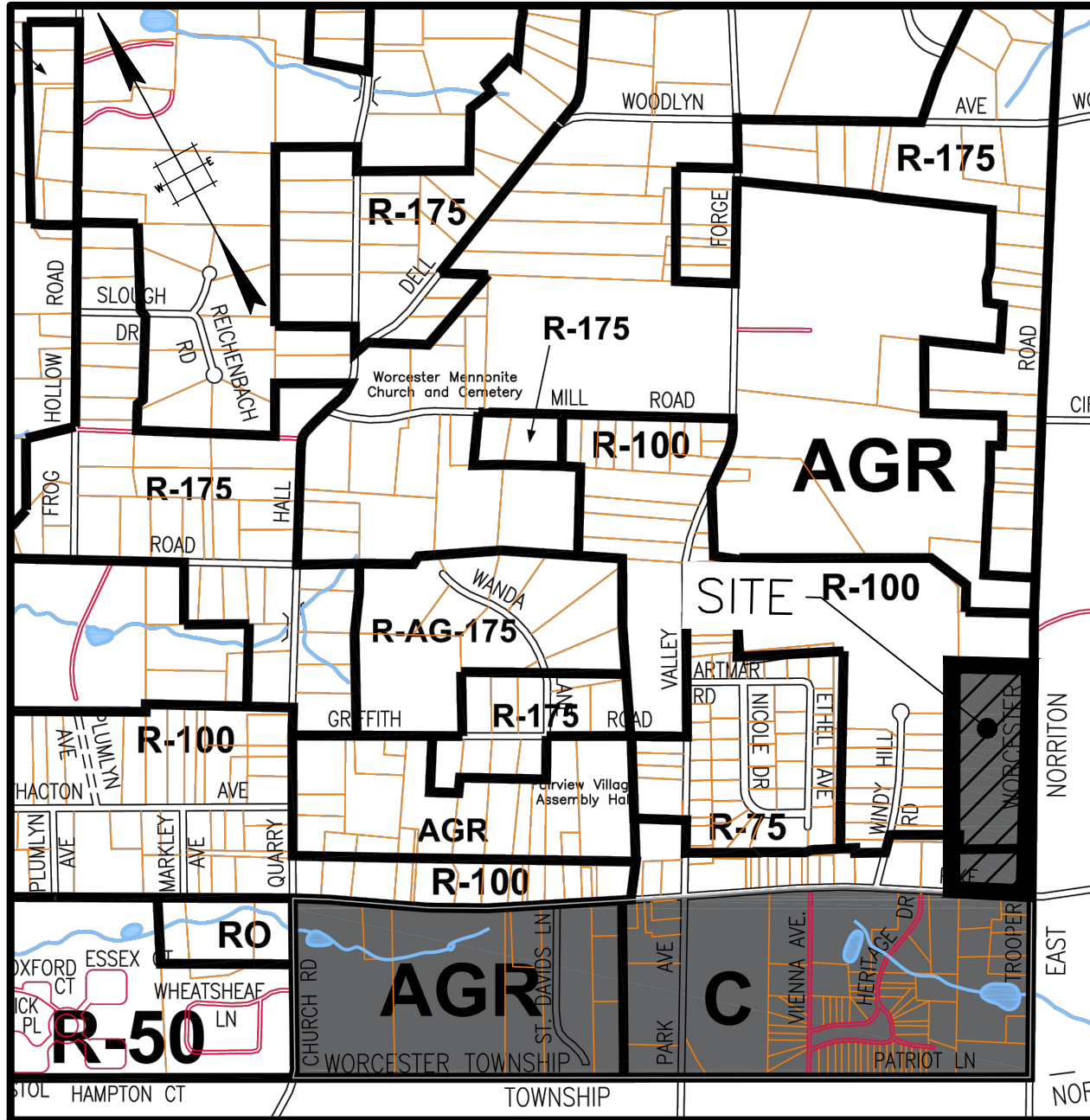
WORCESTER TOWNSHIP

1721 SOUTH VALLEY FORGE ROAD
P.O. BOX 767
WORCESTER, PA 19490
CONTACT: ROBERT DHULSTER
EMAIL: RDHULSTER@WORCESTER.TWP.PA.GOV
PHONE: 610-584-1410 EXT. 114



CONTEXT MAP

SCALE: 1"=400'



ZONING MAP

SCALE: 1"=1,000'

LEGAL OWNER:

JAMES O'DONNELL
1035 TROOPER ROAD
NORRISTON, PA 19403

EQUITABLE OWNER/APPLICANT:

COMMERCIAL PURSUIT CAPITAL, LLC
1300 VIRGINIA DRIVE, SUITE 215
FORT WASHINGTON, PA 19034
(901) 755-4737

COMMONWEALTH OF PENNSYLVANIA, COUNTY OF MONTGOMERY:

ON THIS THE _____ DAY OF _____, 20____, BEFORE ME, THE SUBSCRIBER, PERSONALLY APPEARED
COMMERCE PURSUIT CAPITAL, LP, AND THAT AS MUCH TO DO SO, HE/SHE EXECUTED THE FOREGOING PLAN BY SIGNING THE
NAME OF SAID CORPORATION BY HIMSELF/HERSELF AS _____, THAT THE SAID CORPORATION
IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND
ENDORSED THEREON AND THAT THE SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

BY: _____

OWNER
COMMERCE PURSUIT CAPITAL, LP

NOTARY PUBLIC

MY COMMISSION EXPIRES ON THIS ____ DAY OF _____, 20 ____.

CERTIFICATE OF CONFORMANCE - P.E.

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH
ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

CHRISTOPHER W. JENSEN, P.E.
LICENSE NO. PE076464

SITE & ADJACENT ZONING DISTRICT	
DESIGNATION	ZONING CLASSIFICATION
AGR	AGRICULTURAL
R-175	RESIDENTIAL
R-150	RESIDENTIAL
R-100	RESIDENTIAL
R-75	RESIDENTIAL
R-50	RESIDENTIAL
RO	RESIDENTIAL OFFICE
R-AG-175	RESIDENTIAL AGRICULTURAL
R-AG-200	RESIDENTIAL AGRICULTURAL
C	COMMERCIAL
LI	LIMITED INDUSTRIAL
LPD	LAND PRESERVATION DISTRICT
SC	SHOPPING CENTER
MH	MOBILE HOME DEVELOPMENT
	MULTI-RESIDENTIAL USE OVERLAY DISTRICT
AQRC	AGE QUALIFIED RESIDENTIAL COMMUNITY

WAIVERS REQUESTED

§129-18 - A PARTIAL WAIVER IS REQUESTED FROM THIS SECTION TO ALLOW
FOR HDPE STORM PIPE IN LIEU OF CONCRETE

APPROVED

APPROVED THIS _____ DAY OF _____, 20____, BY THE BOARD OF SUPERVISORS OF
WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA

ATTEST: _____
SIGNATURE, CHAIRMAN

DATE SIGNED _____

SIGNATURE, SECRETARY _____

DATE SIGNED _____

(TOWNSHIP NOTARY SEAL) _____

REVIEWED

REVIEWED THIS ____ DAY OF _____, 20____, BY THE PLANNING COMMISSION OF
WORCESTER TOWNSHIP, MONTGOMERY COUNTY PA,

ATTEST: _____
SIGNATURE

DATE SIGNED _____

REVIEWED BY THE TOWNSHIP ENGINEER OF WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA

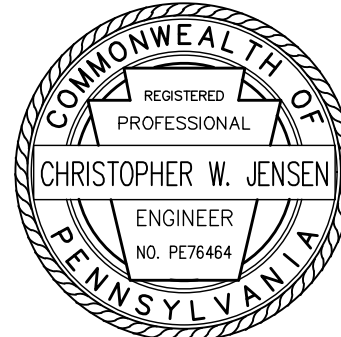
TOWNSHIP ENGINEER: _____ DATE: _____



ATTENTION: ALL CONTRACTORS LOCATING OR ALL EXISTING UTILITIES
SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY
RECORDS AND/OR AERIAL PHOTOGRAPHS. THE USER OF THESE PLANS
COMPLETENESS OR ACCURACY OF THE SIZE, DEPTH OR HORIZONTAL
LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE
GUARANTEED. IT IS THE USER'S RESPONSIBILITY TO OBTAIN ALL
NECESSARY INFORMATION TO DETERMINE THE LOCATION OF ALL
LEGISLATIVE ACT NUMBER 287 OF 1974 AS AMENDED BY ACT 121 OF
2004. CONTRACTORS MUST VERIFY LOCATIONS AND DEPTHS OF ALL
UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.
20243371817

NO.	DATE	BY	REVISIONS
1	03/26/25	JPK	BGS
2	02/26/25	JPK	REVISED PER TOWNSHIP COMMENTS
3	03/26/25	JPK	UPDATES FOR 44 NPDES SUBMISSION
4	03/24/25	JPK	UPDATES FOR NPDES PRE-SUBMISSION

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

COVER SHEET



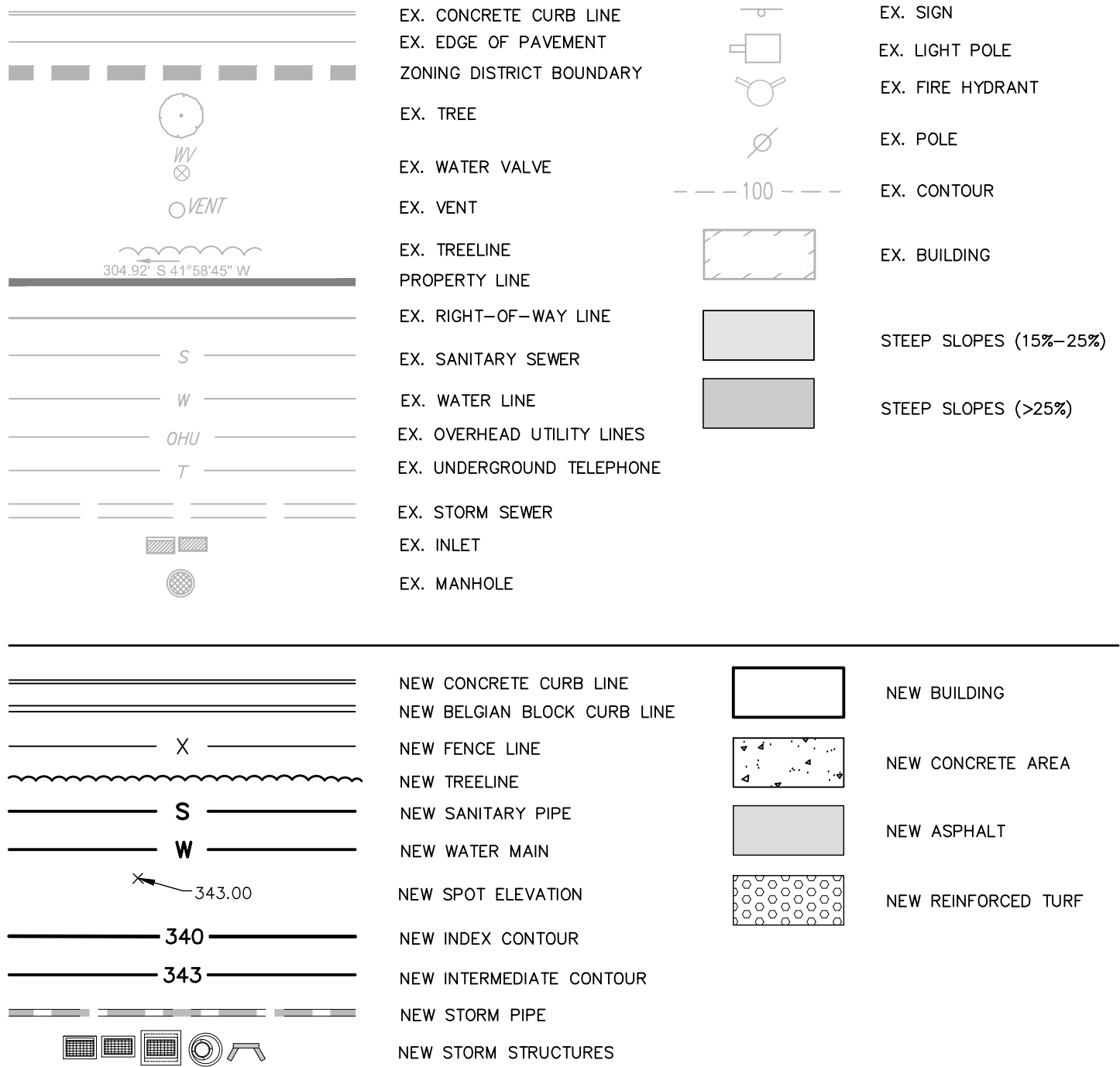
1700 MARKET STREET, SUITE 3110
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

OFFICES LOCATED IN:
CALIFORNIA, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

DESIGNED BY JPK/CKS/CMR/ROP/ZHR CHECKED BY BGS/ZHR DRAWN BY SCR/CKS/RAM	DRAWING CVR SHEET 1 OF 46
DATE 12/19/2024 SCALE AS NOTED PROJ. NO. WDEV00004	

(ORIENTATION & SIZE MAY VARY)

(ORIENTATION & SIZE MAY VARY)



THE FOLLOWING OCCUPATION RESULTS (PERCENT AND COUNTS) ARE REQUIRED FOR THE

- | | | | | |
|----|--|-----|---|----|
| 1. | TWO HIGHWAY OCCUPANCY PERMITS (PENNDOT AND COUNTY) ARE REQUIRED FOR THIS PROJECT BEFORE ACCESS IS GRANTED TO THE (PENNDOT) STATE ROAD (SR3002) AND THE COUNTY ROAD (WEST GERMANTOWN PIKE) | 27. | THIS SHEET IS PART OF A LAND DEVELOPMENT PLAN SET ON RECORD AT THE MUNICIPALITY OF JURISDICTION. | 1. |
| 2. | IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS, SPECIFICATIONS, AND REFERENCED DOCUMENTS ASSOCIATED WITH THE PROJECT WORK. IN ADDITION TO OBTAINING ALL NECESSARY PERMITS, THE CONTRACTOR SHALL FIND A CONFLICT OR DISCREPANCY WITH THE DRAWINGS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSTRUCTION MEETS ALL APPLICABLE CODE REQUIREMENTS. | 28. | ALL CURB RADI SHALL BE MIN. 5' UNLESS OTHERWISE NOTED OR DIMENSIONED. | 2. |
| 3. | ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND LOCATIONS OF THE PROJECT. THE COMPLETENESS OF THE SIZE, DEPTH, OR HORIZONTAL AND VERTICAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF THE PENNSYLVANIA LEGISLATIVE ACT NUMBER 287 OF 1974, AS AMENDED BY ACT 181 OF 2006, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. PA LAW REQUIRES THREE WORKING DAYS NOTICE FOR CONSTRUCTION PHASE. CALL THE PA ONE CALL SYSTEM AT 1-800-242-1776. SERIAL NO. 20243371817 MAY BE PLACED FOR DESIGN PURPOSES ONLY. | 29. | AN AS-BUILT PLAN SHALL BE PREPARED FOR THE PROJECT INDICATING ACTUAL LOCATIONS, DIMENSIONS, AND ELEVATIONS OF ALL COMPLETED IMPROVEMENTS. THE PLAN SHALL BE PREPARED BY A PROFESSIONAL SURVEYOR REGISTERED IN THE STATE OF PENNSYLVANIA AND CERTIFIED BY THE ENGINEER WHO PREPARED THE FINAL PLAN. THE AS-BUILT PLAN SHALL BE SUBMITTED TO THE TOWNSHIP NO LATER THAN NINETY (90) DAYS AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE DEVELOPMENT. | 3. |
| | | 30. | THE OWNER/EQUITABLE OWNER OF THE PROPERTIES WILL BE RESPONSIBLE FOR THE ONGOING INSPECTIONS, OPERATION, REPAIR, AND MAINTENANCE OF THE STORMWATER MANAGEMENT BMP'S AND CONVEYANCE SYSTEMS AFTER COMPLETION OF CONSTRUCTION. | 4. |
| | | 31. | A BLANKET STORMWATER MANAGEMENT EASEMENT OVER LOT 2 IS PROPOSED TO BE GRANTED TO THE TOWNSHIP TO ALLOW LEGAL ACCESS AND MAINTENANCE VEHICLE ACCESS FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES SHOULD THE NEED ARISE. | 5. |
| | | 32. | ALL PROPOSED PEDESTRIAN FACILITIES WITHIN THE SITE AND WITHIN THE PUBLIC RIGHT-OF-WAY (INCLUDING CURB RAMPS AND PEDESTRIAN ACCESS ROUTES) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE U.S. ACCESS BOARD, PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) OF THE ACCESSIBILITY REQUIREMENTS OF PENNDOT STANDARD SPECIFICATIONS FOR ROADWAY PART 7 CHAPTER 6, AND PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION (PUBLICATION 72M, RC-67M). UNLESS SPECIFIED OTHERWISE THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO INSTALLATION. | 6. |
| 4. | PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES. | 33. | WORK ON SITE IS ALLOWED FROM 7AM TO 7PM, MONDAY THROUGH SATURDAY. NO WORK IS ALLOWED ON SUNDAY. WORK HOURS WILL BE STRICTLY ENFORCED BY THE TOWNSHIP. | 7. |
| 5. | ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH "THE AMERICAN DISABILITIES ACT", "ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES", AND "THE PENNSYLVANIA UNIFORM ACCESSIBILITY ACT" | 34. | FIRE SPRINKLER SYSTEMS ARE PROPOSED TO BE INSTALLED WITHIN THE MULTI-FAMILY BUILDINGS | 8. |
| 6. | THIS PLAN SHALL NOT BE USED FOR BUILDING TAKEOUT PURPOSES. PROPOSED BUILDING LOCATION AS DEPICTED IS WITHIN ACCEPTABLE TOLERANCES FOR SITE WORK ONLY. PLEASE REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR EXACT BUILDING | 35. | ALL PROPOSED UTILITIES WILL BE INSTALLED UNDERGROUND | 9. |

4. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE

- DEPOT HEREON BUT SHALL ULTIMATELY CONFORM TO ALL APPLICABLE ZONING SETBACKS, IMPERVIOUS SURFACE COVERAGE RATIOS, ETC. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER IF FINAL BUILDING FOOTPRINTS SUBSTANTIALLY VARY FROM THE FOOTPRINTS HEREON.
- CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH PENNDOT "PUBLICATION 408" LATEST EDITION, MUNICIPAL STANDARDS AND SPECIFICATIONS, AND UTILITY AUTHORITY/CO. STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE RESTRICTIVE.
- SIGNED/SEALED STRUCTURAL DESIGN CALCULATIONS AND CONSTRUCTION DETAILS OF PROPOSED RETAINING WALL(S) SHALL BE SUBMITTED BY THE CONTRACTOR TO THE PROJECT ENGINEER AND MUNICIPALITY FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS AND COMPLETE ALL WORK INDICATED OR IMPLIED ON THE PROJECT PLANS AND/OR SPECIFICATIONS THAT ARE NOT EXISTING ON THE PROJECT SITE AND THAT ARE NOT SPECIFICALLY NOTED AS 'FUTURE' OR 'NOT IN CONTRACT (NIC)', 'BY OTHERS', 'BY OTHER CONTRACTORS', 'BY EC', 'BY PC', 'BY MC'.
- THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION. SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES; SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES; CONTRACTOR IS RESPONSIBLE TO COORDINATE CERTIFICATIONS, SIGN-OFFS, ETC. NECESSARY FOR JOB CLOSEOUT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF ANY CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
- THE PROPERTY SURVEY AS CERTIFIED SHALL BE CONSIDERED A PART OF THESE PLANS.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IN WRITING IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER EXISTING SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK DUE TO DISCREPANCIES OR CONFLICTS ON THE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN PRIOR TO THE START OF WORK AND MATERIALS PROCUREMENT.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS IDENTIFIED BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF ACTIVITY.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS AND OTHER FEDERAL, STATE, AND LOCAL REGULATIONS, TO ENSURE THE PUBLIC AND CONTRACTOR SAFETY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
 - A. ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
 - B. THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
 - C. ALL EXISTING UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - D. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING DEMOLITION ACTIVITIES.
 - E. FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND RELOCATION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - F. COORDINATE WITH UTILITY COMPANIES AND TOWNSHIP REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT OF THE AFFECTED PARTIES.
 - G. ANY AND ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. DOCUMENTATION OF ANY AND ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOLIDS, ASBESTOS, OR OTHER WORK REFERENCED OR IMPLIED HEREIN IS THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.

1. ROOF LEADERS SHALL BE CONNECTED DIRECTLY TO THE PROPOSED STORMWATER MANAGEMENT SYSTEM OR DIRECTED VIA SURFACE GRADES TO INLETS/STORMWATER MANAGEMENT SYSTEMS. LEAF TRAPS, GUTTER GRABS, AND/OR CLEANOUTS TO BE PROVIDED TO PREVENT CLOGGING BY UNWANTED DEBRIS.
2. ALL STORM CONVEYANCE PIPE SHALL BE SMOOTH LINE DOUBLE WALLED HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE SPECIFIED. ALL ROOF LEADERS SHALL BE SCHEDULE 40 PVC.
3. ALL DETENTION AND RETENTION BASIN EMBANKMENTS SHALL BE PLACED IN 8 FEET LIFTS AND THE TOP OF EACH LIFT SHALL BE COMPACTED PRIOR TO PROCEEDING TO THE NEXT LIFT, COMPACTION SHALL BE CHECKED BY THE MUNICIPAL ENGINEER OR AN APPROVED GEOTECHNICAL ENGINEER WHO SHALL PROVIDE THE MUNICIPAL ENGINEER WITH A WRITTEN REPORT. COMPACTION TESTS SHALL BE PERFORMED USING THE SAND CONE METHOD IN ACCORDANCE WITH ASTM D-1577-07. COMPACTION TESTS SHALL BE RUN ON THE LEADING AND TRAILING EDGE AS WELL AS THE TOP OF THE BERM.
4. ANTI-SEEP COLLARS SHALL BE INSTALLED AROUND THE PIPE BARREL WITHIN THE NORMAL SATURATION ZONE OF THE DETENTION BASIN BERMS. THE ANTI-SEEP COLLARS AND THE TOP OF THE COLLARS SHALL BE PLACED AT THE WATER INTERFLECT. THE ANTI-SEEP COLLARS SHALL EXTEND A MINIMUM OF TWO FEET BEYOND THE OUTSIDE OF THE PRINCIPAL PIPE BARREL. THE MAXIMUM SPACING BETWEEN COLLARS SHALL BE LIMITED TO THE MINIMUM VERTICAL DISTANCE OF THE COLLARS MEASURED PERPENDICULAR TO THE PIPE. A MINIMUM OF TWO (2) ANTI-SEEP COLLARS SHALL BE INSTALLED ON EACH OUTLET PIPE. ANTI-SEEP COLLAR SHALL BE CAST-IN-PLACE.
5. IF A CONFLICT ARISES DURING THE INSTALLATION OF ANY PART OF THE STORM SEWER SYSTEM THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IN WRITING.
6. LANDSCAPING, FENCES AND STRUCTURES SHALL BE PLACED A MINIMUM OF 5 FEET AWAY FROM STORM SEWERS OUTSIDE OF THE RIGHT OF WAY OF STREETS.
7. REFER TO SITE / RECORD PLAN FOR ADDITIONAL NOTES.
8. ALL STORM SEWER INLETS MUST BE IDENTIFIED WITH A STORM DRAIN MARKER. STORM DRAIN MARKERS SHALL BE STAINLESS STEEL AFFIXED TO THE INLET HOOD WITH ADHESIVE, RIVETS, OR BOLTS. (MARKER MAY BE BOLTED TO THE GRADE IN OFF-ROAD LOCATIONS). MARKER SHALL HAVE A MINIMUM DIAMETER OF 3" AND BE SUFFICIENTLY DURABLE TO WITHSTAND TRAFFIC. THE MARKER SHALL BE THE DESIGNATIONS/SIZES MAY BE USED IF APPROVED BY THE TOWNSHIP.

1. APPLICANT: COMMERCE PURSUIT CAPITAL, LLC
1300 VIRGINIA DRIVE #215
FORT WASHINGTON, PA 19034
2. LEGAL OWNER: JAMES O'DONNELL
1035 TROOPER ROAD
NORRISTOWN, PA 19403
3. EXISTING PROPERTY IDENTIFICATION:
APN #: 67-00-01540-004
TRACT LOCATION:
1035 TROOPER ROAD,
NORRISTOWN, PA 19034
WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA
3. DEVELOPABLE AREA SUMMARY:
- | | LOT 1 | LOT 2 |
|--------------------------------------|------------|-------------|
| RIGHT TRACT AREA= | 1.46 ACRES | 13.65 ACRES |
| GROSS TYPICAL WAY = | 0.29 ACRES | 1.47 |
| ACRES/UTILITY EASEMENTS = | 0.00 ACRES | 0.00 ACRES |
| FLOODPLAIN = | 0.00 ACRES | 0.00 ACRES |
| WETLANDS = | 0.00 ACRES | 0.00 ACRES |
| OVERHEAD UTILITY LINES = | 0.00 ACRES | 0.00 ACRES |
| LAND CONTINUOUSLY COVERED BY WATER = | 0.00 ACRES | 0.00 ACRES |
| DEVELOPABLE AREA = | 1.17 ACRES | 12.18 ACRES |
4. IMPERVIOUS AREAS WITHIN MINIMUM LOT AREA:
- | LOT 2 | LOT 1 |
|--------------------------|--------------------|
| BUILDING - 1.74 AC | BUILDING - 0.09 AC |
| SIDEWALK - 0.47 AC | SIDEWALK - .04 AC |
| DRIVEWAYS - 1.02 AC | PAVEMENT - 0.23 AC |
| RETAINING WALL - 0.12 AC | |

1. VERTICAL DATUM IS NAVD 1988 AND ESTABLISHED BY OBSERVATIONS REFERENCED TO THE NGS CORS NETWORK.
2. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHOULD NOT BE LESS THAN 1%.
3. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER OR ONTO ADJACENT PROPERTIES.
4. WALLS IN EXCESS OF 30" IN HEIGHT REQUIRE A SAFETY FENCE A MINIMUM OF 42" IN HEIGHT. REFER TO DETAIL SHEETS.
5. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE / RECORD PLAN WILL SUPERSEDE IN ALL CASES. THE ENGINEER OF RECORD MUST BE IMMEDIATELY NOTIFIED IN WRITING OF ANY CONFLICT.
7. THE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS (INCLUDING DEP, ETC.) FOR ALL OFF-SITE HAIL AND/OR BORROW SITES. THE CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO DESIGN ENGINEER AND OWNER PRIOR TO INITIATING WORK.
8. EXISTING INLETS AND STORM SEWER INDICATED AS FILLED W/DEBRIS SHALL BE CLEANED AND FLUSHED. NEW INLETS AND PIPES SHALL BE CHECKED FOR SILT/DEBRIS AFTER CONSTRUCTION AND FLUSHED/CLEANED IF NECESSARY.
9. DEPTH OF EXISTING UTILITIES IN PORTIONS OF THE SITE ARE UNKNOWN. WHERE EXISTING UTILITIES ARE TO REMAIN AND ARE FOUND TO HAVE INADEQUATE GROUND COVER AFTER FINAL PROPOSED GRADES HAVE BEEN ESTABLISHED, THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND PRIOR TO FURTHER CONSTRUCTION ACTIVITIES IN THE AREA OF SAID CONFLICT.
10. ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREIN ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 287. LOCATION OF EXISTING AND PROPOSED UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THE DRAWINGS HAVE BEEN DEVELOPED FROM INFORMATION MADE AVAILABLE TO THE DESIGNER. PRO ASSURANCE OF LOCATION AND DEPTH OF UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR IS TO VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES BEFORE THE START OF WORK. UTILIZE HAND EXCAVATION AS REQUIRED. WORK IS ALSO TO BE CONDUCTED IN ACCORDANCE WITH THE STANDARDS OF THE UTILITY COMPANIES WHOSE FACILITIES ARE IN THE PROXIMITY OF THE WORK. OTHER UTILITIES MAY BE REQUIREMENTS OF PENNSYLVANIA ACT 38 (1991), THE CONTRACTOR SHALL COMPLY WITH THE PERMITS FOR ONE CALL SYSTEM AT 1-800-242-1776. AT LEAST 3 DAYS PRIOR TO EXCAVATION.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL CODES, AND ALL REGULATIONS APPURTENANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. ALL WORK SHALL BE DONE IN ACCORDANCE WITH PROJECT SPECIFICATIONS INCLUDING CURRENT APPLICABLE STANDARDS AND REQUIREMENTS. WHERE ANY STANDARDS SEEM IN CONFLICT WITH THESE DRAWINGS, NOTIFY THE DESIGN ENGINEER AND CONSTRUCTION MANAGER FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
12. CONTRACTORS SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
13. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, INVERTS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK OR PROCUREMENT OF MATERIALS. VARIATIONS BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY, PROCEDURES, MEANS AND METHODS, SEQUENCING, AND COORDINATION.
15. ALL WORK SHALL BE PERFORMED BY QUALIFIED, EXPERIENCED PERSONNEL.
16. CONTRACTOR SHALL NOTIFY THE OWNER OF PREEXISTING CONDITIONS OF DETERIORATION IN AREAS OF WORK THAT ARE UNCOVERED OR EXPOSED DURING THE WORK.
17. FIELD CHANGES REQUIRE PRIOR DESIGN ENGINEERING REVIEW AND WRITTEN CONFIRMATION.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR TO ANY SIDEWALKS, LAWN, TREES, PAVING, AND OTHER IMPROVEMENTS DISTURBED OR DAMAGED BY DEMOLITION ACTIVITIES PROPOSED HEREIN.
19. CONTRACTOR SHALL PROVIDE PROPER TEMPORARY BRACING AND SHORING OF ALL CONSTRUCTION TO REMAIN OR DEMOLITION WORK IN PROGRESS.
20. CONTRACTOR SHALL PROVIDE LAYOUT, LINE AND GRADE UNLESS OTHERWISE NOTED.
21. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES WITHIN THE DRAWINGS, SPECIFICATIONS, CODES OR STANDARDS FOR CORRECTIVE ACTION PRIOR TO START OF WORK.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF VEHICULAR AND PEDESTRIAN TRAFFIC. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH LOCAL, PENNDOT & OSHA REGULATIONS.
23. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING UTILITIES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY UTILITY LINE INTERRUPTION AT NO ADDITIONAL CONTRACT COST. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION AND SUPPORT FOR ALL UTILITIES EXPOSED DURING THE WORK TO INSURE AGAINST DAMAGE AT NO ADDITIONAL COST.
24. CONTRACTOR SHALL PROVIDE TEMPORARY DEWATERING OF EXCAVATIONS THROUGHOUT THE DURATION OF CONTRACT AT NO ADDITIONAL COST.
25. EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE DATA. DUE TO THE POTENTIAL LACK OF COMPLETE OR ACCURATE DATA REGARDING EXISTING ONSITE AND OFFSITE UTILITIES, THE CONTRACTOR SHALL ASSESS AVAILABLE DATA, SHALL REQUEST UTILITY COMPANY MARKOUTS, SHALL COORDINATE WITH AFFECTED UTILITY COMPANIES, AND SHALL DO TEST PITS AT ALL LOCATIONS OF UTILITY CROSSING LOCATIONS SO THAT ELEVATIONS CAN BE TAKEN TO ASSESS POTENTIAL CONFLICTING PIPES/UTILITIES PRIOR TO ANY PROPOSED UTILITY CONSTRUCTION. IF UNEXPECTED UTILITY LOCATIONS OR ELEVATIONS OR PIPE CONFLICTS ARE ENCOUNTERED DURING CONSTRUCTION, OR IF TEST PITS REVEAL POTENTIAL CONFLICT, DESIGN ENGINEER SHALL BE NOTIFIED SO THAT ELEVATIONS AND LOCATIONS (WHERE NECESSARY) OF AFFECTED UTILITIES CAN BE OBTAINED TO FACILITATE NECESSARY DESIGN ADJUSTMENTS.
26. REMOVAL OF EXISTING UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
27. REFER TO THE SITE / RECORD PLAN FOR ADDITIONAL NOTES.
28. ALL SIDEWALKS, CROSSWALKS, TRAILS, ENTRANCES, AND RAMPS TO BE BUILT IN ACCORDANCE WITH ADA STANDARDS. MAXIMUM LONGITUDINAL SLOPE TO BE 5%, MAXIMUM CROSS SLOPE TO BE 2%. IT IS RECOMMENDED TO CONSTRUCT CROSS SLOPE AT 1.5% AND LONGITUDINAL SLOPES AT 4.9% TO ALLOW FOR CONSTRUCTION TOLERANCE.
29. REFER TO ADA CURB RAMP CONSTRUCTION DETAILS AND ADA ACCESSIBILITY PLAN FOR ADDITIONAL INFORMATION SPECIFIC TO CURB RAMP AND ACCESSIBLE ROUTE GRADING.

1. BACKFILLING, TO THE SUBGRADE ELEVATION, SHALL BE DONE IN LAYERS OF SIX (6) TO EIGHT (8) INCHES AND EACH LAYER SHALL BE THOROUGHLY TAMPED BY AN APPROVED MECHANICAL TAMPER TO A MINIMUM DENSITY OF 95% AT OPTIMUM

1. BACKFILLING, TO THE SUBGRADE ELEVATION, SHALL BE DONE IN LAYERS OF SIX (6) TO EIGHT (8) INCHES AND EACH LAYER SHALL BE THOROUGHLY TAMPED BY AN APPROVED MECHANICAL TAMPER TO A MINIMUM DENSITY OF 95% AT OPTIMUM MOISTURE. IT IS DETERMINED THAT MATERIAL D-608 OR PRIOR TO THE MOISTURE CONTENT OF THE BACKFILL MATERIAL. BACKFILLING OR TAMPING WITH TRENCHING MACHINES IS PROHIBITED.
2. THE FILL MATERIAL SHALL BE PROPERLY MOISTURE CONTENT TO OBTAIN THE REQUIRED COMPACTION. WETTING OR DRYING OF THE MATERIAL OR ANY OTHER MANIPULATION SHALL BE REQUIRED TO SECURE UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER. IF THE MATERIAL IS TOO WET TO PERMIT PROPER COMPACTION, ALL WORK ON PORTIONS THUS AFFECTED SHALL BE DEFERRED UNTIL THE WET MATERIAL DRIES OR PRIOR TO THE MOISTURE CONTENT OR HAS BEEN REMOVED. A LAYER OF FILL SHALL NOT BE ADDED UNTIL THE PREVIOUS LAYER HAS ATTAINED THE REQUIRED PERCENT COMPACTION.
3. SUITABLE BACKFILL MATERIAL IS MATERIAL CONTAINING NO DEBRIS, ORGANIC MATTER, FROZEN MATERIAL OR LARGE ROCKS OR STONES WITH A DIAMETER OF GREATER THAN ONE-HALF THE THICKNESS OF THE COMPACTED LAYERS BEING PLACED. IN ADDITION, BACKFILL MATERIAL SHALL NOT CONTAIN VEGETATION, MASSES OF ROOTS, INDIVIDUAL ROOTS, CINDERS, ASHES, REFUSE, Boulders, AND ANY OTHER MATERIAL WHICH IN THE OPINION OF THE ENGINEER, IS UNSUITABLE.

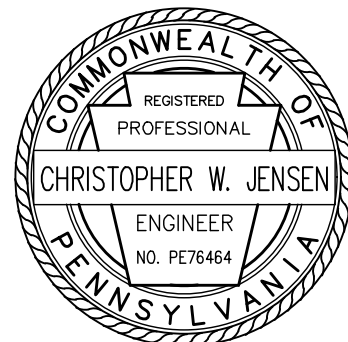


ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 287 OF 1978, AS AMENDED BY ACT 12 OF 2008, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.

SERIAL NO.:
202433721817

[illegible]

CHRISTOPHER W. JENSEN, P.
LICENSED PROFESSIONAL ENGINEER



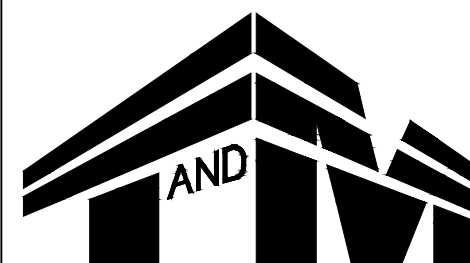
12/19/2024

LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE No. PE076464

COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP,
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

LEGEND AND NOTES SHEET



YOUR GOALS. OUR MISSION

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PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

OFFICES LOCATED IN:
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MASSACHUSETTS, MICHIGAN, NEW JERSEY
OHIO AND PENNSYLVANIA

DESIGNED BY JPK/CKS/CMR/ROP/ZHR	DRAWING 150
------------------------------------	----------------

BGS/ZHR	
DRAWN BY	SHEET

DATE	12/19/2024
TIME	

2

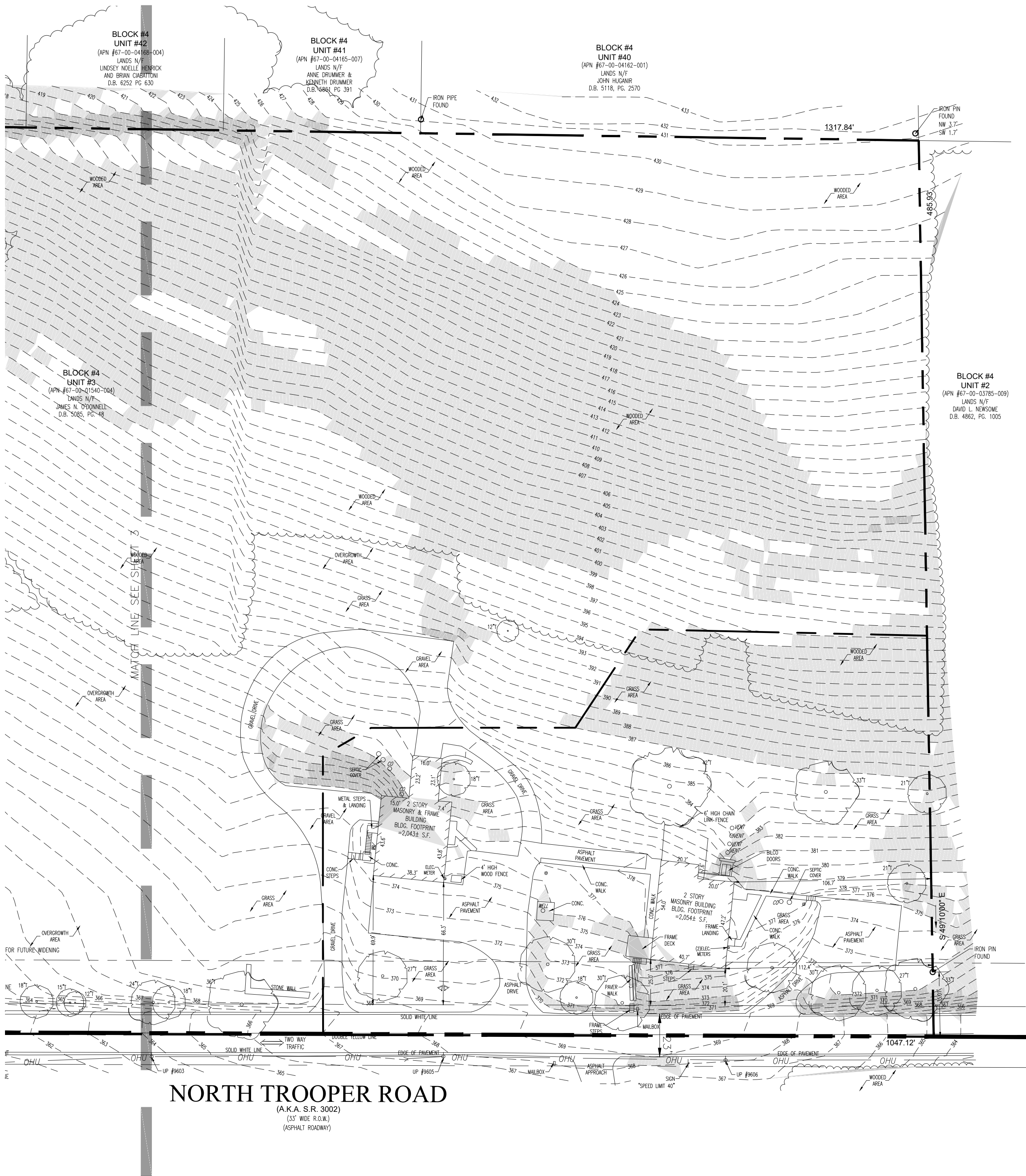
AS NOTED	
PROJ. NO.	OF 40
WDEM00004	

OF 46

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PROJECT INFORMATION:
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FILE NAME: WDEV00004_EXC.dwg
LAST SAVE BY: J. Kelley
LAST SAVE TIME: 28 Mar 2025, 9:05AM

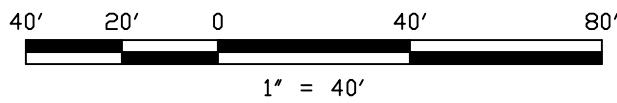
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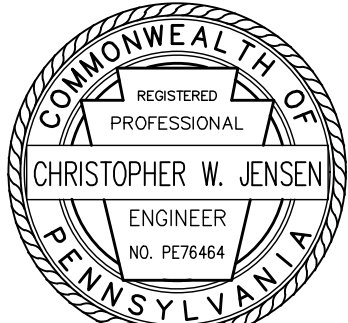
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|----------------------------|------------------------------------|
| EX. CONCRETE CURB LINE | EX. SIGN |
| EX. EDGE OF PAVEMENT | EX. LIGHT POLE |
| ZONING DISTRICT BOUNDARY | EX. FIRE HYDRANT |
| EX. TREE | EX. POLE |
| EX. WATER VALVE | EX. CONTOUR |
| EX. VENT | EX. BUILDING |
| EX. TREELINE | STEEP SLOPES (15%-25%): 2.04 ACRES |
| PROPERTY LINE | STEEP SLOPES (>25%): 0.09 ACRES |
| EX. RIGHT-OF-WAY LINE | |
| EX. SANITARY SEWER | |
| EX. WATER LINE | |
| EX. OVERHEAD UTILITY LINES | |
| EX. UNDERGROUND TELEPHONE | |
| EX. STORM SEWER | |
| EX. INLET | |
| EX. MANHOLE | |



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NO.	DATE	REVISIONS	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS
2	02/26/25	UPDATES FOR 44 PIPES SUBMISSION	JPK	ZHR
1	01/24/25	UPDATES FOR PIPES PRE-SUBMISSION MTG	JPK	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

EXISTING CONDITIONS PLAN-2



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PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

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OHIO AND PENNSYLVANIA

DESIGNED BY
JPK/CKS/CMR/ROP/ZHR
CHECKED BY
BGS/ZHR
DRAWN BY
SCR/CKS/RAM
DATE
12/19/2024
SCALE
AS NOTED
PROJ. NO.
WDEV00004

DRAWING
EXC-2
SHEET
4
OF
46

PROJECT INFORMATION:
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FILE NAME: WDEV00004_ER.dwg
LAST SAVE BY: JKelley
LAST SAVE TIME: 28 Mar 2025, 9:25AM

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PROPERTY INFORMATION

EQUITABLE OWNER: COMMERCIAL PURSUIT CAPITAL, LLC
TAX PARCELS: 67-00-01540-00-4
AREA TO TITLE LINE: 15.11 ACRES
AREA TO LEGAL R.O.W. LINE: 14.30 ACRES
SITUATE: 1035 N TROOPER ROAD, NORRISTOWN, PA

EXISTING DATA SOURCE NOTES:

- EXISTING FEATURES SHOWN ARE BASED ON A SURVEY PLAN PREPARED BY BLUE MARSH ASSOCIATES, INC., DATED MARCH 10, 2022. BOUNDARY INFORMATION SHOWN IS FROM ACTUAL FIELD SURVEYS PERFORMED BY BLUE MARSH ASSOCIATES, INC.
- ELEVATIONS ARE BASED UPON (NAV 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTION.

GENERAL ERSA NOTES

- THE PENNSYLVANIA NATURAL DIVERSITY INVENTORY DICTATE A TREE REMOVAL AVOIDANCE MEASURE BETWEEN MAY 15 TO AUGUST 15 TO PRESERVE THE NORTHERN LONG-EARED BAT.
- THE PROPOSED SITE DOES NOT INCLUDE ANY SCENIC OR VIEW SHED AREAS AS SHOWN IN THE TOWNSHIP MASTER PLAN.
- THE SITE HAS BEEN FIELD INVESTIGATED FOR WETLANDS AND NONE WERE FOUND TO EXIST.
- THE PROPOSED SITE IS WITHIN THE FEMA FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, MAP NO. 42091C0261G.

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AbB	Abbottstown silt loam, 3 to 8 percent slopes	15.8	25.9%
Bo	Bowmansville-Knauers silt loams	5.1	8.4%
LaD	Lansdale loam, 15 to 25 percent slopes	0.6	0.9%
PIB	Penn-Lansdale complex, 3 to 8 percent slopes	3.1	5.1%
PIC	Penn-Lansdale complex, 8 to 15 percent slopes	9.5	15.5%
ReB	Readington silt loam, 3 to 8 percent slopes	11.2	18.4%
RhB	Reaville silt loam, 3 to 8 percent slopes	1.5	2.5%
RhC	Reaville silt loam, 8 to 15 percent slopes	13.6	22.2%
UusD	Urban land-Udorhtents, shale and sandstone complex, 8 to 25 percent slopes	0.0	0.0%
W	Water	0.7	1.1%
Totals for Area of Interest		61.1	100.0%

LEGEND

(ORIENTATION & SIZE MAY VARY)

	SOIL TYPE BOUNDARY
	SOIL TYPE SYMBOL
	STEEP SLOPES (15%-25%)
	STEEP SLOPES (>25%)

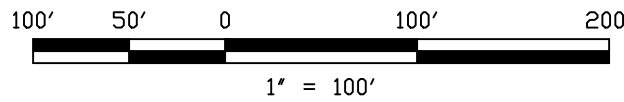
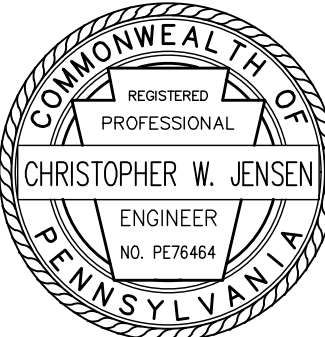


TABLE E.1 LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS															
SOIL NAME	CUTBANKS CAVE	CORROSION TO CONCRETE/STEEL	BROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE	HYBRIC/ HYDRIC INCLUSIONS	LOW STRENGTH / LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK - SWELL	POTENTIAL SINKHOLE	WETNESS
PENN-LANSDALE COMPLEX, 3% TO 8% SLOPES (PIB), 8% TO 15% SLOPES (PIC)	X	C	X				X	X		X	X	X			
ABBOTTSTOWN, 3% TO 6% SLOPES	X	C/S		X		X	X	X	X	X	X	X			X
LANSDALE, 15% TO 25% SLOPES	X	C	X				X	X		X	X	X			
READINGTON SILT LOAM, 3% TO 8% SLOPES	X	C/S		X		X	X	X	X	X	X	X			X
BOWMANVILLE	X	C/S			X	X	X	X	X	X	X	X			X
REAVILLE, 8% TO 15% SLOPES (RH), 3% TO 8%	X	C/S	X	X		X	X		X	X	X	X	X		X

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NO	DATE	REVISIONS	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	BGS	
2	02/26/25	UPDATES FOR 44 WIPES SUBMISSION	JKP	ZHR
1	01/24/25	UPDATES FOR WIPES PRE-SUBMISSION MTG	JKP	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

EXISTING RESOURCES PLAN



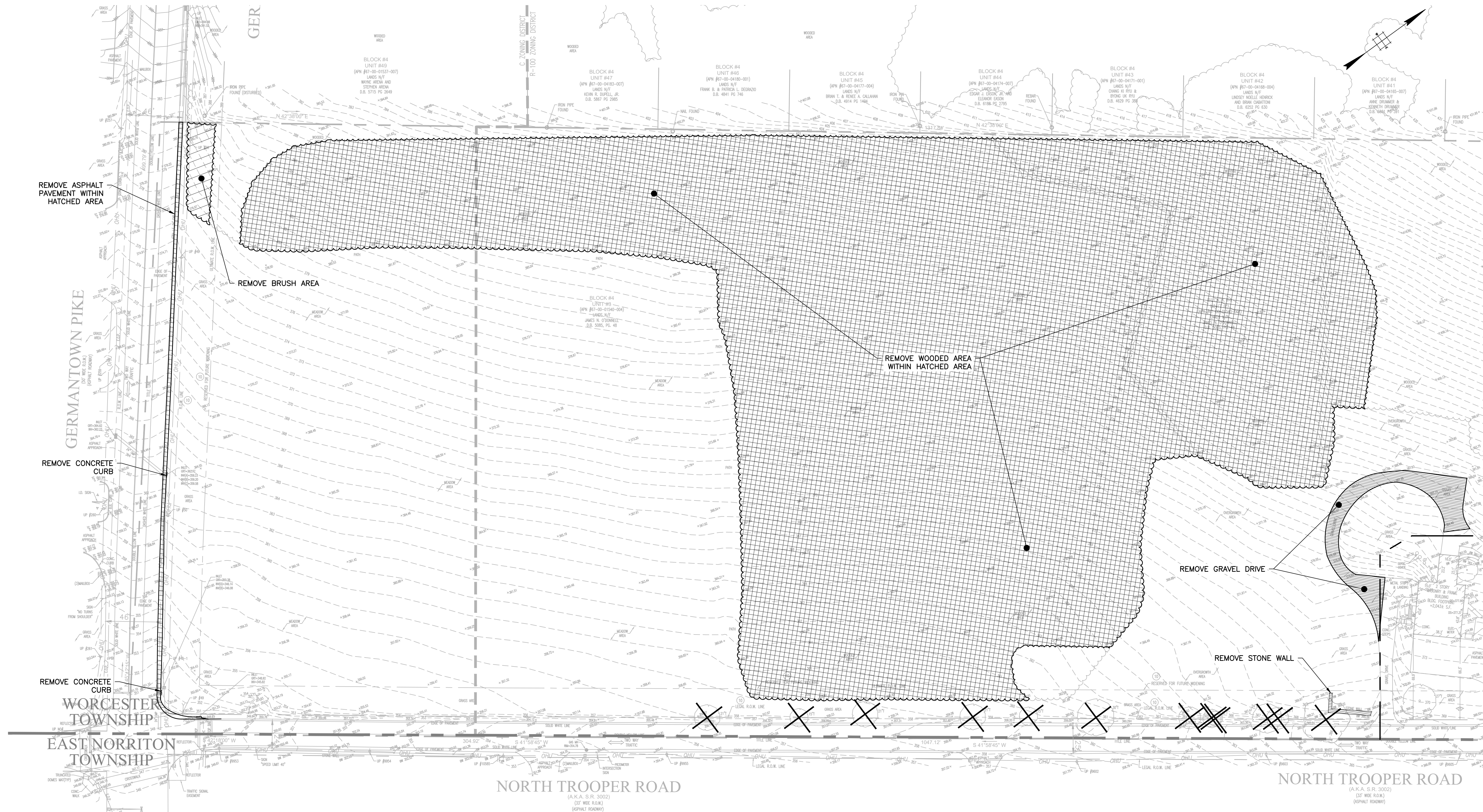
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DESIGNED BY JKP/CKS/CMR/ROP/ZHR	DRAWING ER
CHECKED BY BGS/ZHR	SHEET 5
DRAWN BY SCR/CKS/RAM	OF 46
DATE 12/19/2024	
SCALE AS NOTED	
PROJ. NO. WDEV00004	

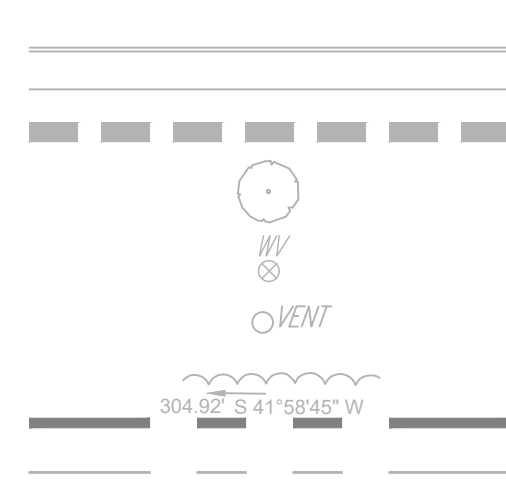
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DATE: 12/19/2024
LAST SAVE BY: J. Kelly

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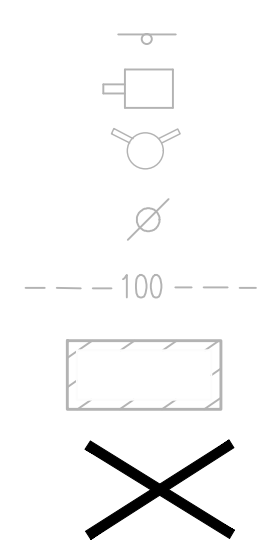
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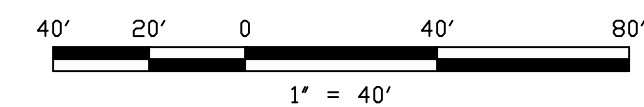
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EX. EDGE OF PAVEMENT
ZONING DISTRICT BOUNDARY
EX. TREE
EX. WATER VALVE
EX. VENT
EX. TREELINE
PROPERTY LINE
EX. RIGHT-OF-WAY LINE

S
W
OHU
T

EX. SANITARY SEWER
EX. WATER LINE
EX. OVERHEAD UTILITY LINES
EX. UNDERGROUND TELEPHONE
EX. STORM SEWER
EX. INLET
EX. MANHOLE



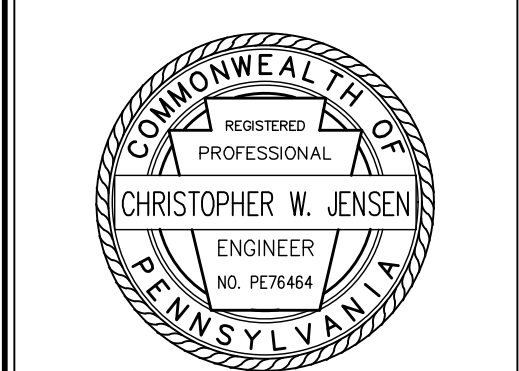
EX. SIGN
EX. LIGHT POLE
EX. FIRE HYDRANT
EX. POLE
EX. CONTOUR
EX. BUILDING
TREE REMOVAL



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OF 2004. CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL
UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.
20243371817

NO.	DATE	REVISIONS	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS
2	02/26/25	UPDATES FOR 4th WIPES SUBMISSION	JPK	ZHR
1	01/24/25	UPDATES FOR WIPES PRE-SUBMISSION MTG	JPK	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE No. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA
DEMOLITION PLAN

AND
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PHILADELPHIA, PA 19103
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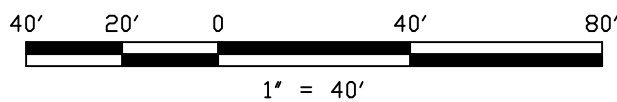
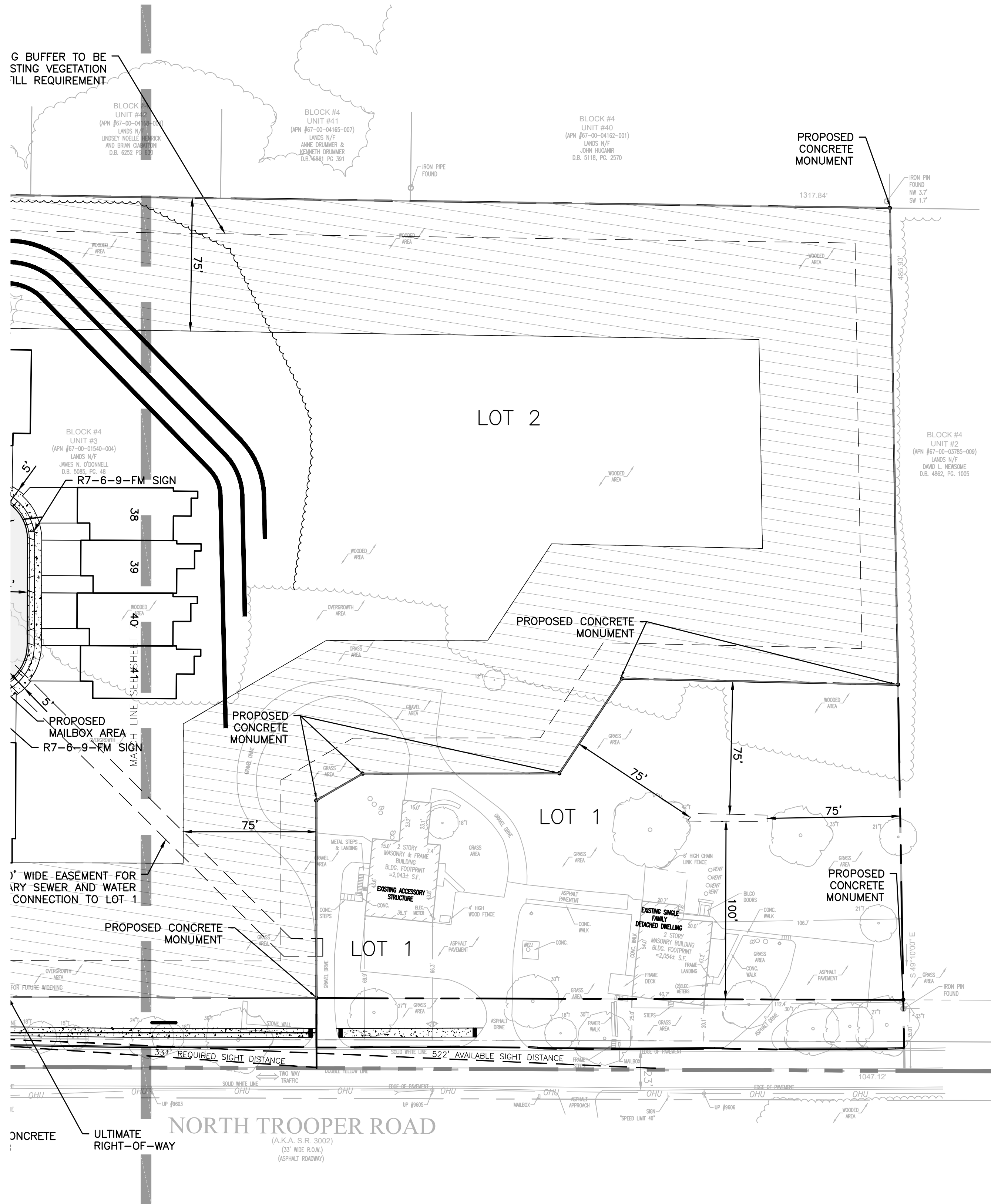
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DATE 12/19/2024 SCALE AS NOTED PROJ. NO. WDEV00004	

PROJECT INFORMATION:
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FILE NAME: WDEV00004_Site.dwg
LAST SAVE BY: jphobbs
LAST SAVE TIME: 03 Apr 2025, 9:23PM

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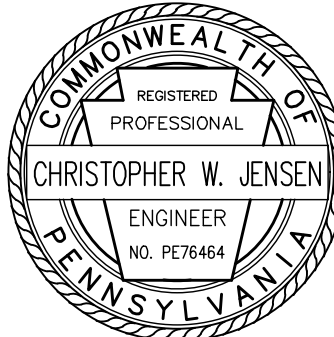
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	PUBLIC PAVING DETAIL
	REQUIRED YARD AREA 5.4 ACRES
	AREA OF DETENTION BASIN IN REQUIRED YARD 0.3 ACRES, 6% OF REQUIRED YARD AREA



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20243371817

NO.	DATE	REVISIONS	BY	CHKD
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2	02/26/25	UPDATES FOR 4th NPDES SUBMISSION	JPK	ZHR
1	01/24/25	UPDATES FOR NPDES PRE-SUBMISSION	JPK	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE No. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

SITE PLAN



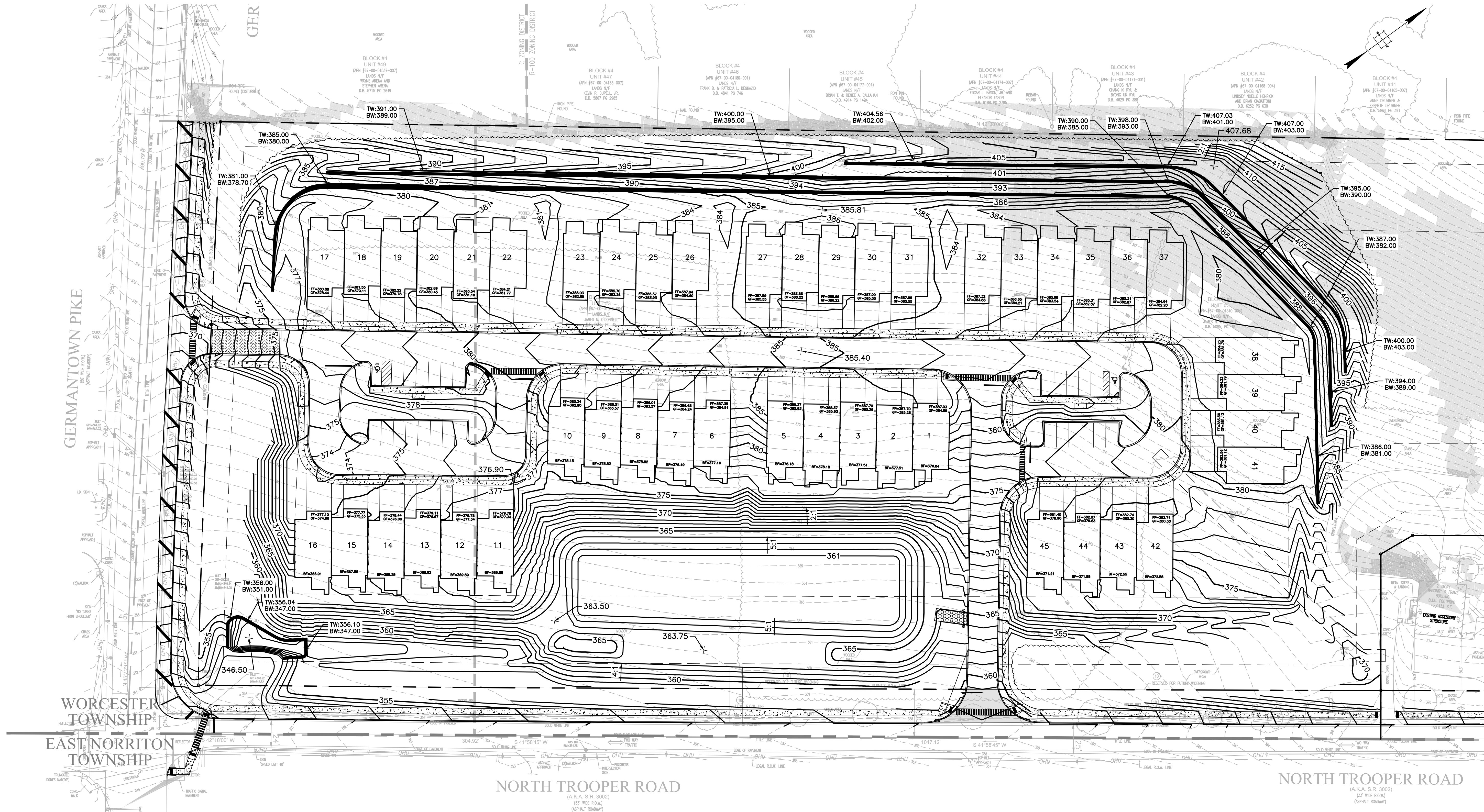
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PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

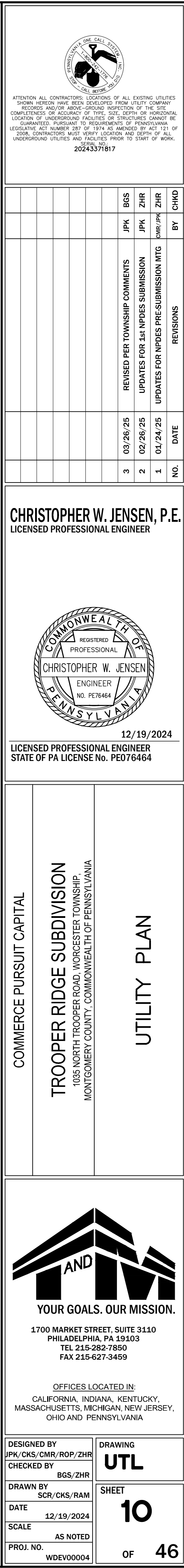
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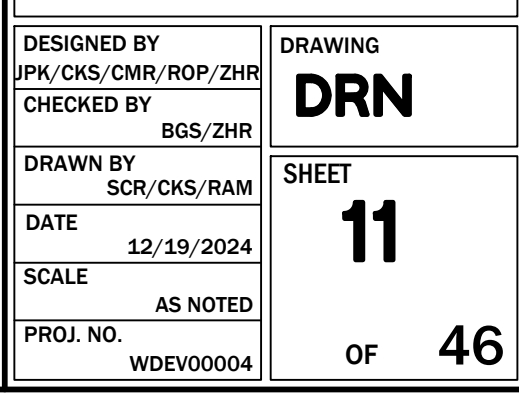
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PROJECT INFORMATION:
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DATE: 26 Mar 2025, 10:54AM
LAST SAVE BY: J.Kelley

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STORM PIPE TABLE						
NAME	SIZE	LENGTH	SLOPE	MATL	INV UP	INV DN
T7 TO T6	18"	97.7'	1.00%	RCP	357.60	356.62
T8 TO T7	18"	166.5'	3.48%	RCP	363.64	357.85
T9 TO T8	18"	45.3'	1.00%	HDPE	364.34	363.89
T10 TO T9	18"	100.0'	6.49%	HDPE	372.21	365.72
T11 TO T10	18"	42.7'	9.47%	HDPE	376.50	372.46
T12 TO T11	18"	17.4'	10.03%	HDPE	378.50	376.75

NEW STORM PIPE

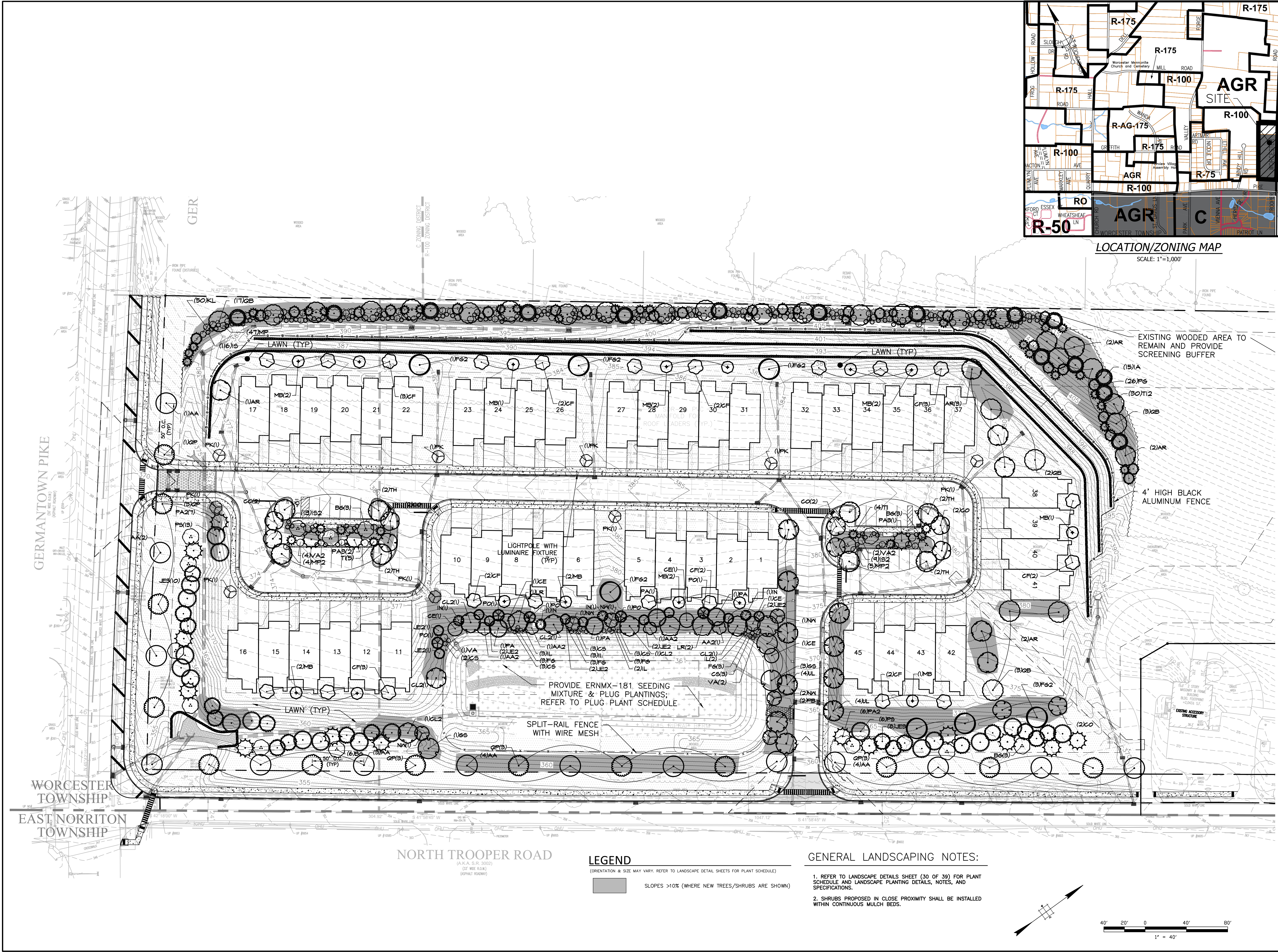
NEW ROOF LEADER MANIFOLD

NEW STORM STRUCTURES

AS NOTED	OF 46
PROJ. NO. WDEV000004	

PROJECT INFORMATION:
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FILE NAME: WDEV00004_LSP.dwg
LAST SAVE BY: Cscorcello
LAST SAVE DATE: 03 Apr 2025, 4:59PM

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LOCATION/ZONING MAP
SCALE: 1"=1,000'

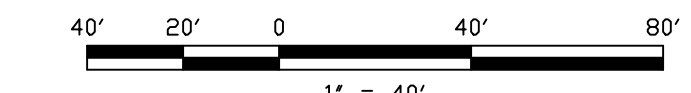
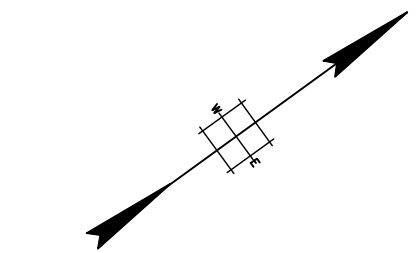
LEGEND

(ORIENTATION & SIZE MAY VARY. REFER TO LANDSCAPE DETAIL SHEETS FOR PLANT SCHEDULE)

SLOPES >10% (WHERE NEW TREES/SHRUBS ARE SHOWN)

GENERAL LANDSCAPING NOTES:

1. REFER TO LANDSCAPE DETAILS SHEET (30 OF 39) FOR PLANT SCHEDULE AND LANDSCAPE PLANTING DETAILS, NOTES, AND SPECIFICATIONS.
2. SHRUBS PROPOSED IN CLOSE PROXIMITY SHALL BE INSTALLED WITHIN CONTINUOUS MULCH BEDS.



BARRY G. STINGEL
REGISTERED LANDSCAPE ARCHITECT
STATE OF PA LICENSE NO. LA001345R

12/19/2024

COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

LANDSCAPE PLAN

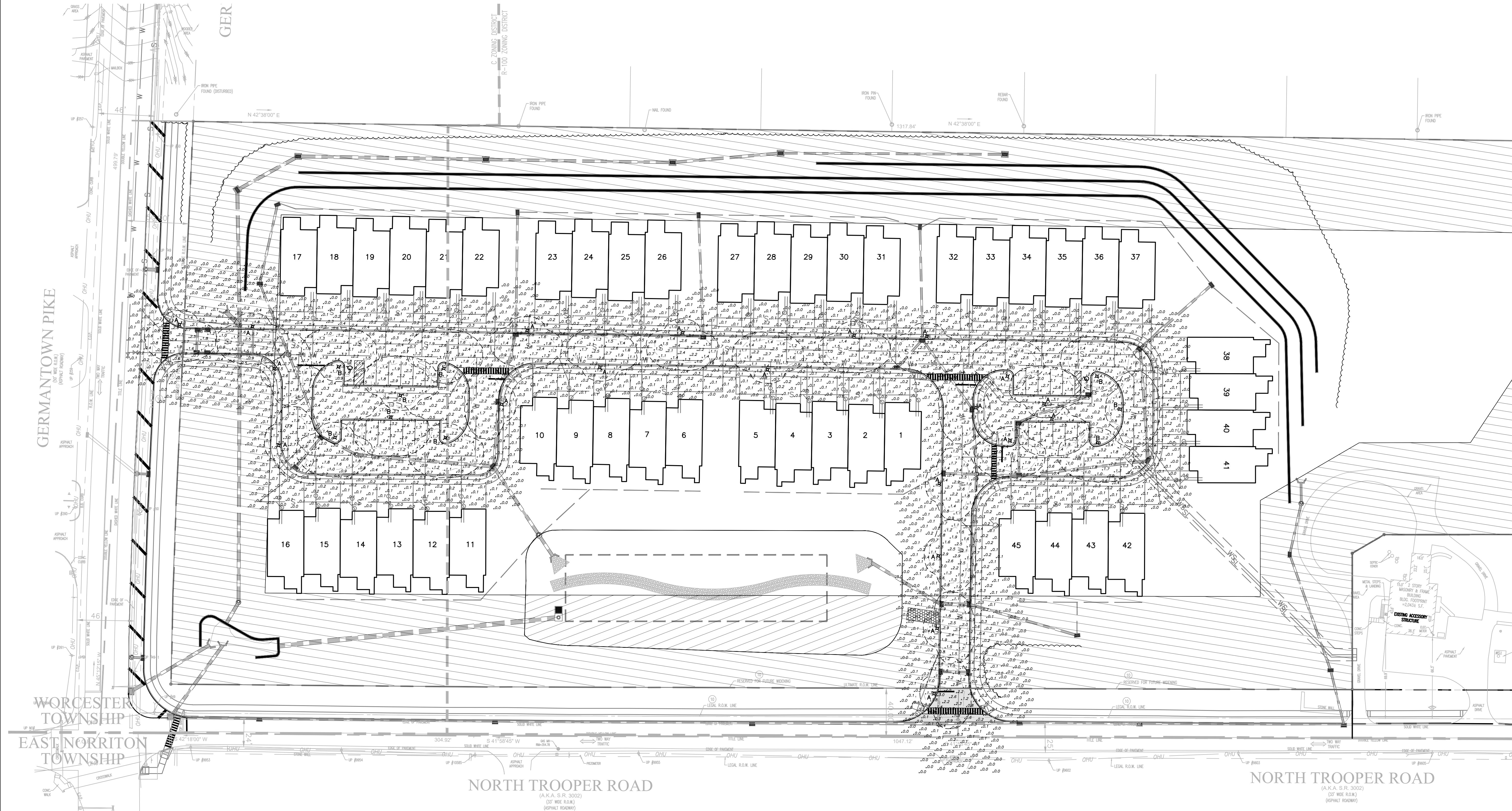
1700 MARKET STREET, SUITE 3110
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459
www.landmassassociates.com

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DESIGNED BY JPK/CKS/CMR/ROP/ZHR	CHECKED BY BGS/ZHR	DRAWN BY SCR/CKS/RAM	DATE 12/19/2024	SCALE AS NOTED	PROJ. NO. WDEV00004
DRAWING LSP			SHEET 12		
			OF 46		

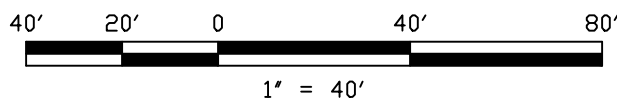
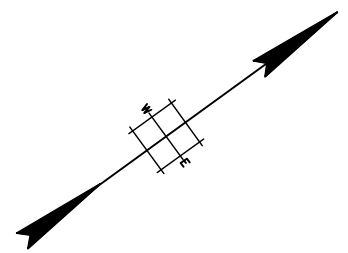
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LIGHTING SUMMARY			
CALC. ZONE	MINIMUM	MAXIMUM	AVERAGE
ROADWAY & PARKING AREAS WITHIN PROPERTY LINE	ROADWAY	0.2 FC	3.6 FC
	PARKING AREAS	0.4 FC	3.8 FC
			1.5 FC

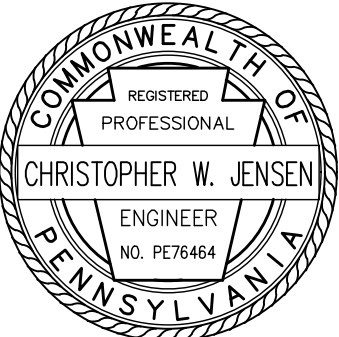
LIGHTING FIXTURE								
LIGHT SYMBOL	LIGHT TPE	PRODUCT NO.	MOUNTING HEIGHT	FIXTURE HEIGHT	LLF	WATTS	QUANTITY	
A	POLE MOUNTED	CE21T4C-FGC-T4HS-P30-30K	12 FT	15 FT	0.9	43.8	20	
B	POLE MOUNTED	CE21T4C-FGC-T4HS-P40-30K	12 FT	15 FT	0.9	55.1	9	



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OBTAIN NECESSARY INFORMATION TO REQUIREMENTS OF PENNSYLVANIA
LEGISLATIVE ACT NUMBER 327 OF 1974 AS AMENDED BY ACT 121 OF
2002. CONTRACTORS MUST VERIFY LOCATIONS AND DEPTHS OF ALL
UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.
DATE: 12/19/2024

REVISIONS		DATE	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS
2	02/26/25	UPDATES FOR 44 NPDES SUBMISSION	JPK	ZHR
1	01/24/25	UPDATES FOR NPDES PRE-SUBMISSION MTG	JPK	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

LIGHTING PLAN



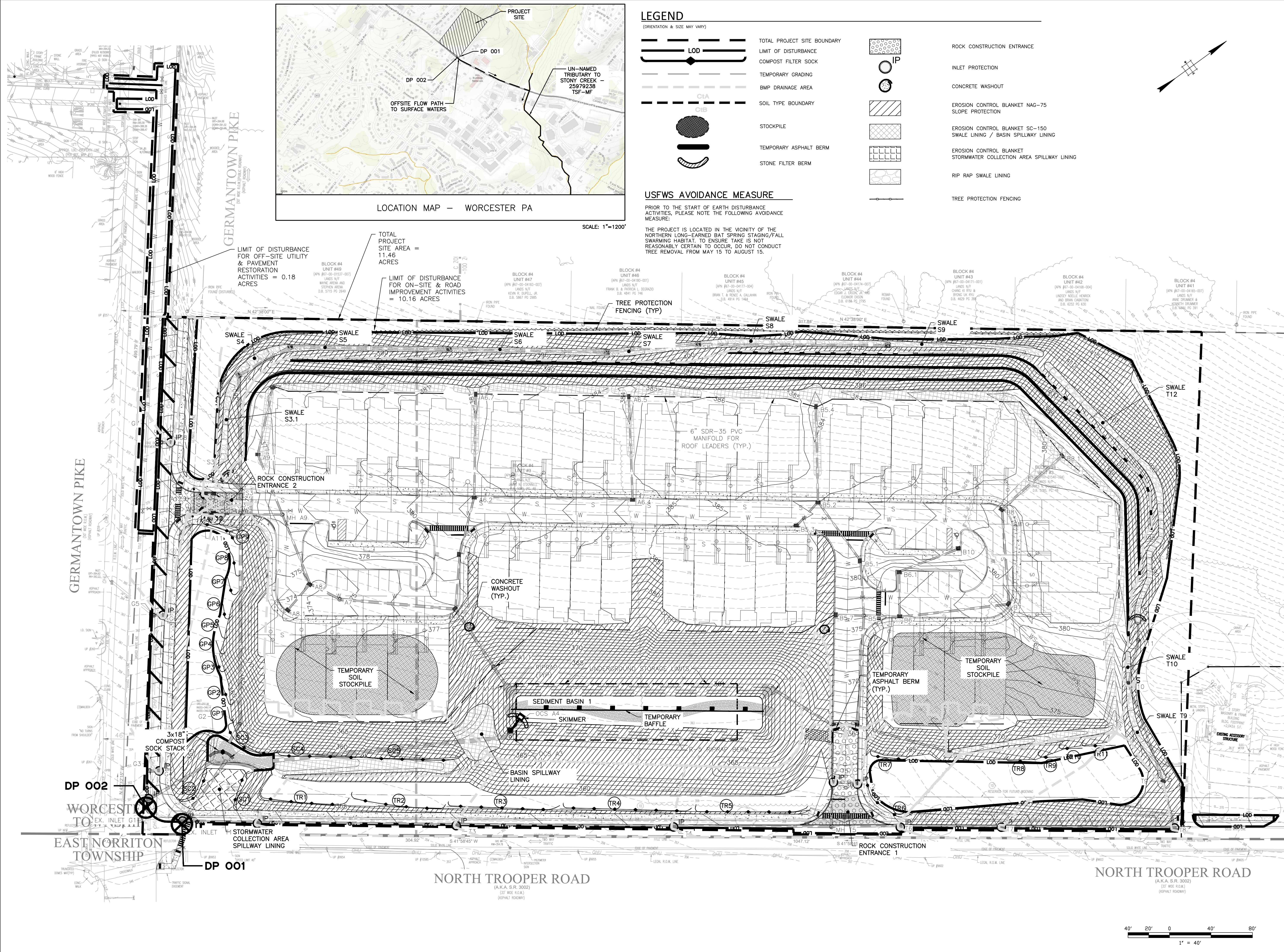
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CHECKED BY BGS/ZHR	SHEET
DRAWN BY SCR/CKS/RAM	13
DATE 12/19/2024	OF 46
SCALE AS NOTED	
PROJ. NO. WDEV00004	

PROJECT INFORMATION:
FILE PATH: C:\Projects\WDEV\00004\Plans\1
FILE NAME: WDEV00004_ENS.dwg
LAST SAVE BY: S:\Reports
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SHEET
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PROJECT INFORMATION:
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FILE NAME: WDEV00004_NP.dwg
DATE: 03/26/25 TIME: 28 Mar 2025, 10:43AM
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LEGEND

(ORIENTATION & SIZE MAY VARY)

RhC



SOIL TYPE BOUNDARY

SOIL TYPE SYMBOL

STEEP SLOPES (15%-25%)

STEEP SLOPES (>25%)

EXISTING WOODED AREA GROWTH COMMUNITIES

MEADOW GROWTH

NO EXISTING TREES OVER 6" DBH.

YOUNG GROWTH

WOODED AREA IS PRIMARILY DECIDUOUS VEGETATION WITH HEAVY, INVASIVE UNDERSTORY GROWTH AND MANY DEAD, DYING, DISEASED, AND/OR FALLEN TREES.

1.0 ACRE SAMPLE AREA YIELDED 17 TREES GREATER THAN OR EQUAL TO 6" DBH.

3.9 ACRE AREA YIELDS 67 TOTAL TREES GREATER THAN OR EQUAL TO 6" DBH.

MEDIUM GROWTH

WOODED AREA IS PRIMARILY DECIDUOUS VEGETATION WITH HEAVY, INVASIVE UNDERSTORY GROWTH AND MANY DEAD, DYING, DISEASED, AND/OR FALLEN TREES.

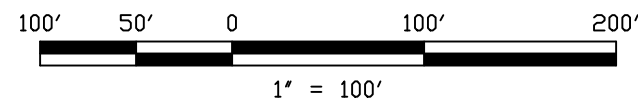
0.9 ACRE SAMPLE AREA (TOTAL AREA TO BE DISTURBED WITHIN MEDIUM GROWTH AREA) YIELDED 21 TREES GREATER THAN OR EQUAL TO 6" DBH.

3.21 ACRE AREA YIELDS 75 TOTAL TREES GREATER THAN OR EQUAL TO 6" DBH.

CALCULATED TOTAL NO. OF EXISTING TREES AND TREES TO BE REMOVED

A TOTAL OF 142 TREES GREATER THAN OR EQUAL TO 6" DBH EXIST ON THE SUBJECT PARCEL.

88 EXISTING TREES GREATER THAN OR EQUAL TO 6" DBH ARE TO BE REMOVED AS PART OF THE PROPOSED DEVELOPMENT AND ASSOCIATED IMPROVEMENTS

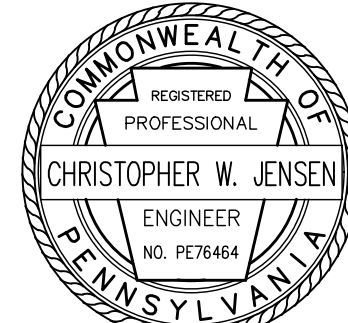


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20243371817

NO.	DATE	REVISIONS	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS
2	02/26/25	UPDATES FOR 64 NPDES SUBMISSION	JPK	ZHR
1	01/24/25	UPDATES FOR NPDES PRE-SUBMISSION MTG	JPK	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

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TROOPER RIDGE SUBDIVISION
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MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

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DRAWN BY

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DATE

12/19/2024

SCALE

AS NOTED

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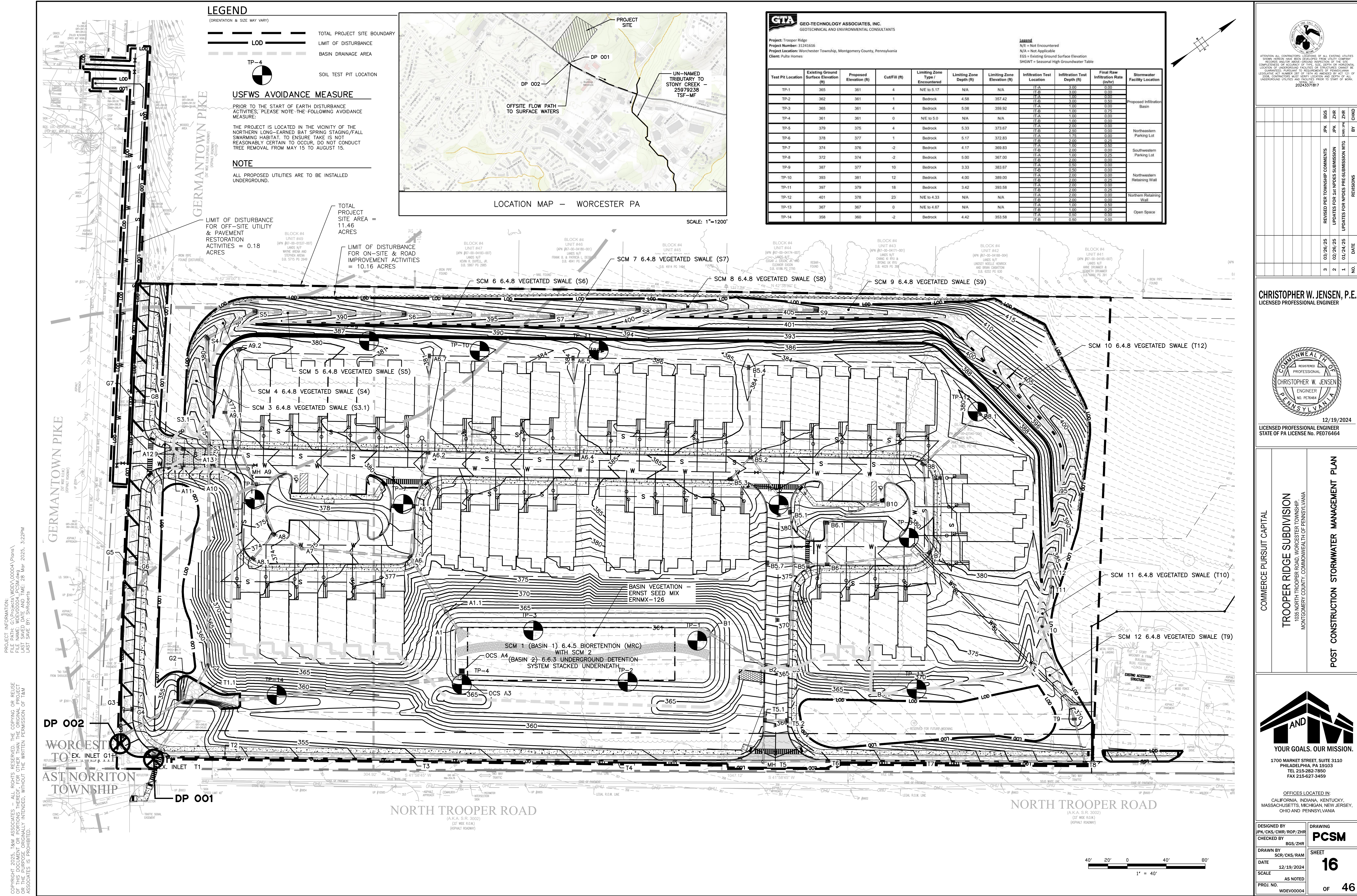
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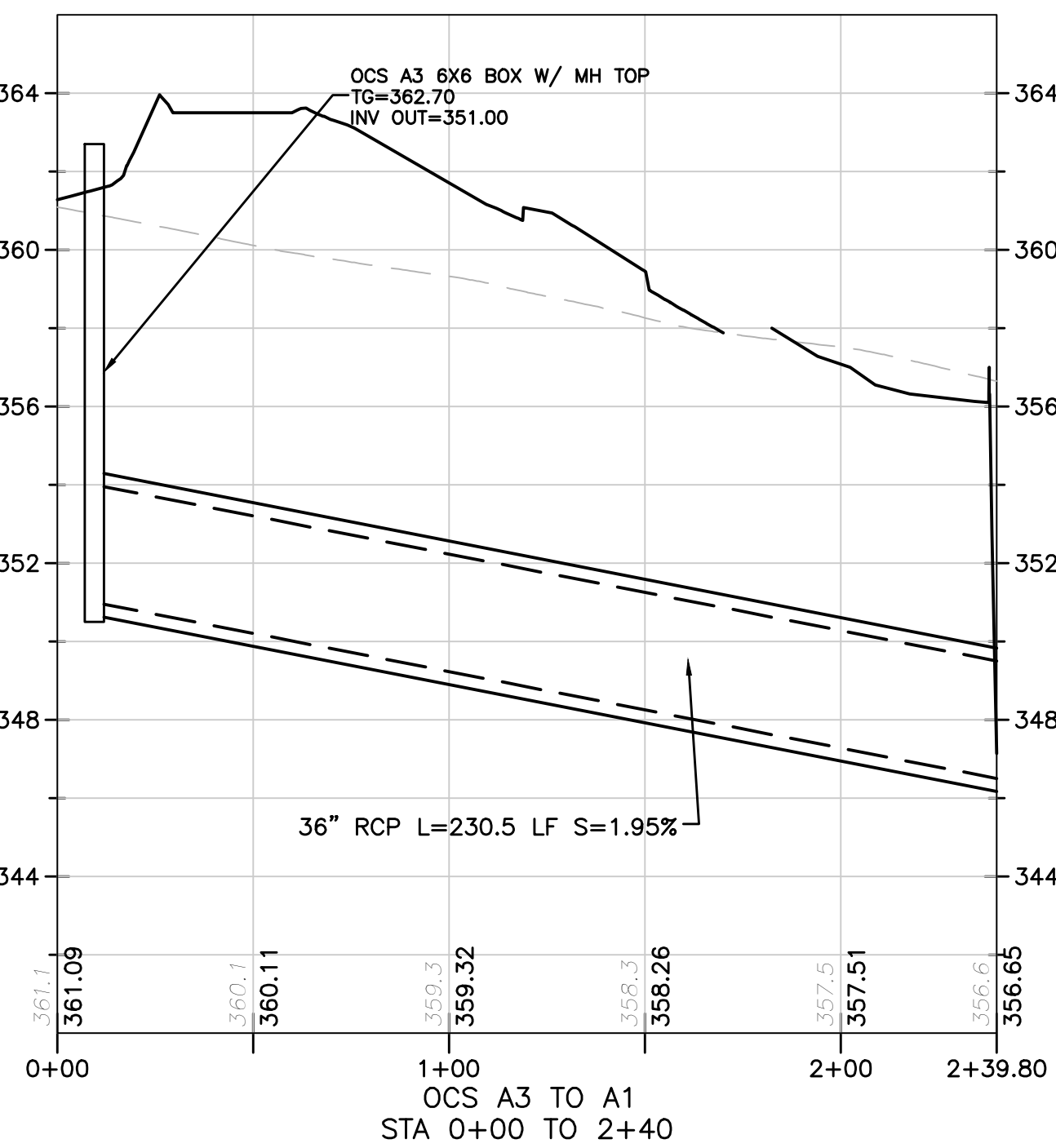
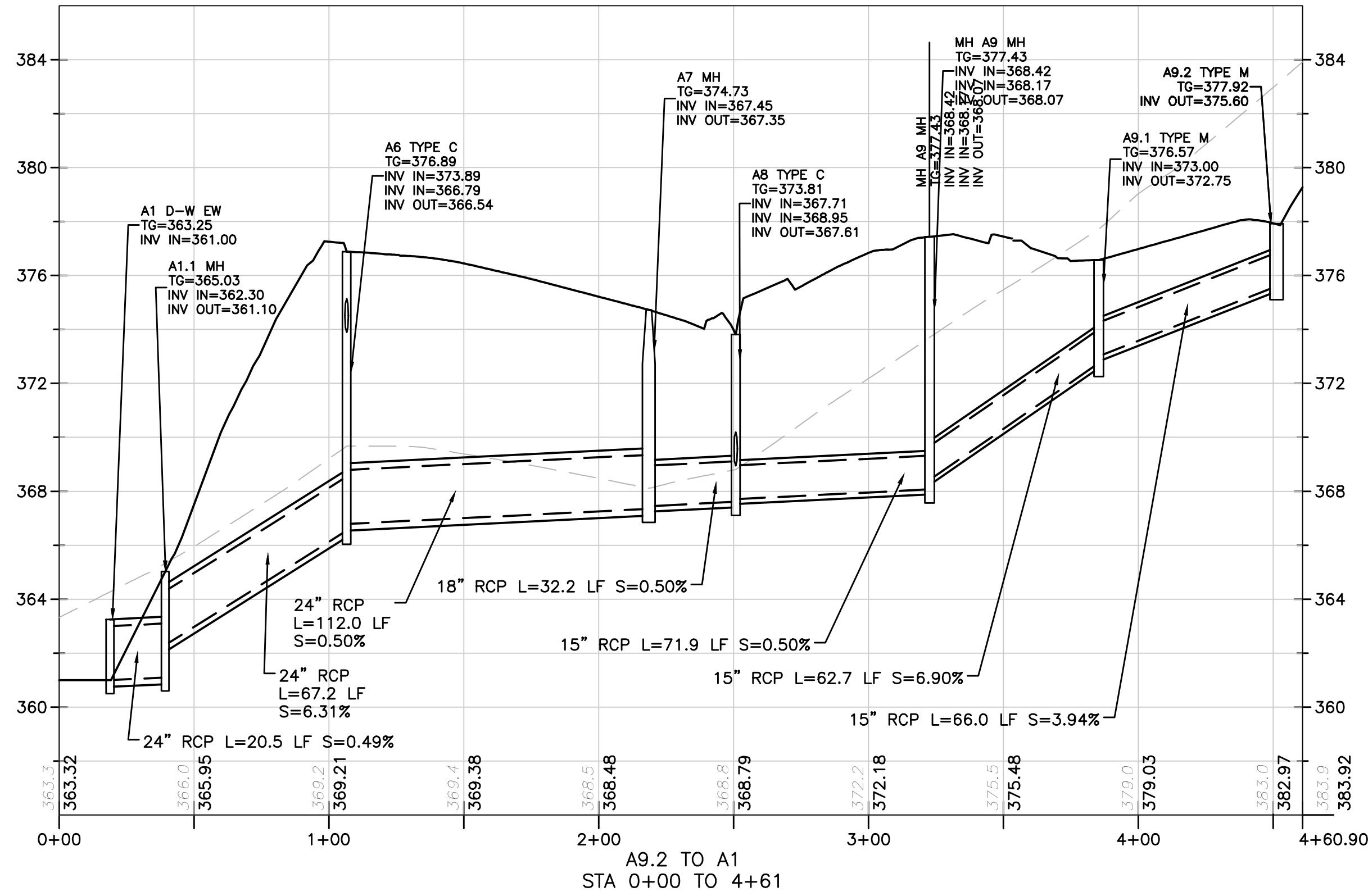
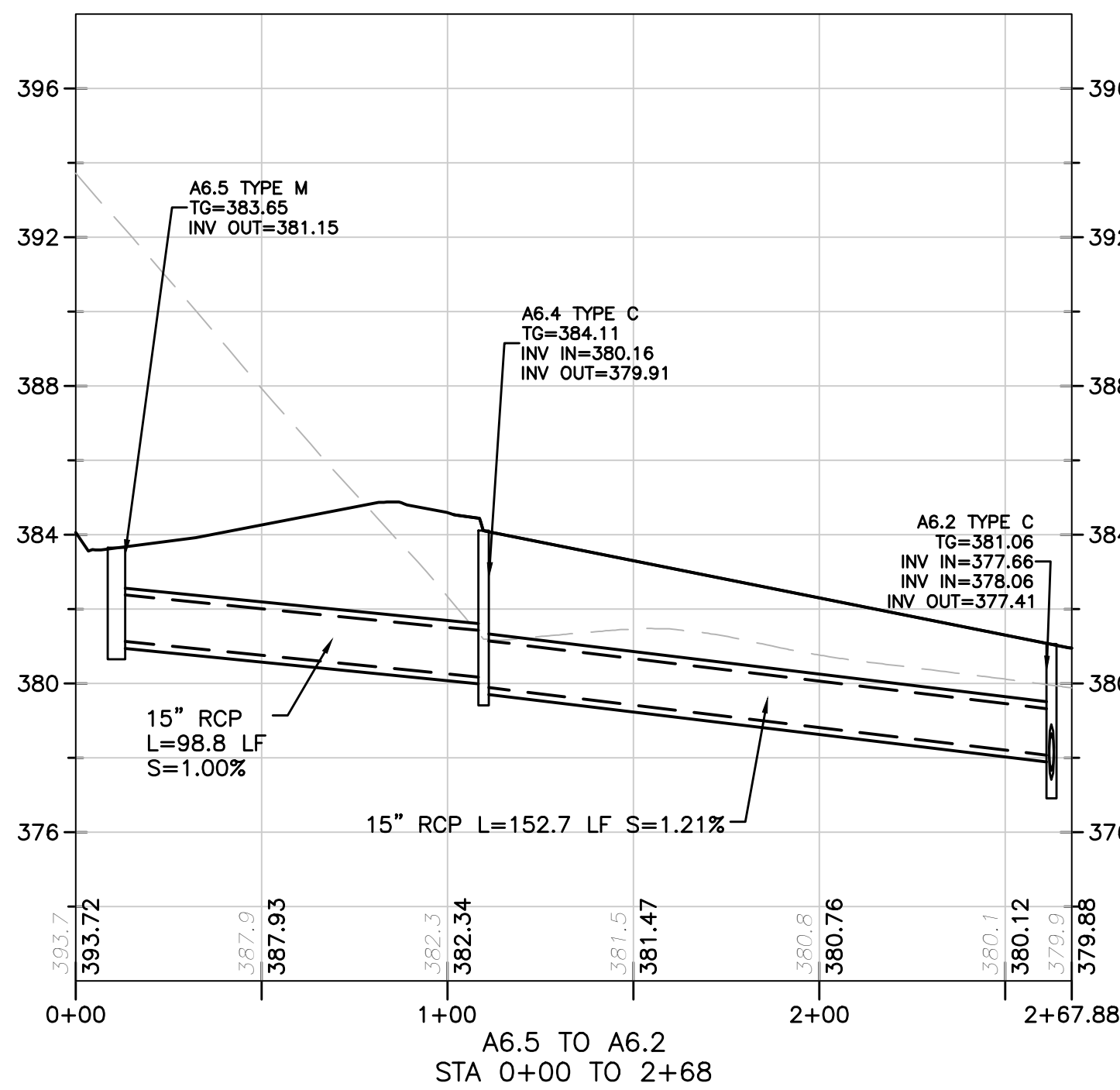
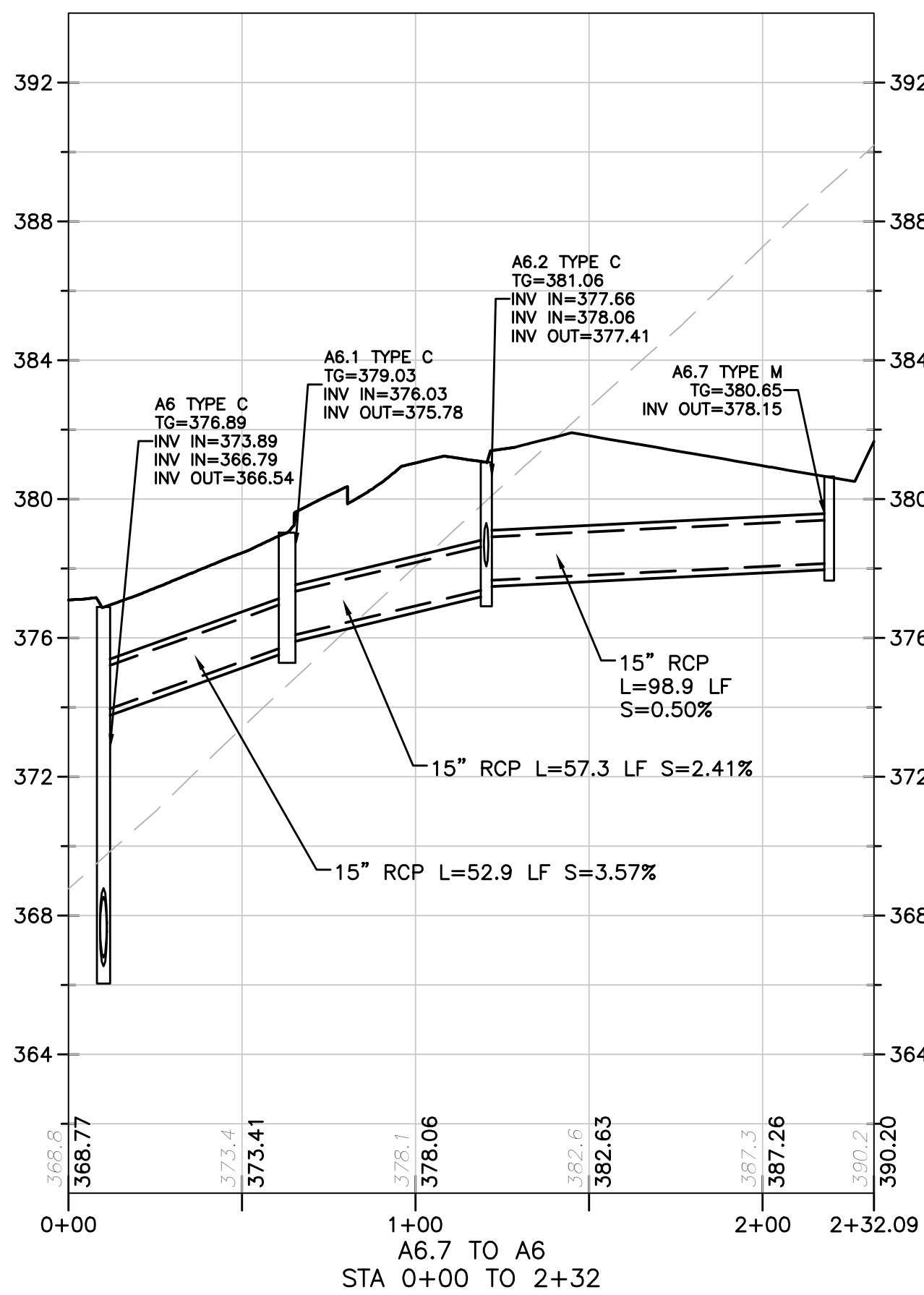
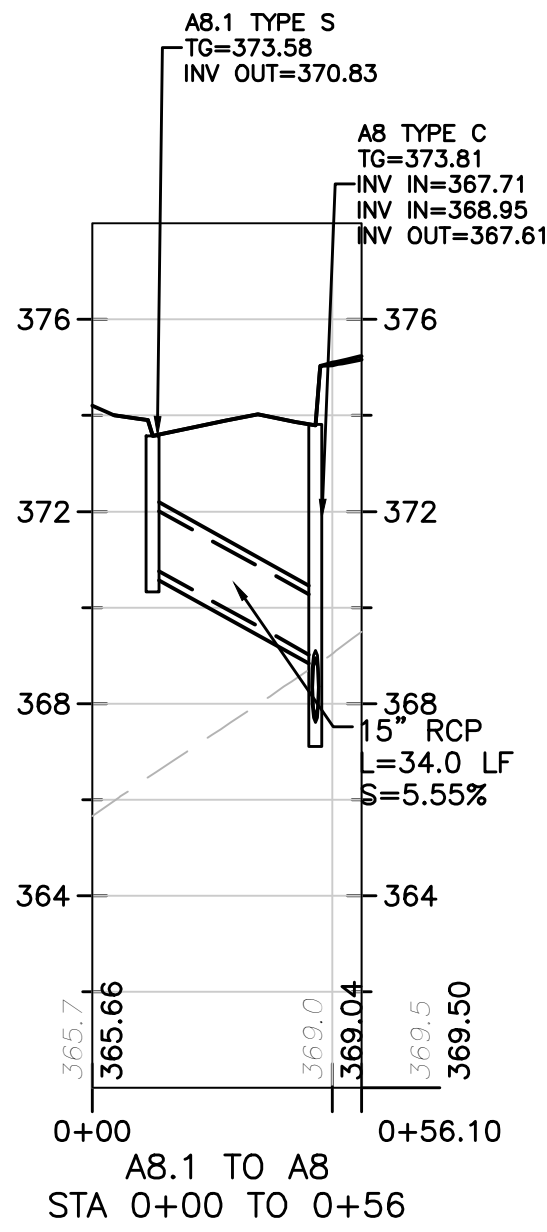
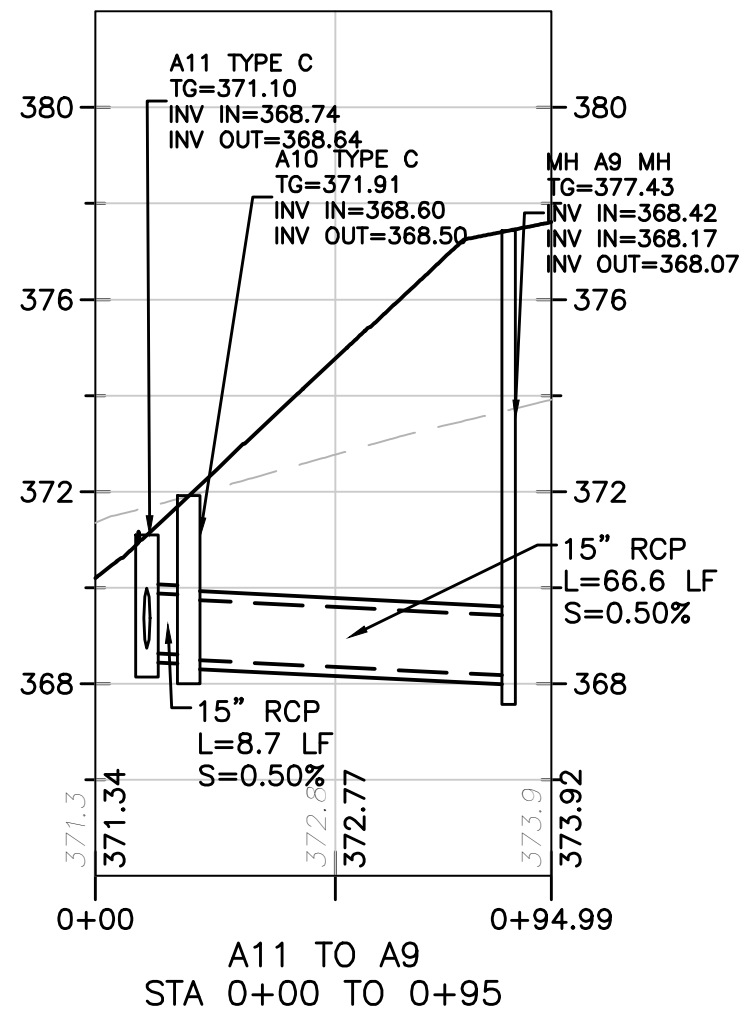
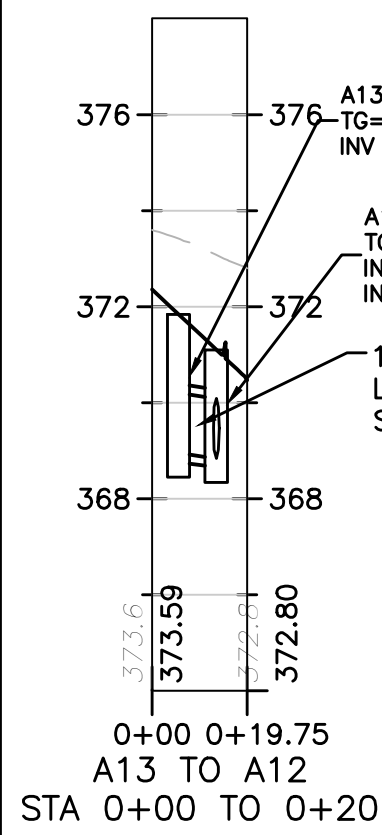
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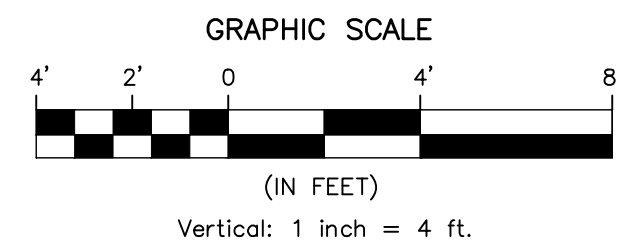
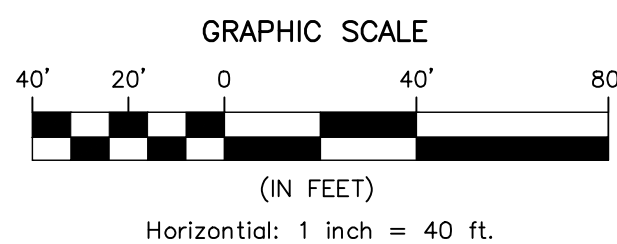
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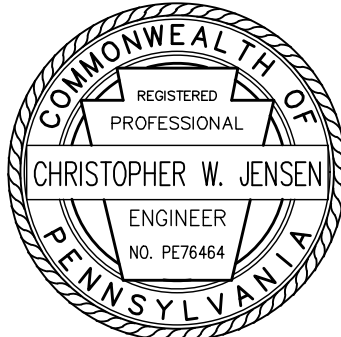
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3	03/26/25	REVISED PER TOWNSHIP COMMENTS	BGS	
2	02/26/25	UPDATES FOR 44" RCP SUBMISSION	JKP	ZHR
1	01/24/25	UPDATES FOR 44" RCP SUBMISSION	MTG	ZHR

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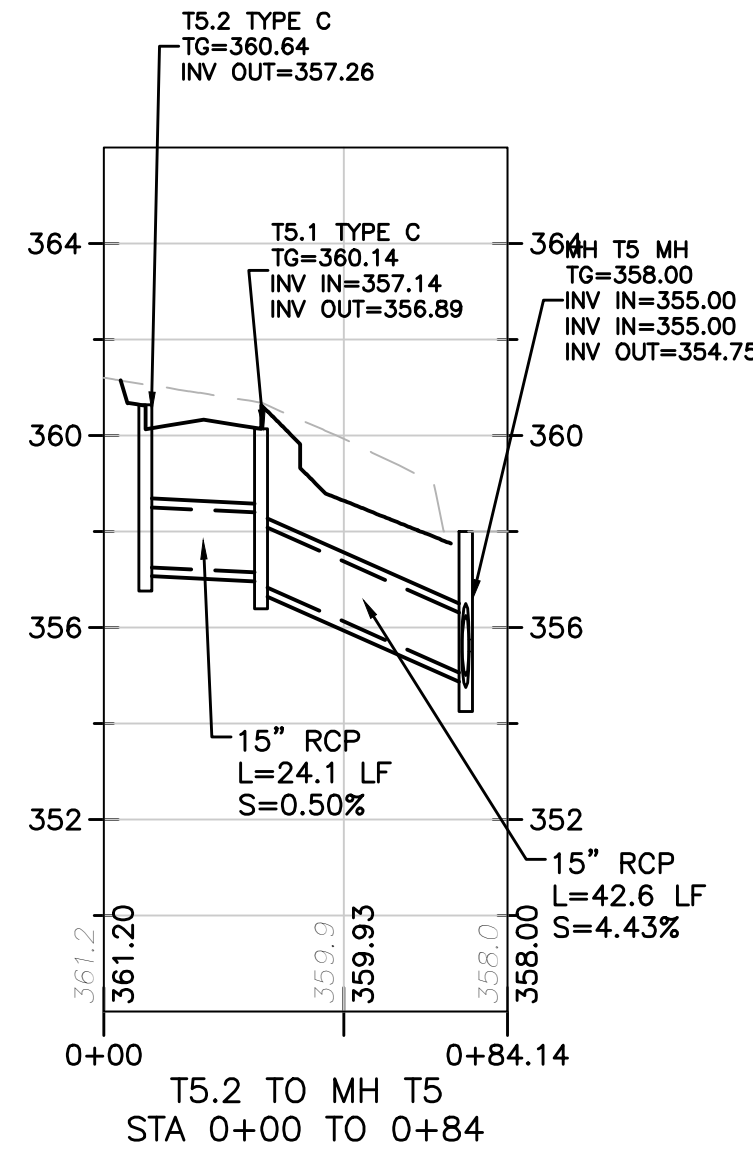
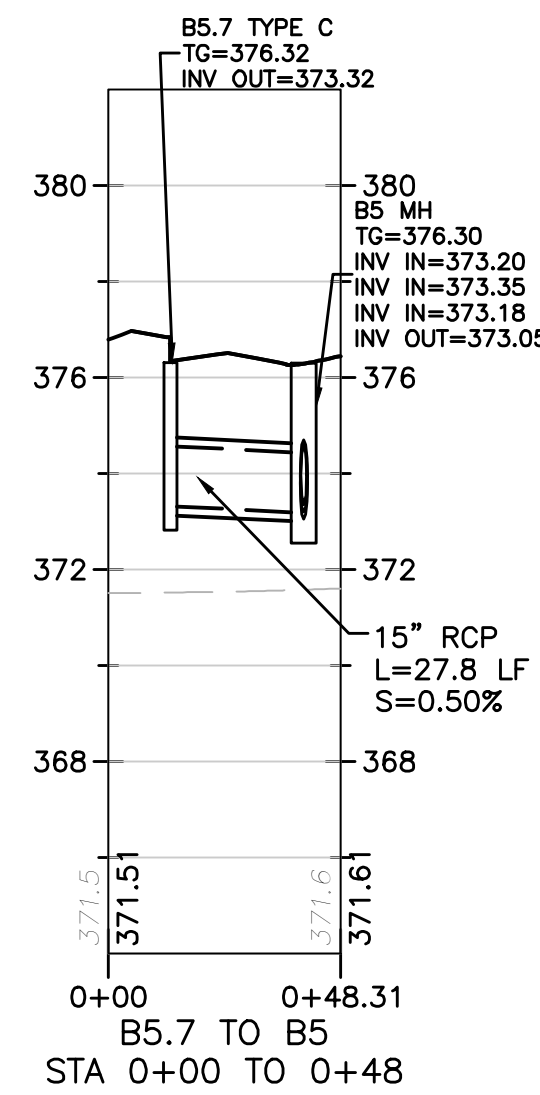
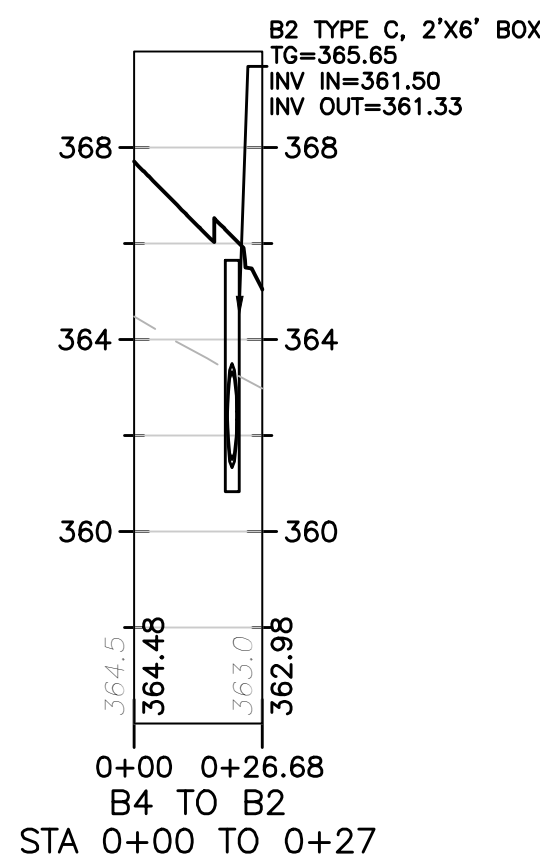
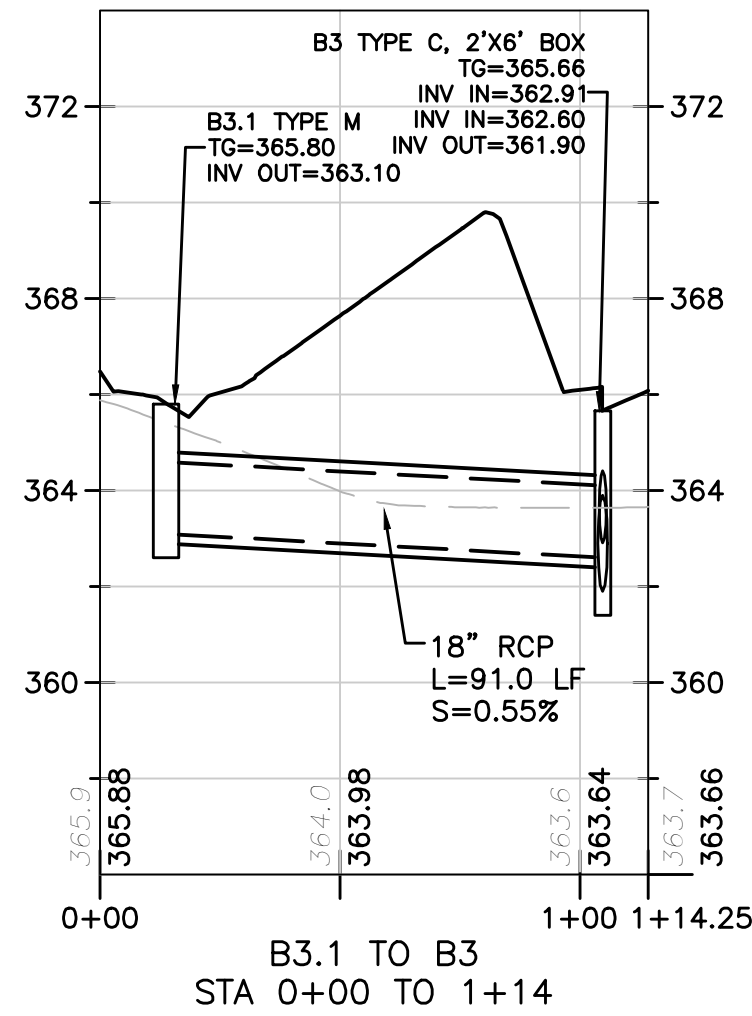
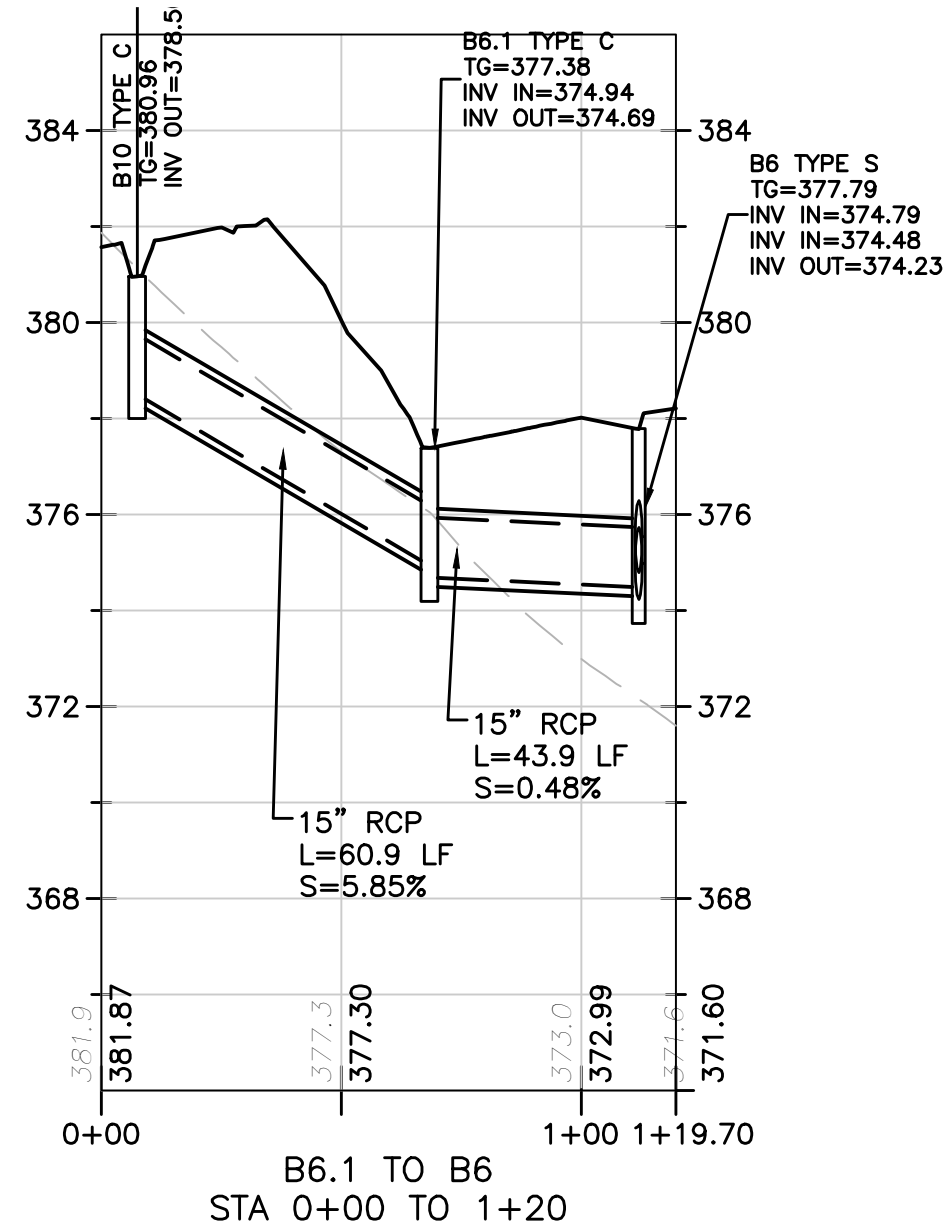
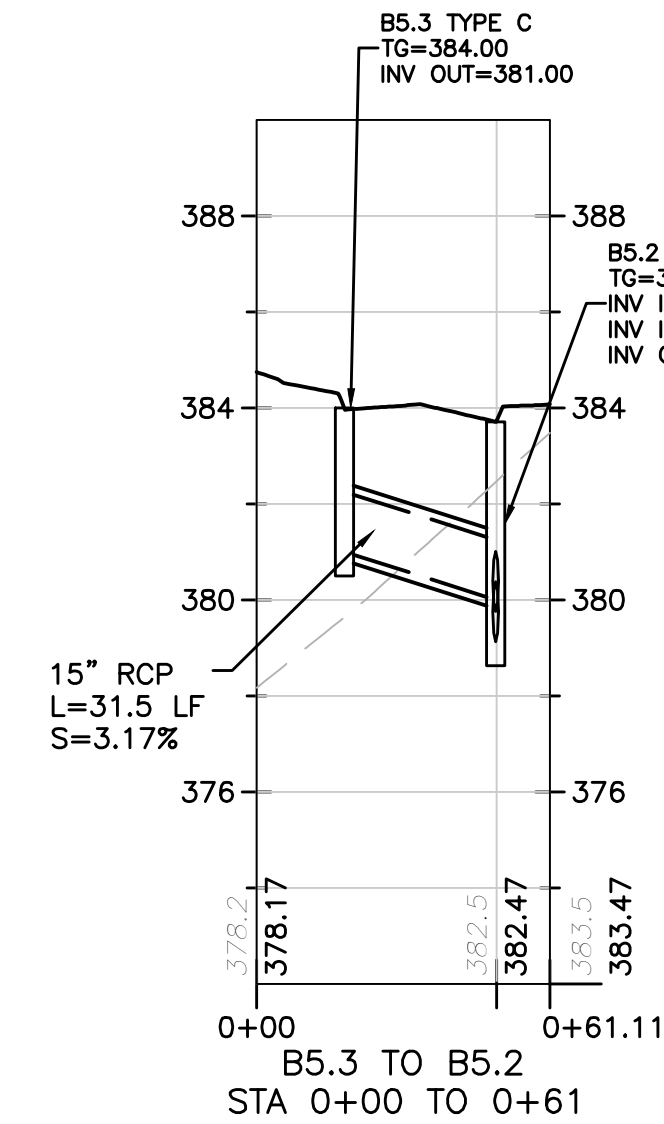
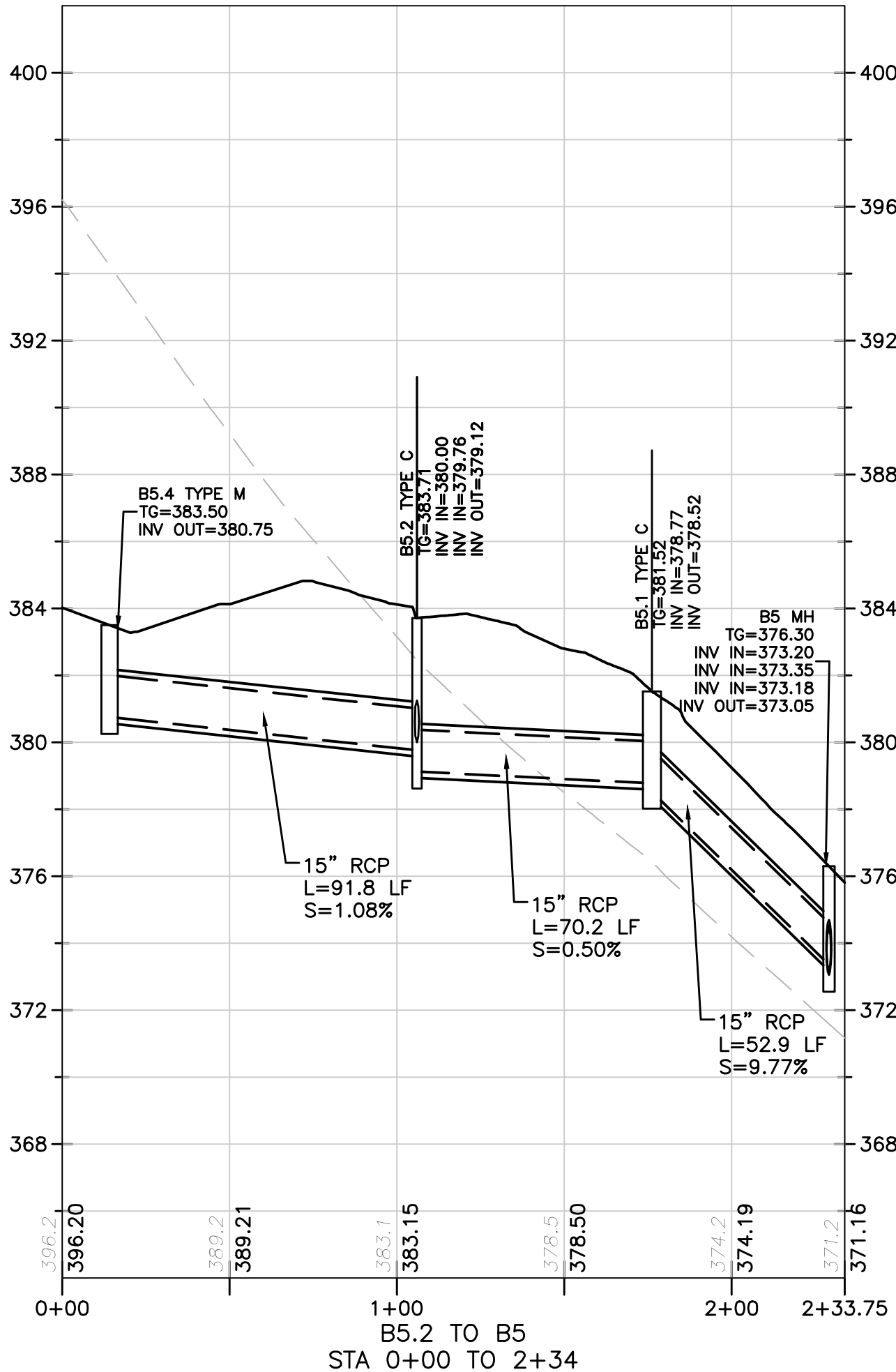
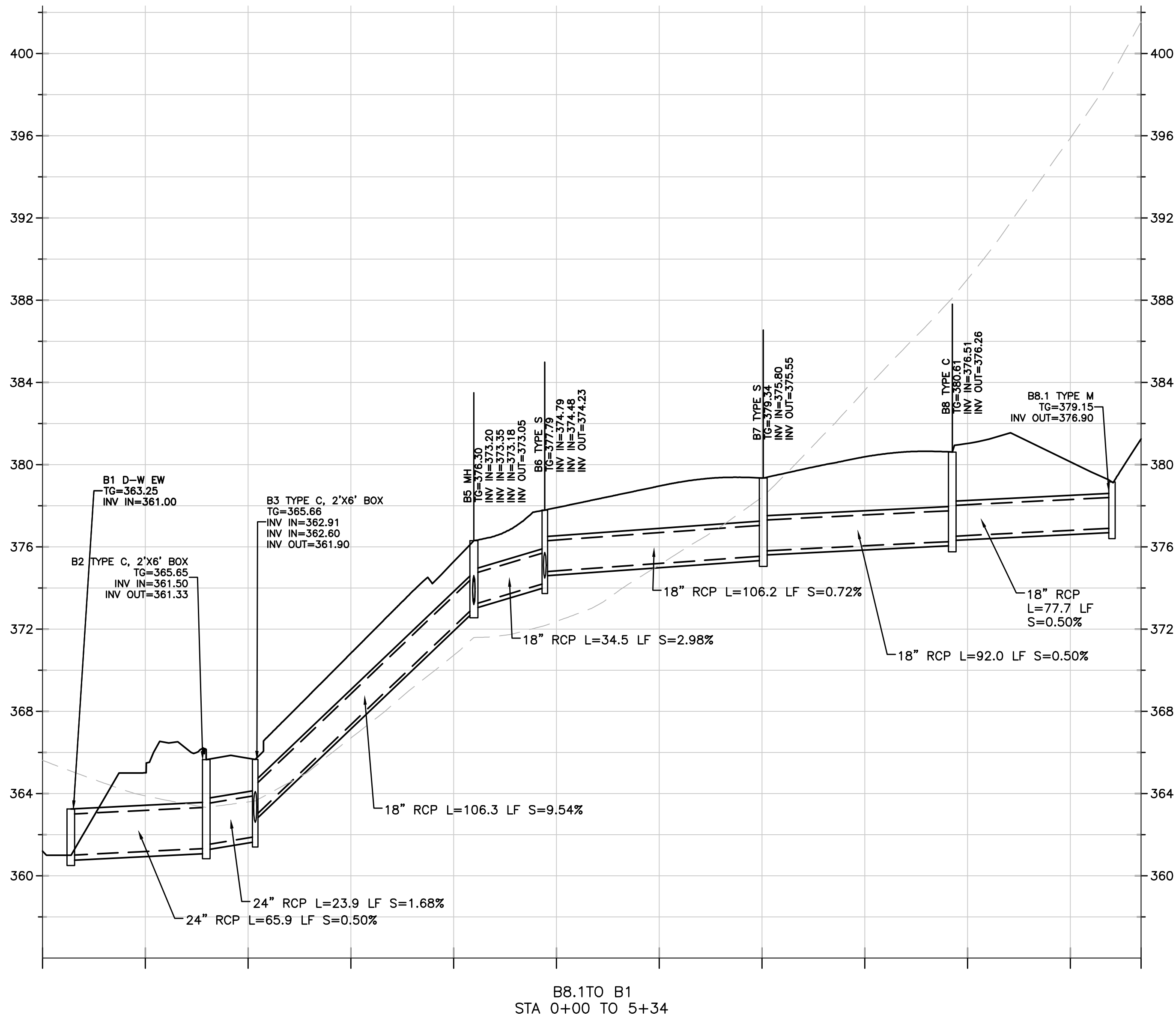
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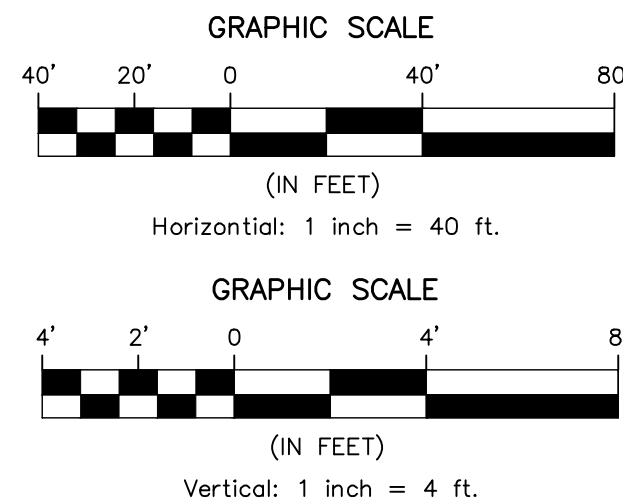
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FILE NAME: WDEV00004_PRF.dwg
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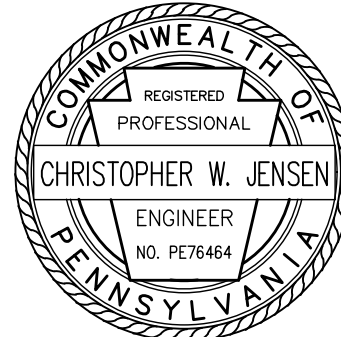
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3	03/26/25	REVISED PER TOWNSHIP COMMENTS	BGS	
2	02/26/25	UPDATES FOR 4th NPDES SUBMISSION	JPK	ZHR
1	01/24/25	UPDATES FOR NPDES PRE-SUBMISSION MTG	JPK	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
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STATE OF PA LICENSE NO. PE076464

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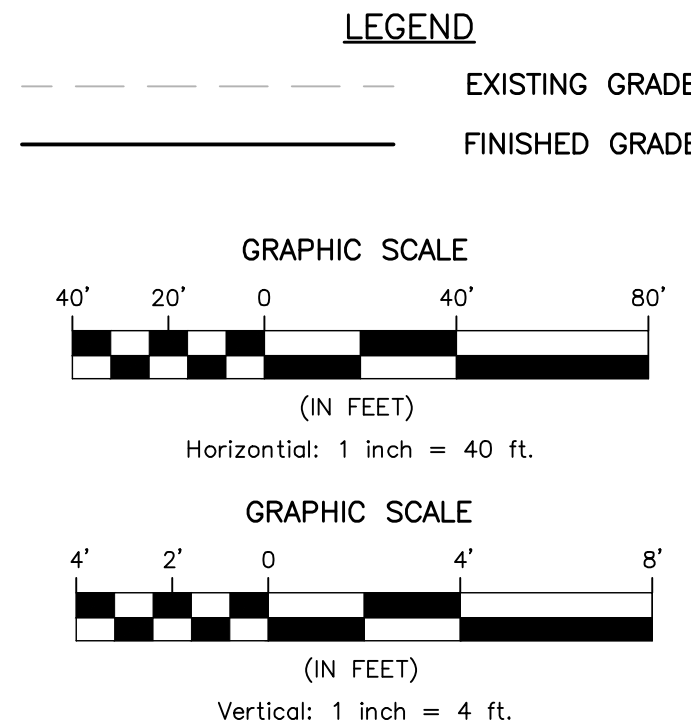
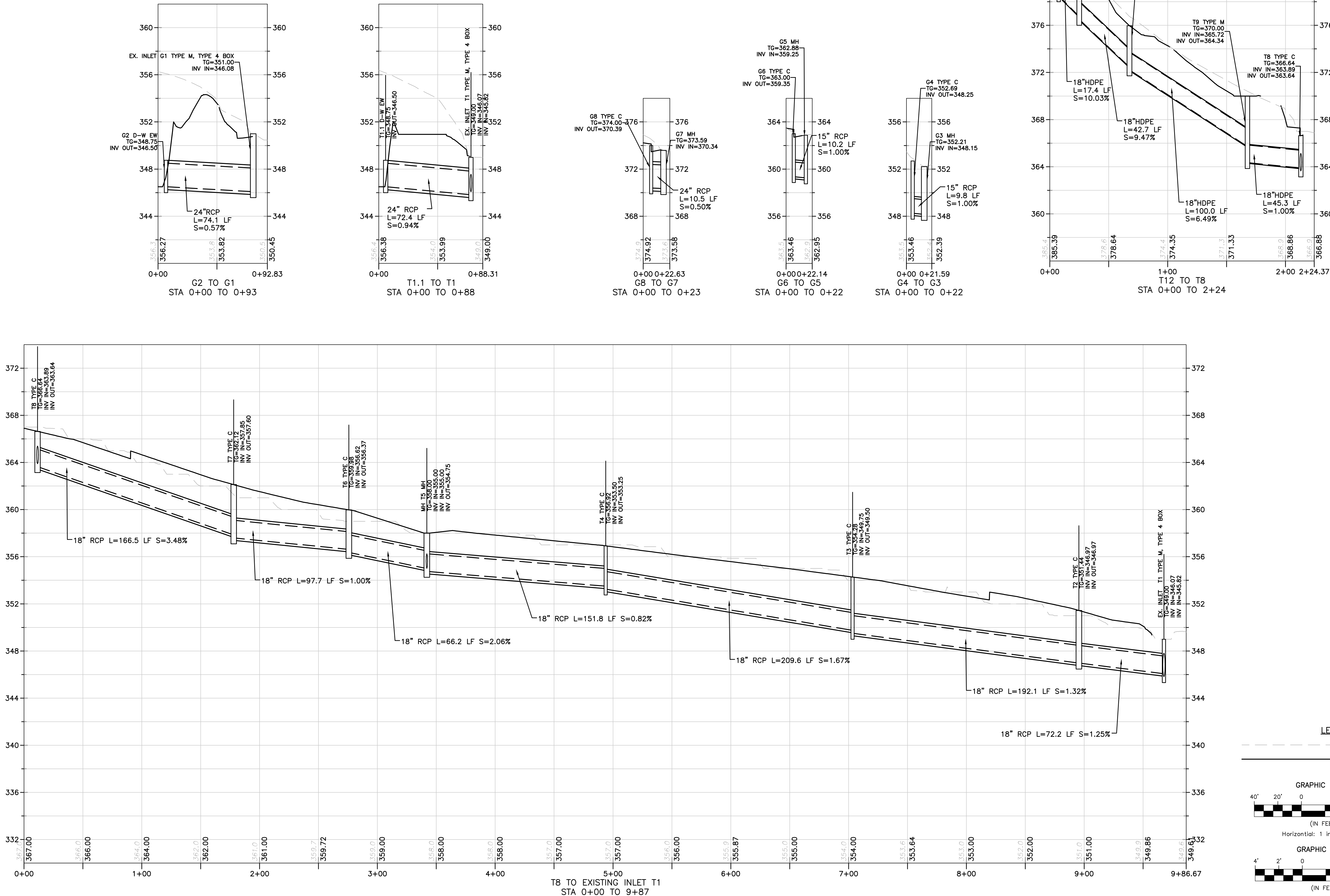
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1	01/24/25	UPDATES FOR WIPES PRE-SUBMISSION	JPK	ZHR
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3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS

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12/19/2024
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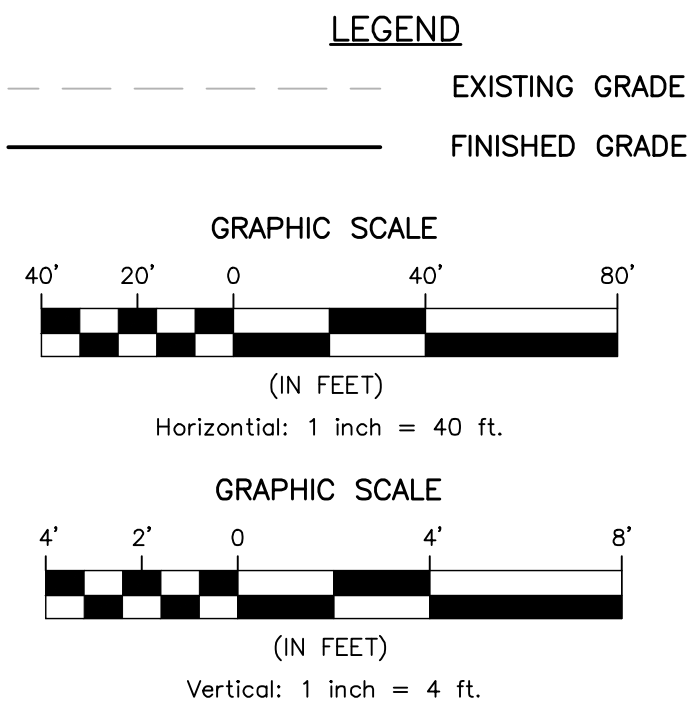
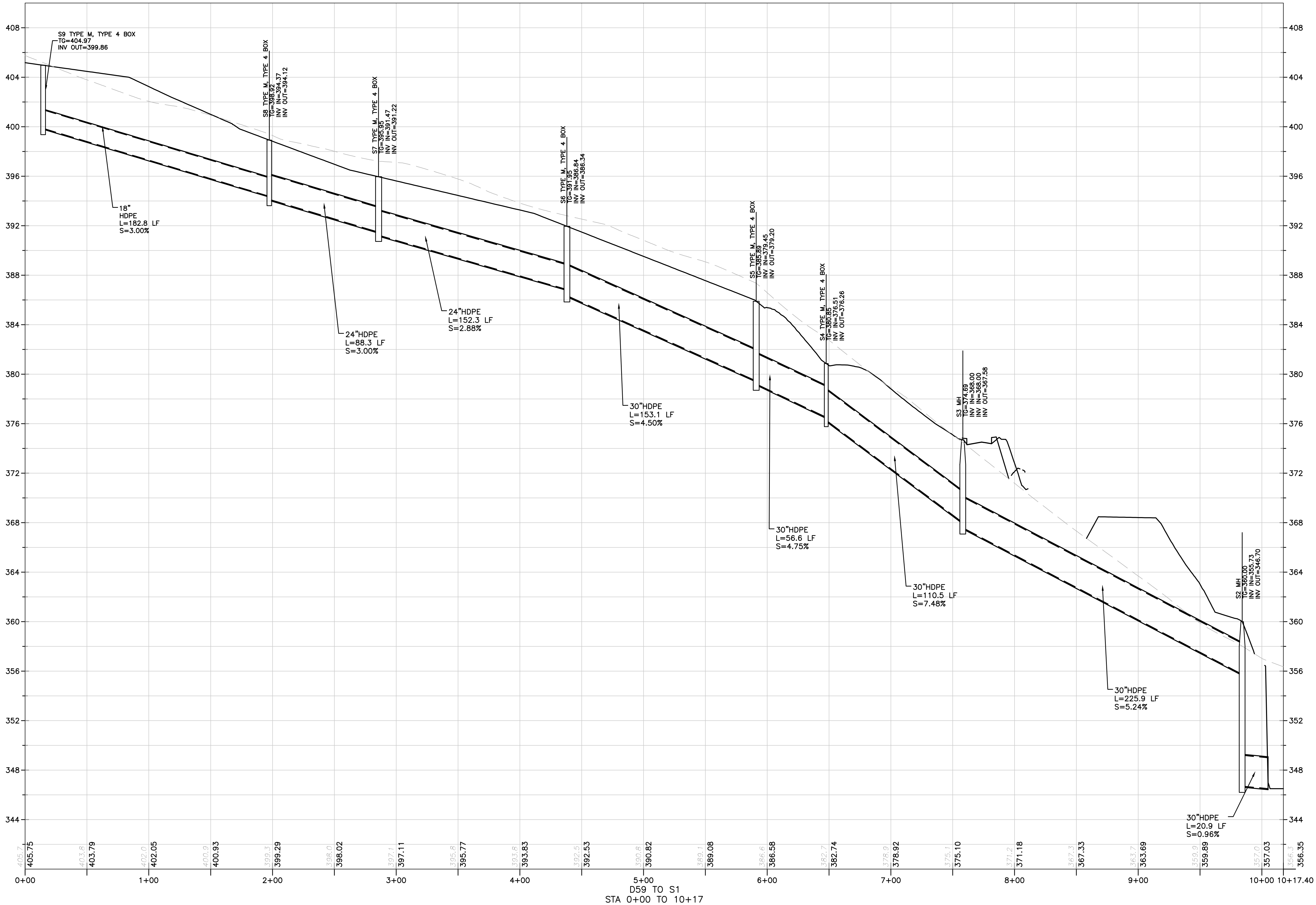
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STORM PROFILE-3

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DATE 12/19/2024 SCALE AS NOTED PROJ. NO. WDEV00004	

PROJECT INFORMATION:
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FILE NAME: WDEV0000A_PRF.dwg
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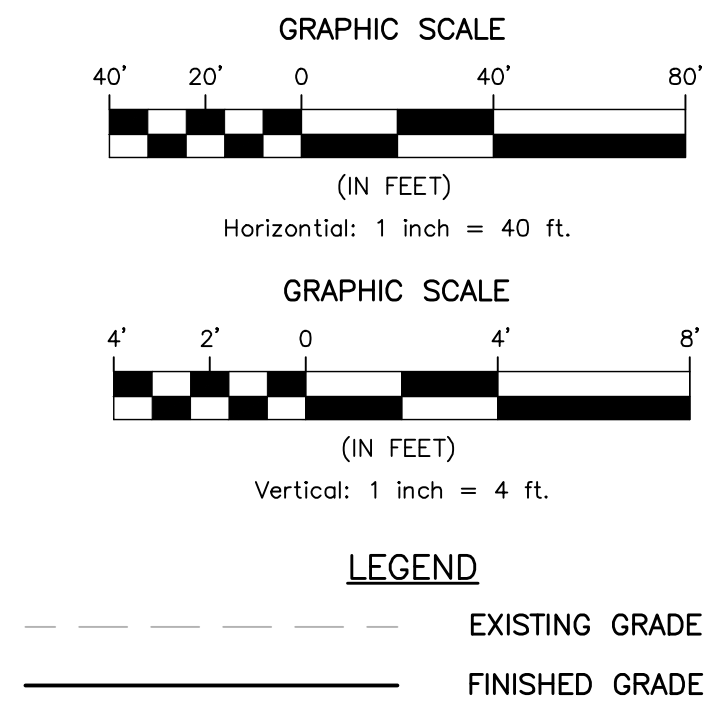
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STORM PROFILE-4

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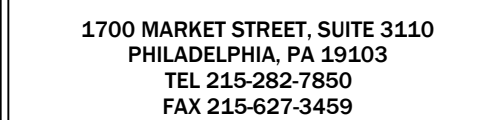
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OF
46

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[illegible]

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TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP,
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

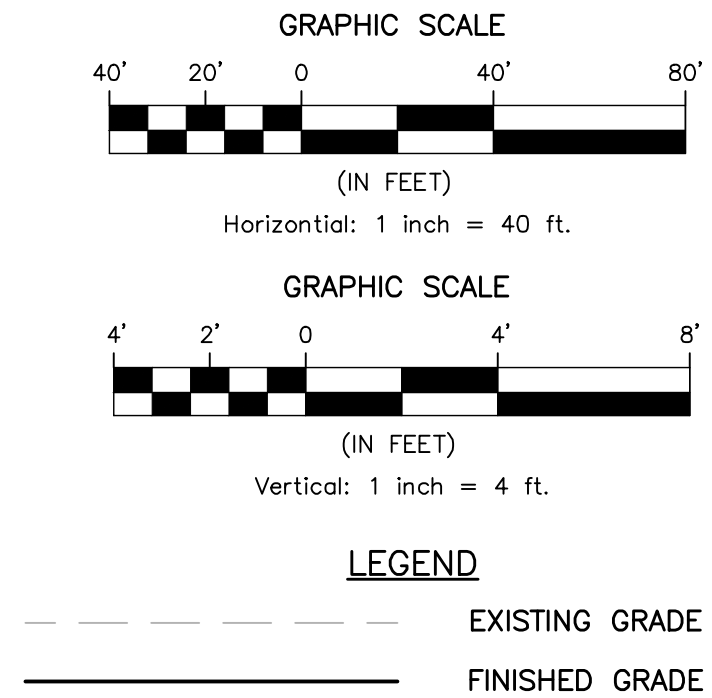
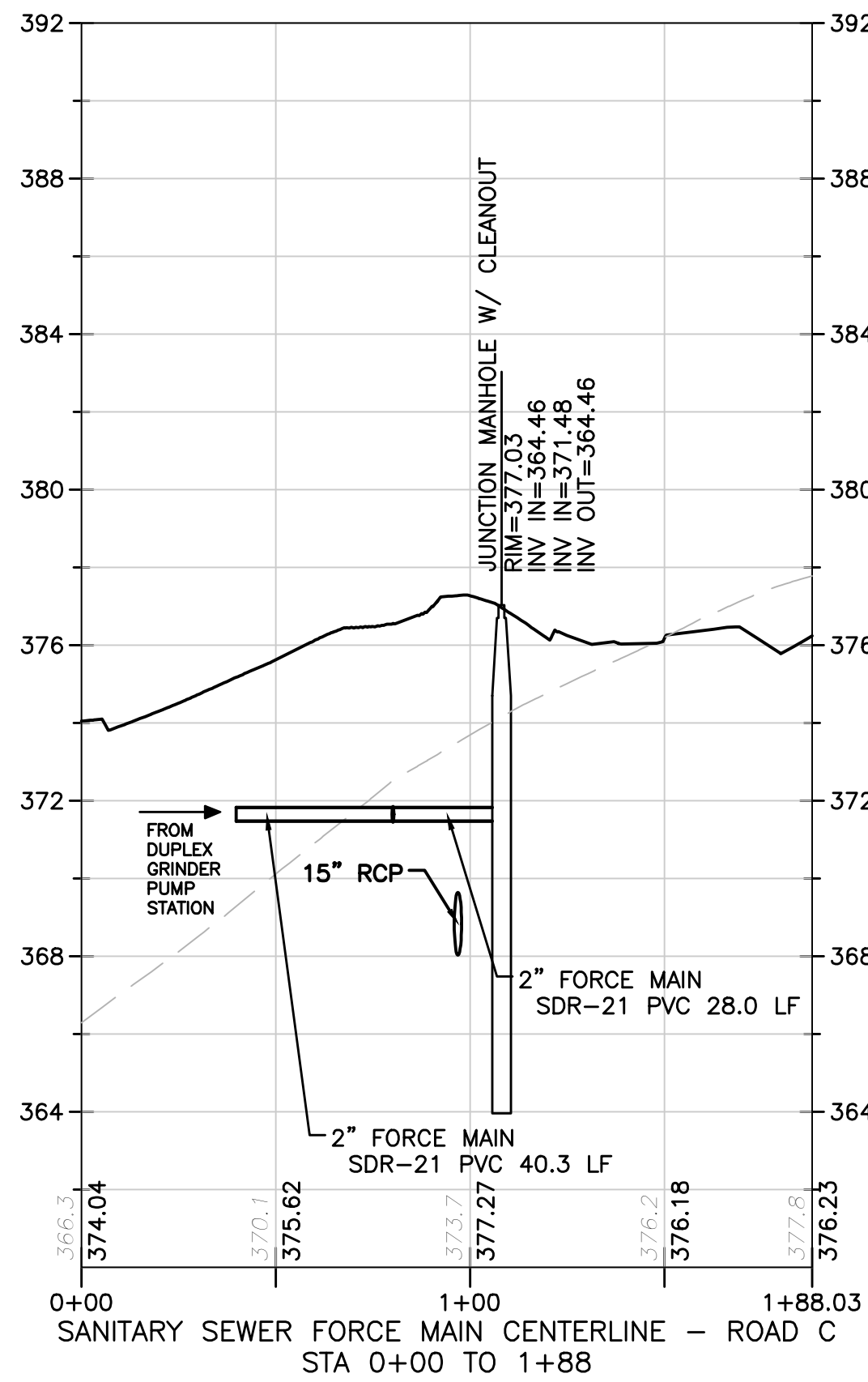
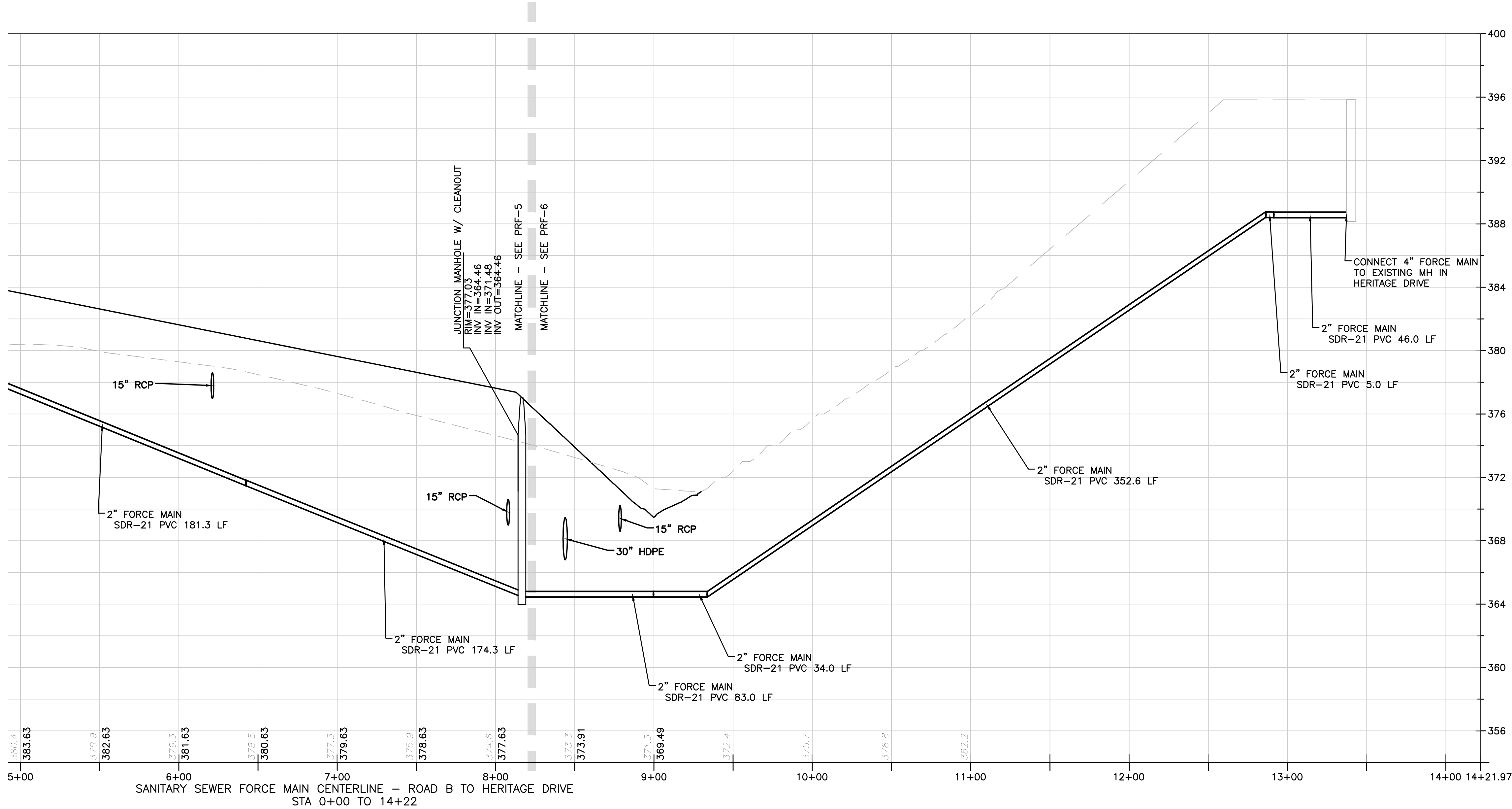
SANITARY PROFILE-5



DESIGNED BY JPK/CKS/CMR/ROP/ZHR	DRAWING PRF-5
CHECKED BY BGS/ZHR	SHEET 21
DRAWN BY SCR/CKS/RAM	
DATE 12/19/2024	
SCALE AS NOTED	
PROJ. NO. WDEV00004	OF 46

PROJECT INFORMATION:
FILE PATH: C:\Projects\WDEV\0000A\Plans\
FILE NAME: WDEV00004_PRF.dwg
LAST MODIFIED: 04 Apr 2025, 2:05PM
LAST SAVE BY: JKelley

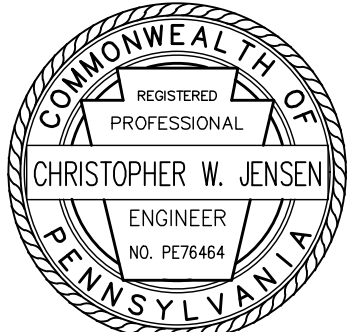
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NO.	DATE	REVISIONS	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	BGS	
2	02/26/25	UPDATES FOR 4" NPDES SUBMISSION	JKP	ZHR
1	01/24/25	UPDATES FOR NPDES PRE-SUBMISSION	JKP	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE No. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
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MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

SANITARY PROFILE-6

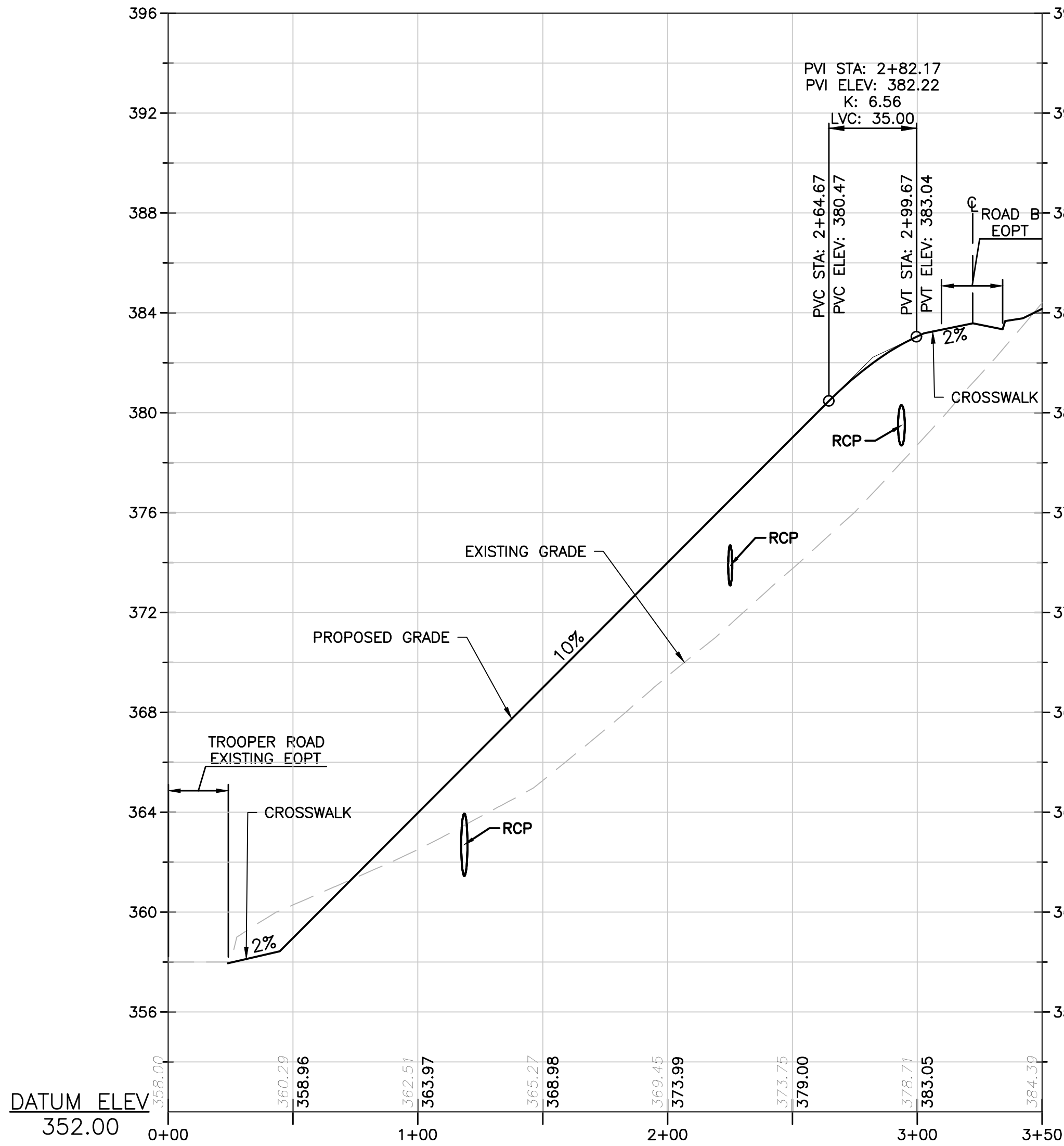
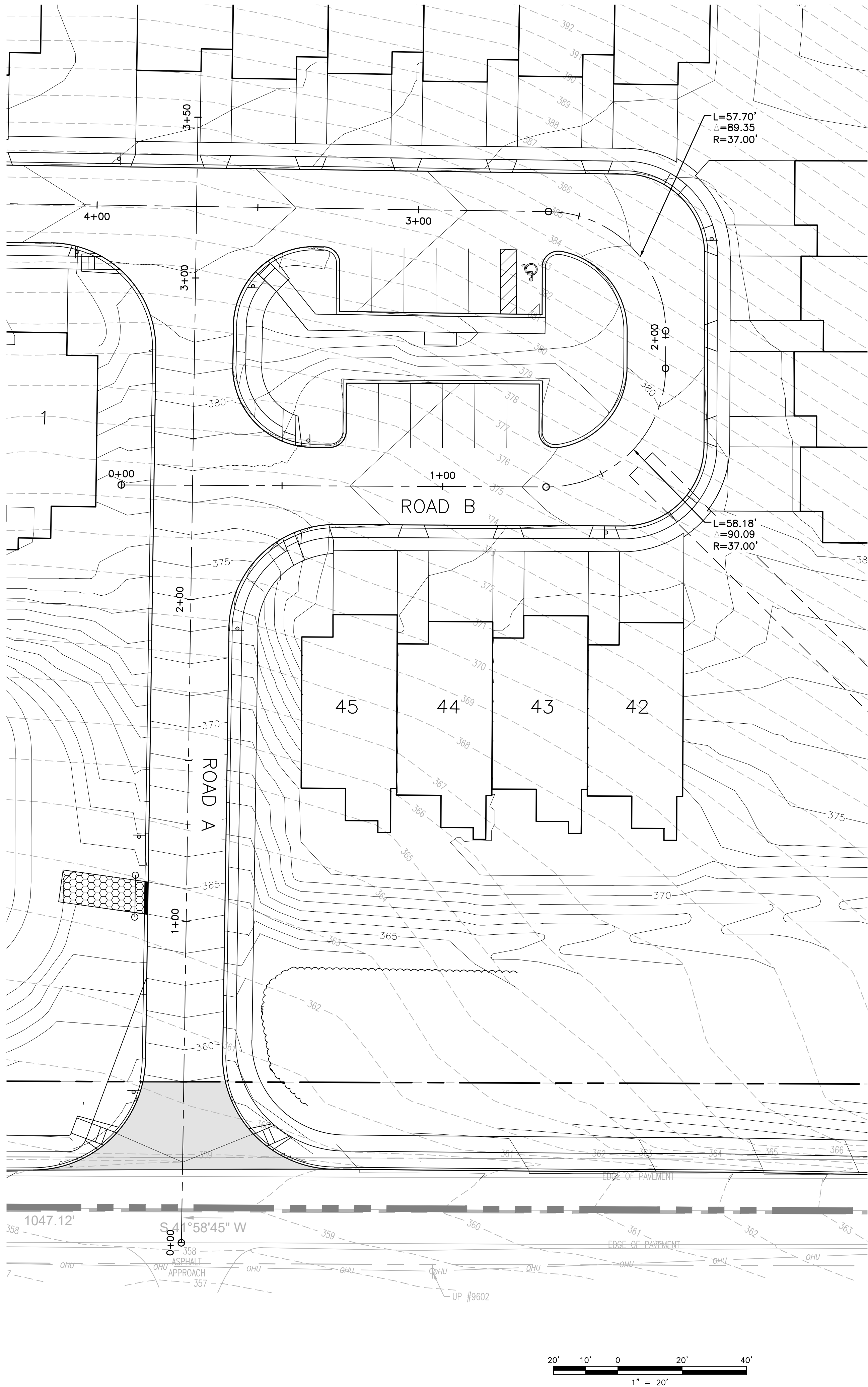
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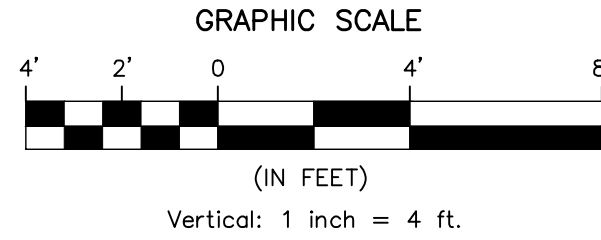
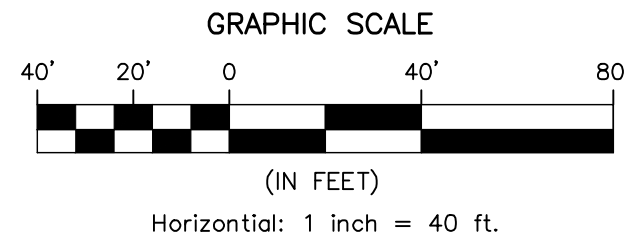
DESIGNED BY JKP/CKS/CMR/ROP/ZHR CHECKED BY BGS/ZHR DRAWN BY SCR/CKS/RAM	DRAWING PRF-6 SHEET 22 OF 46
DATE 12/19/2024 SCALE AS NOTED PROJ. NO. WDEV00004	

PROJECT INFORMATION:
FILE PATH: C:\Projects\WDEV\00004\Plans\
FILE NAME: WDEV00004-PRF -ROAD.dwg
LAST MODIFIED: 12/19/2024 10:00 AM
LAST SAVE BY: J.Kelly

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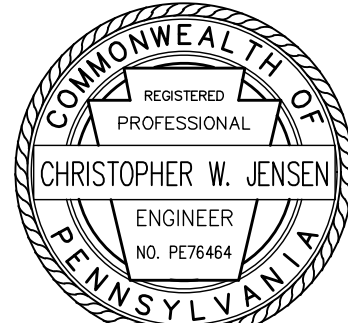
ROAD A TO ROAD B CENTERLINE
STA 0+00 TO 3+50



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GUARANTEED. IT IS THE USER'S RESPONSIBILITY TO OBTAIN ALL
NECESSARY LEGISLATIVE ACT NUMBER 287 OF 1974 AS AMENDED BY ACT 121
OF 2004, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL
UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.
20243371817

NO.	DATE	REVISIONS	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS
2	02/26/25	UPDATES FOR 64 NPDES SUBMISSION	JPK	ZHR
1	01/24/25	UPDATES FOR NPDES PRE-SUBMISSION MTG	JPK	ZHR

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LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

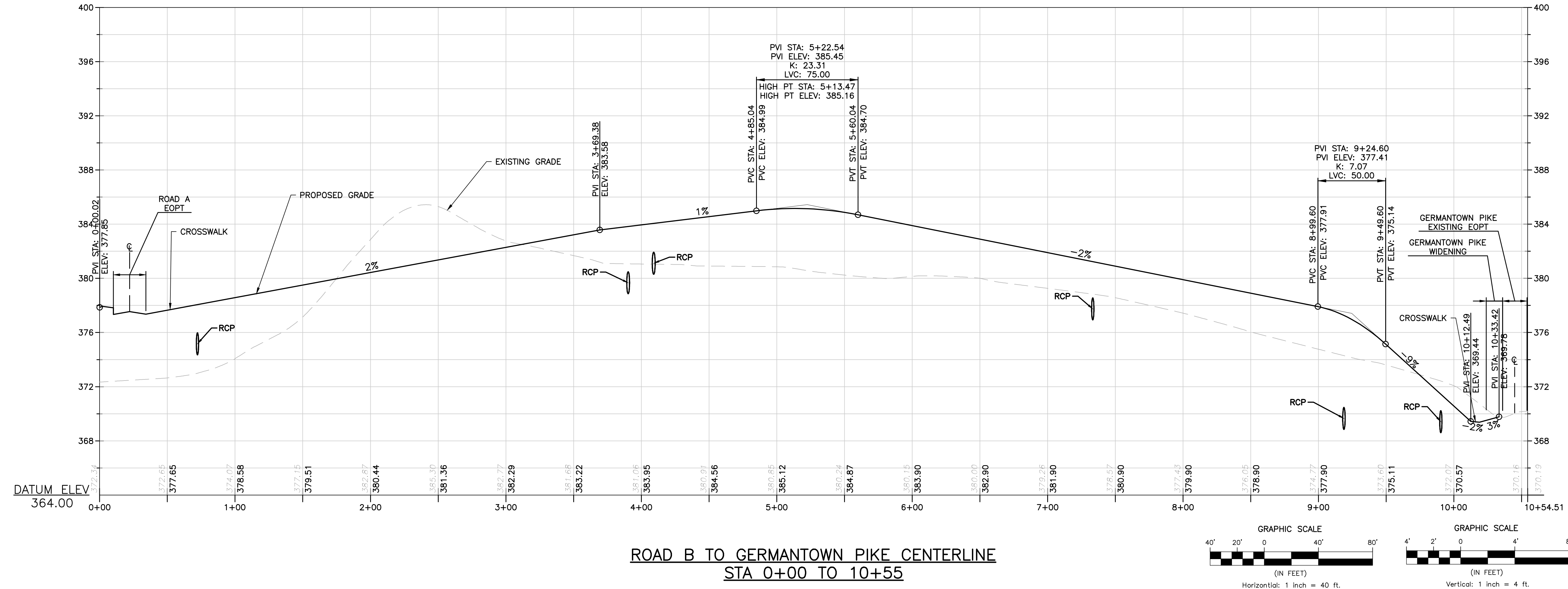
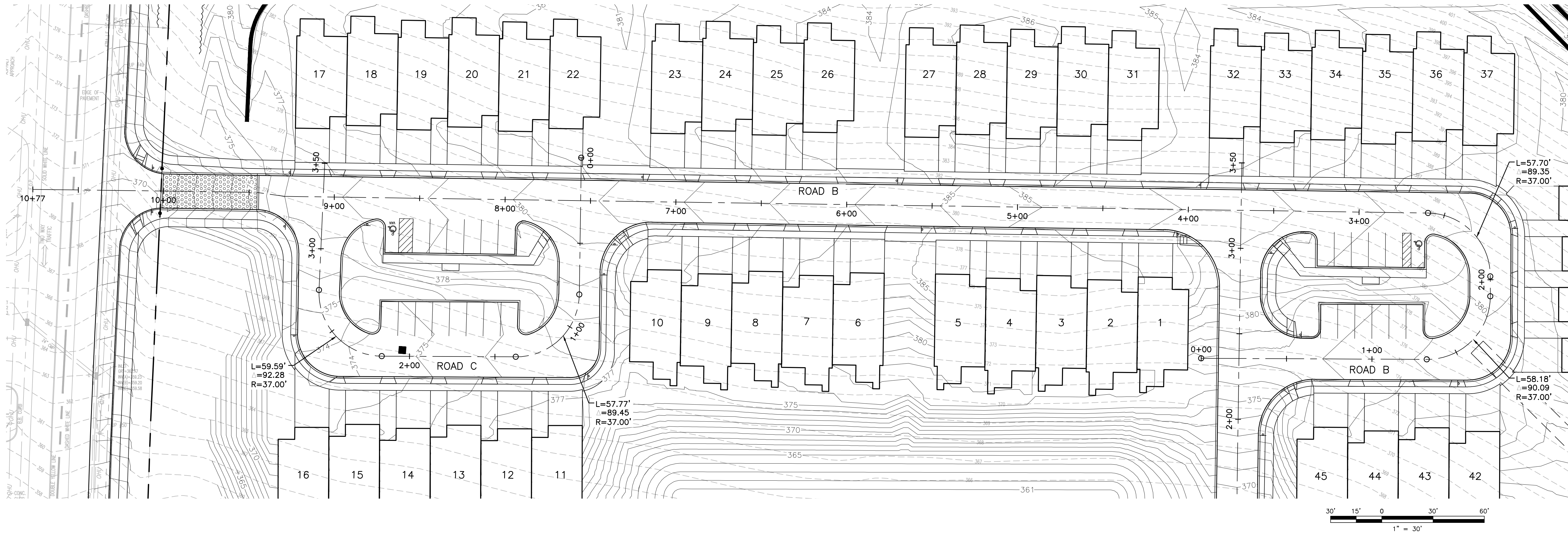
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DESIGNED BY JPK/CKS/CMR/ROP/ZHR CHECKED BY BGS/ZHR DRAWN BY SCR/CKS/RAM DATE 12/19/2024 SCALE AS NOTED PROJ. NO. WDEV00004	DRAWING PRF-7 SHEET 23 OF 46
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PROJECT INFORMATION:
FILE PATH: C:\Projects\WDEV\00004\Plans\WDEV00004-PRF-ROAD.dwg
FILE NAME: WDEV00004-PRF-ROAD.dwg
LAST SAVE BY: J. Kelly
LAST SAVE DATE: 26 Mar 2025, 9:45AM

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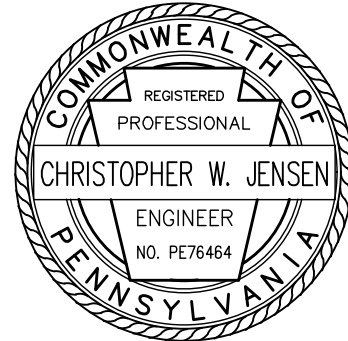
ROAD B TO GERMANTOWN PIKE CENTERLINE
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NO.	DATE	REVISIONS	BY	CHKD
1	01/24/25	UPDATES FOR WIPES PRE-SUBMISSION MITG	ZHR	
2	02/26/25	UPDATES FOR 44 WIPES SUBMISSION	JPK	
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	BGS	

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL

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MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

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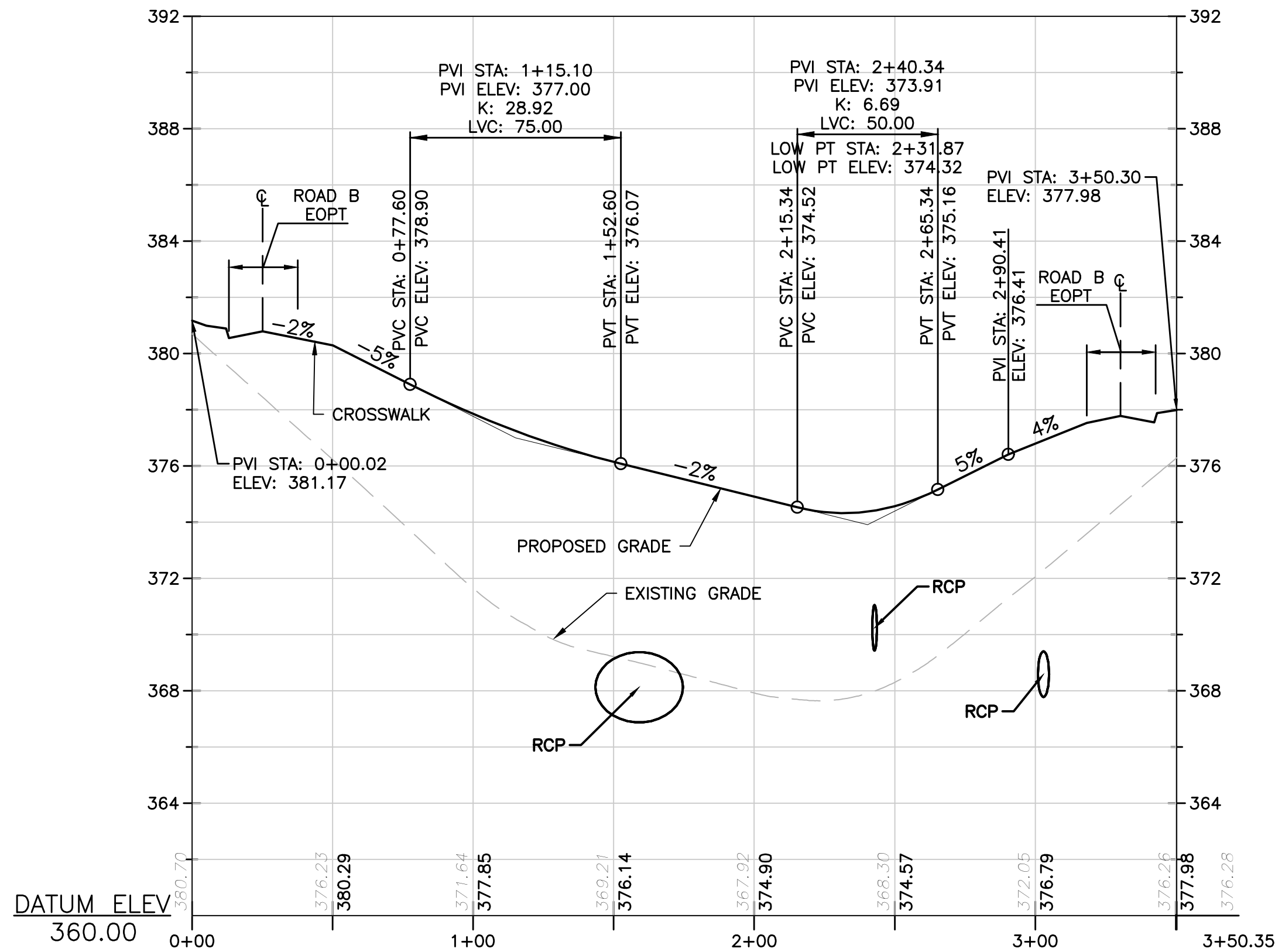
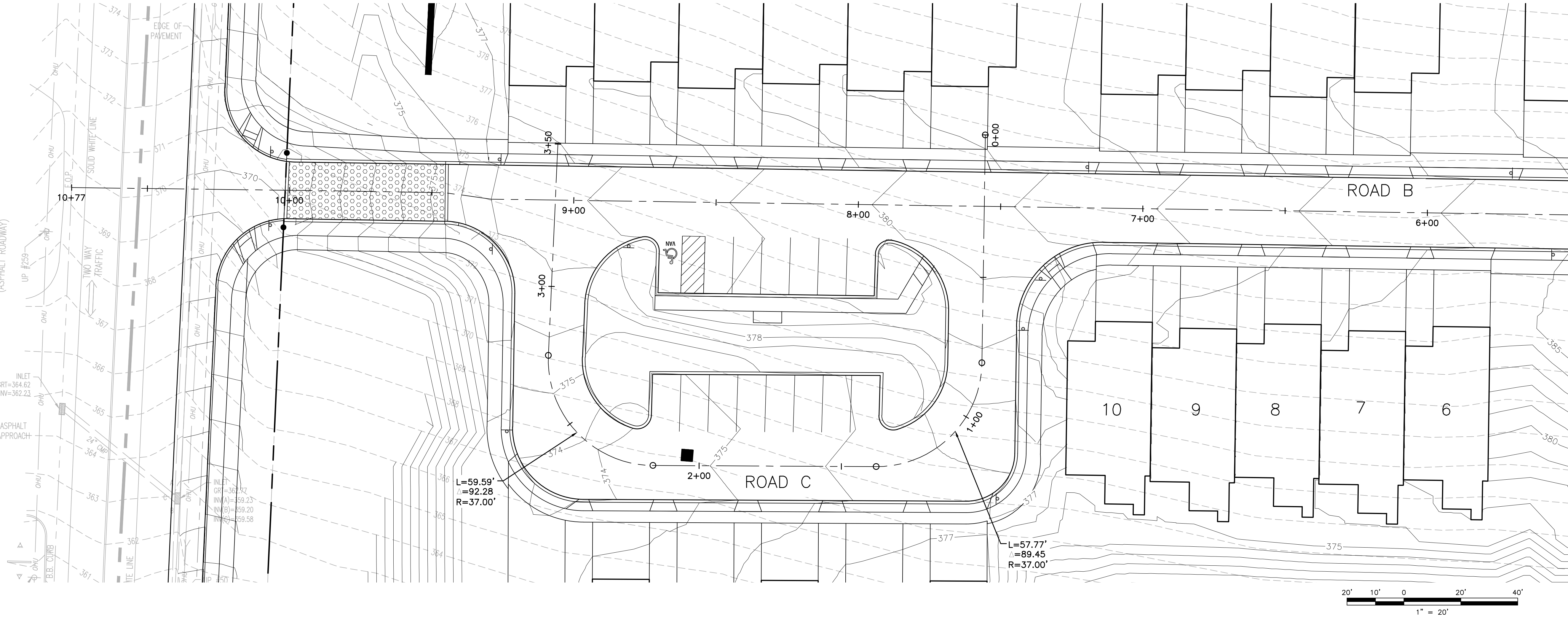
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CHECKED BY BGS/ZHR	SHEET 24
DRAWN BY SCR/CKS/RAM	OF 46
DATE 12/19/2024	
SCALE AS NOTED	
PROJ. NO. WDEV00004	

PROJECT INFORMATION:
FILE PATH: C:\Projects\WDEV00004\Plans\
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LAST SAVE BY: J.Kelly

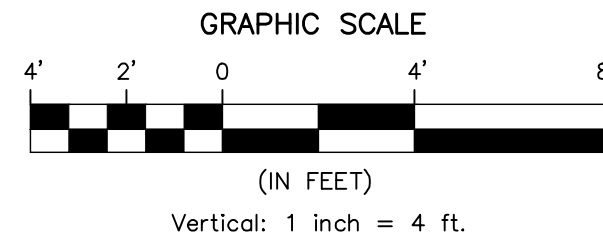
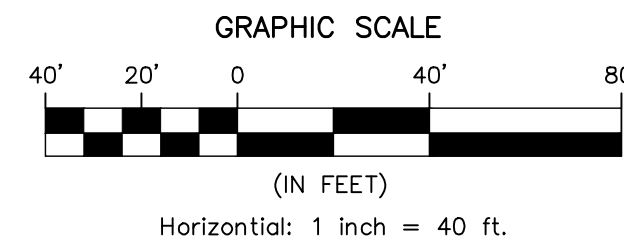
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GERMANTOWN PIKE

(50' WIDE R.O.W.)
(ASPHALT ROADWAY)



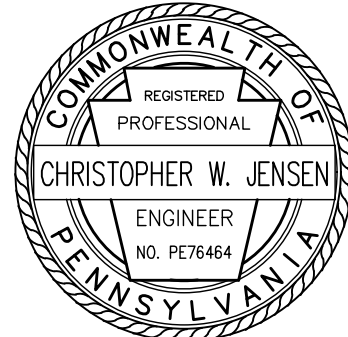
ROAD C CENTERLINE
STA 0+00 TO 3+50



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20243371817

NO.	DATE	REVISIONS	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS
2	02/26/25	UPDATES FOR 64 WIDEN SUBMISSION	JPK	ZHR
1	01/24/25	UPDATES FOR WIDEN PRE-SUBMISSION	JPK	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

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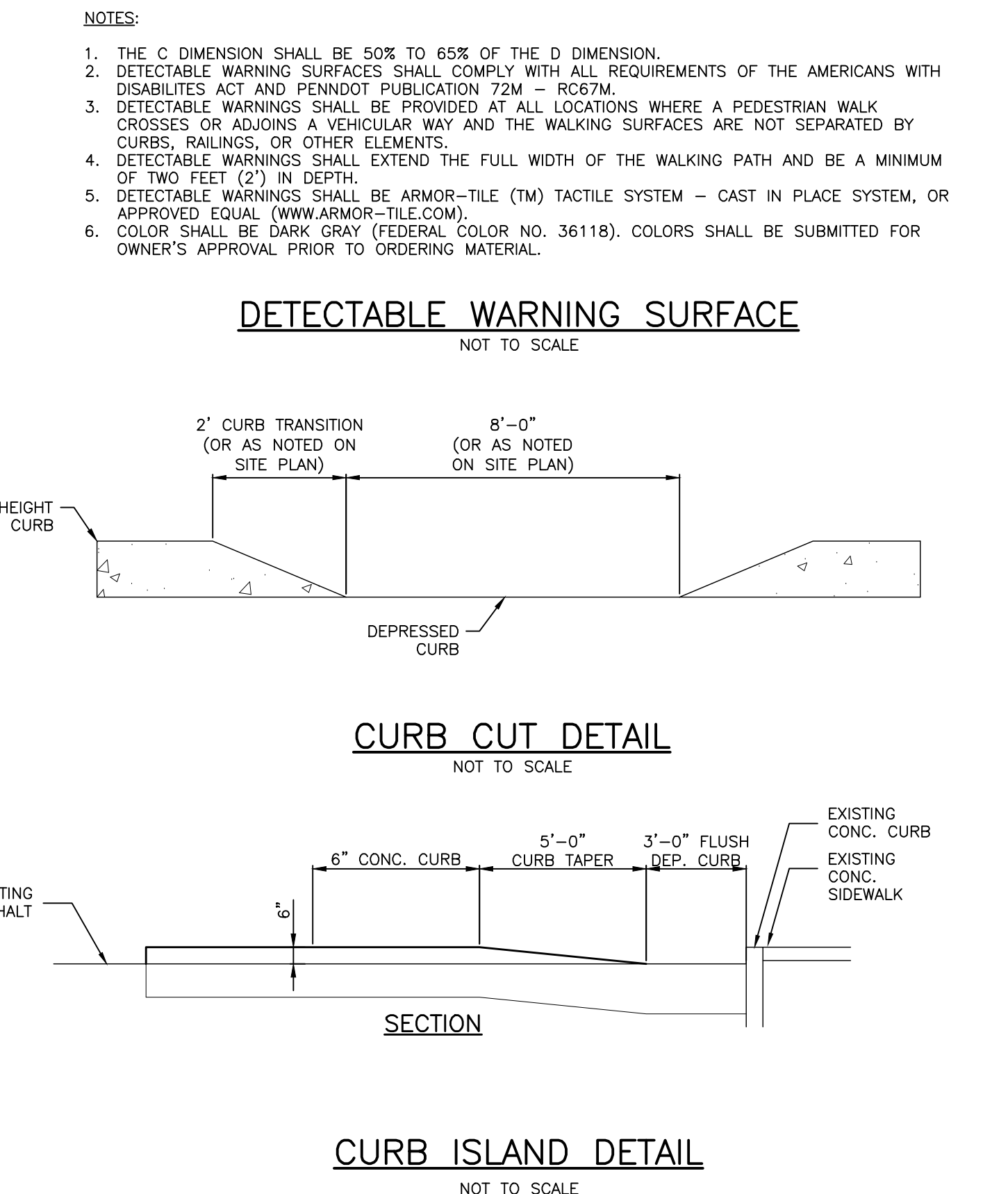
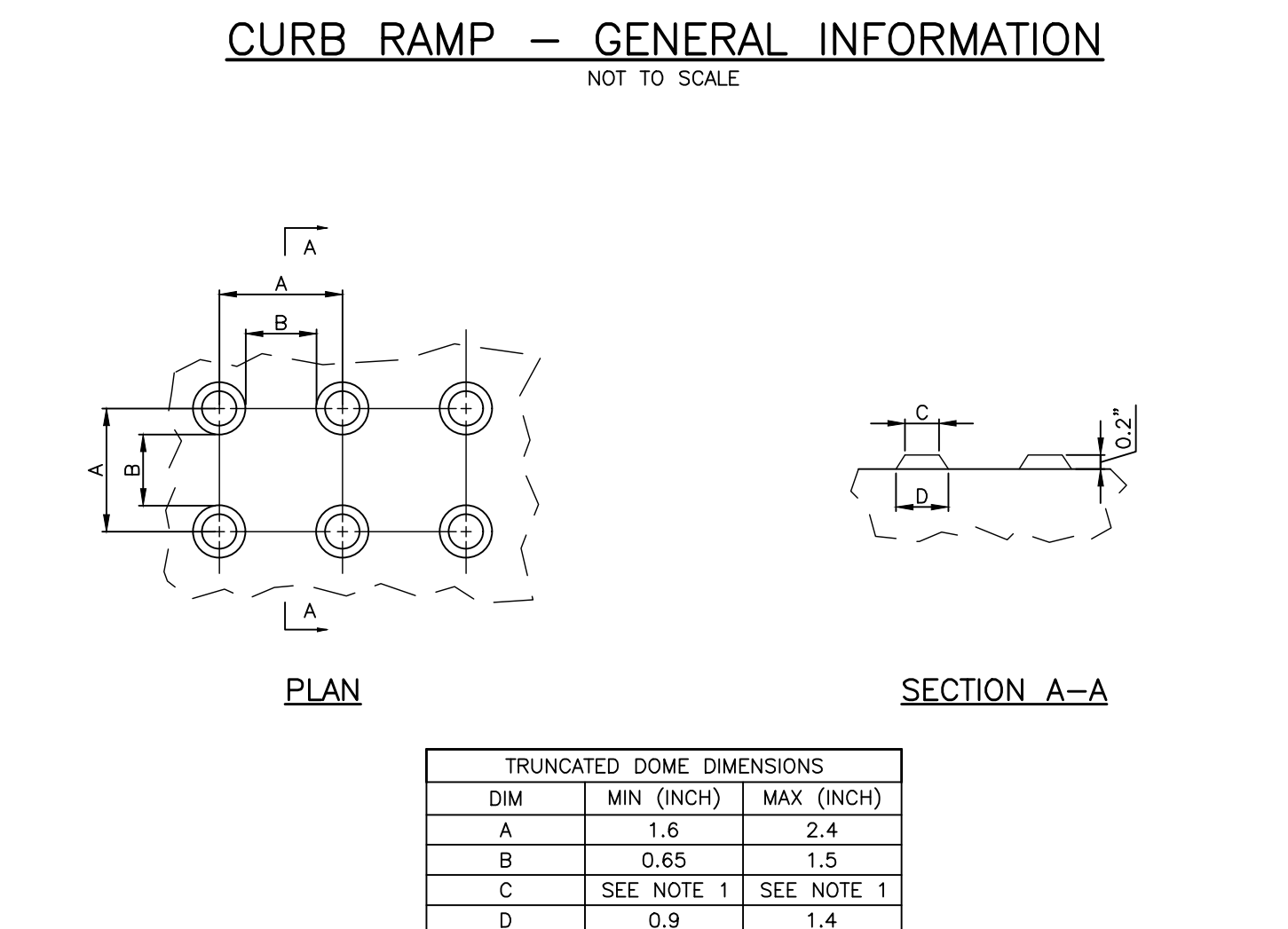
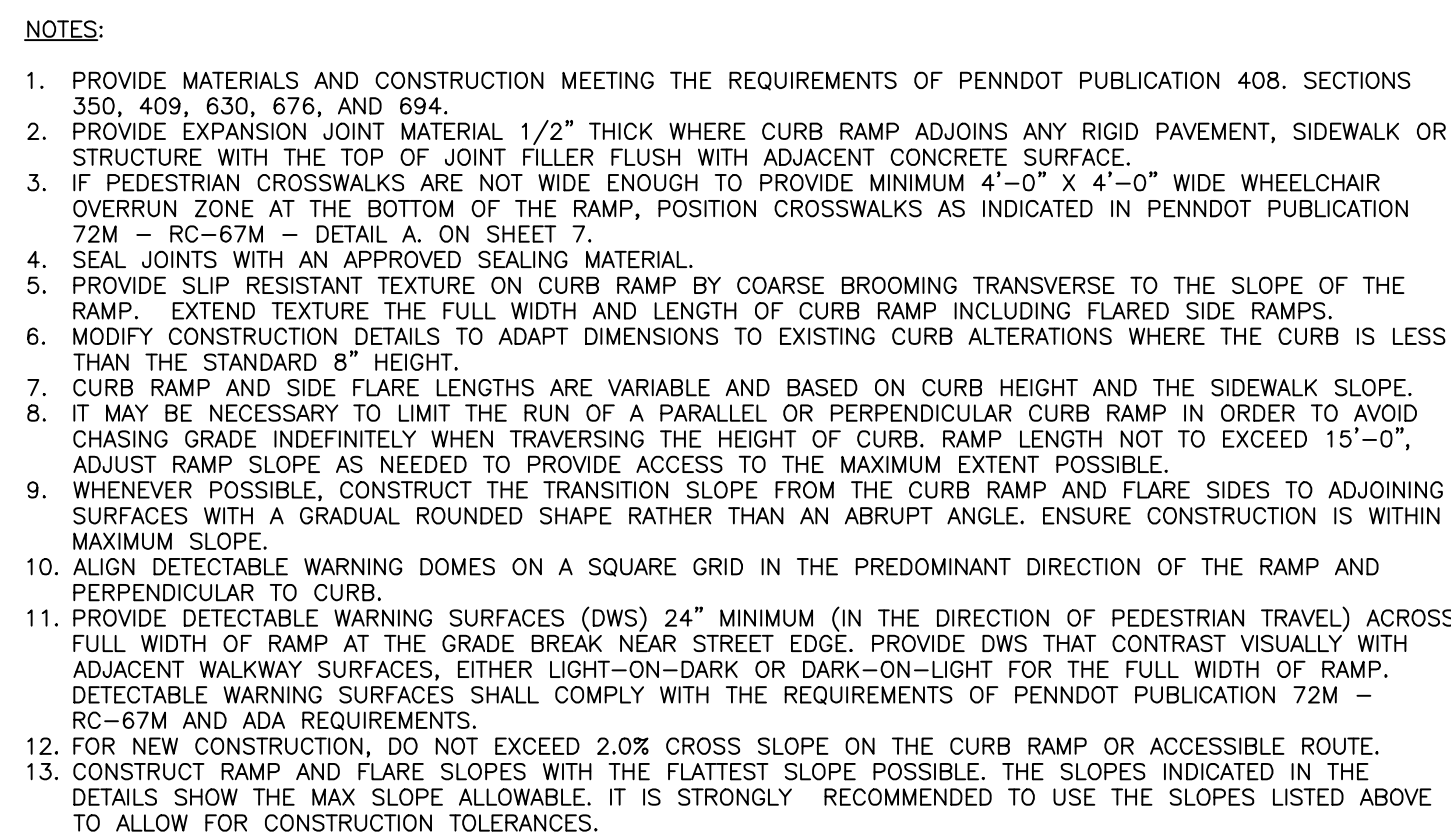
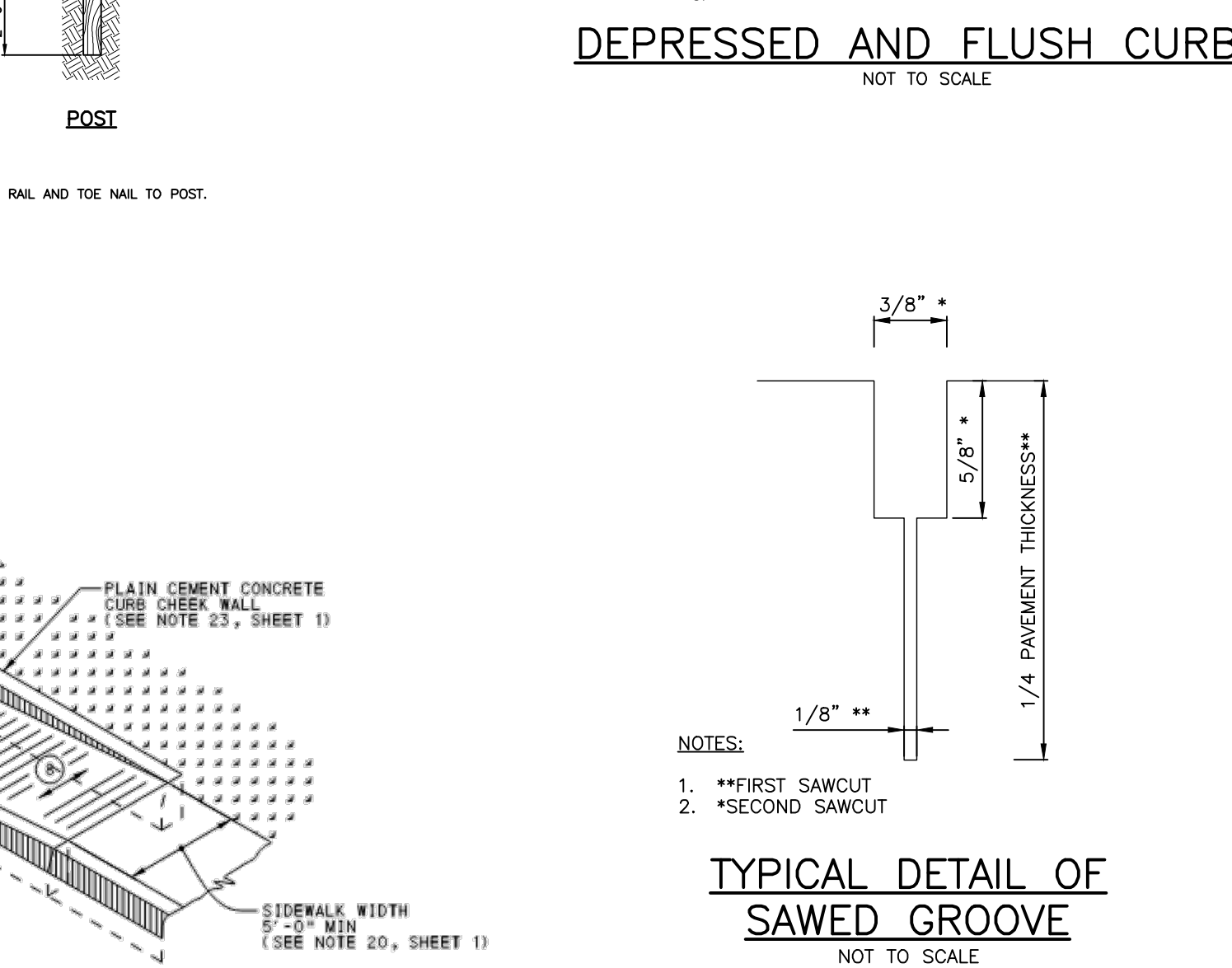
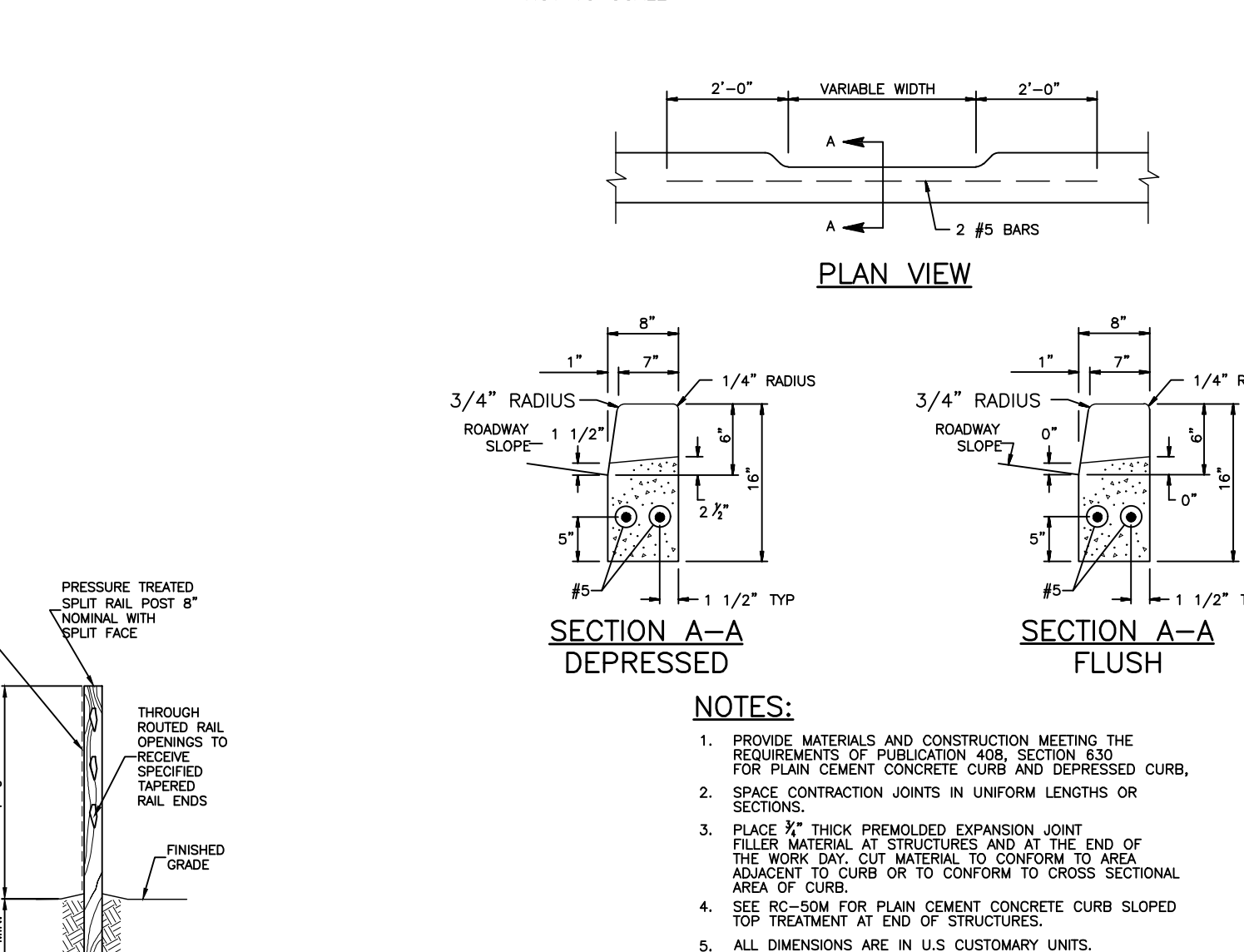
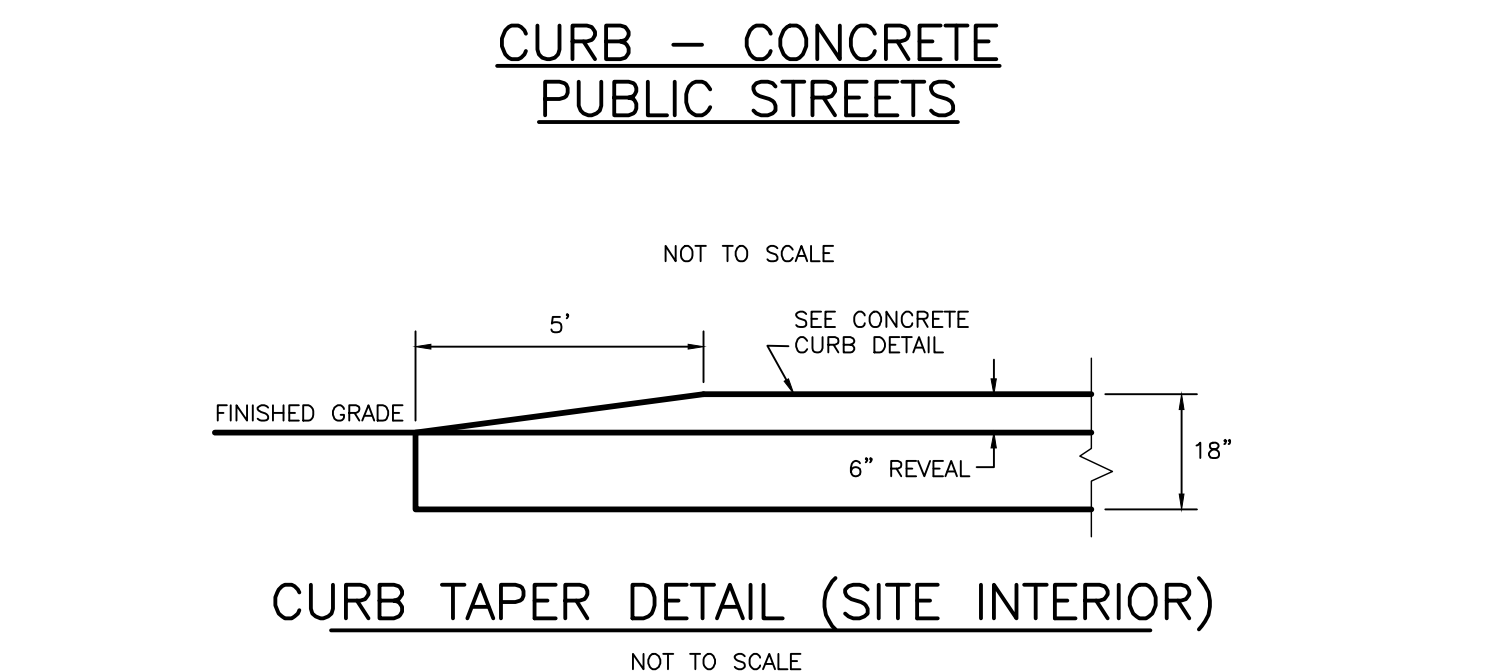
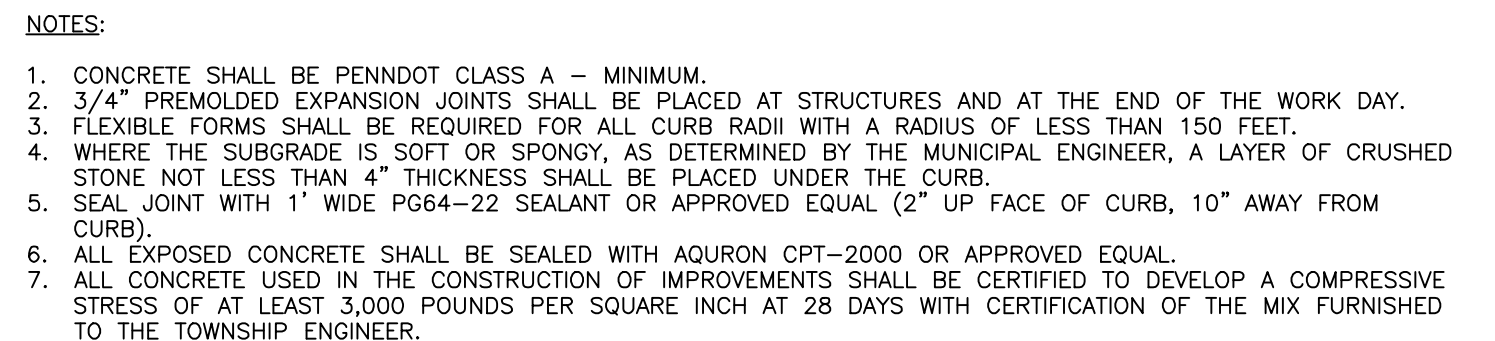
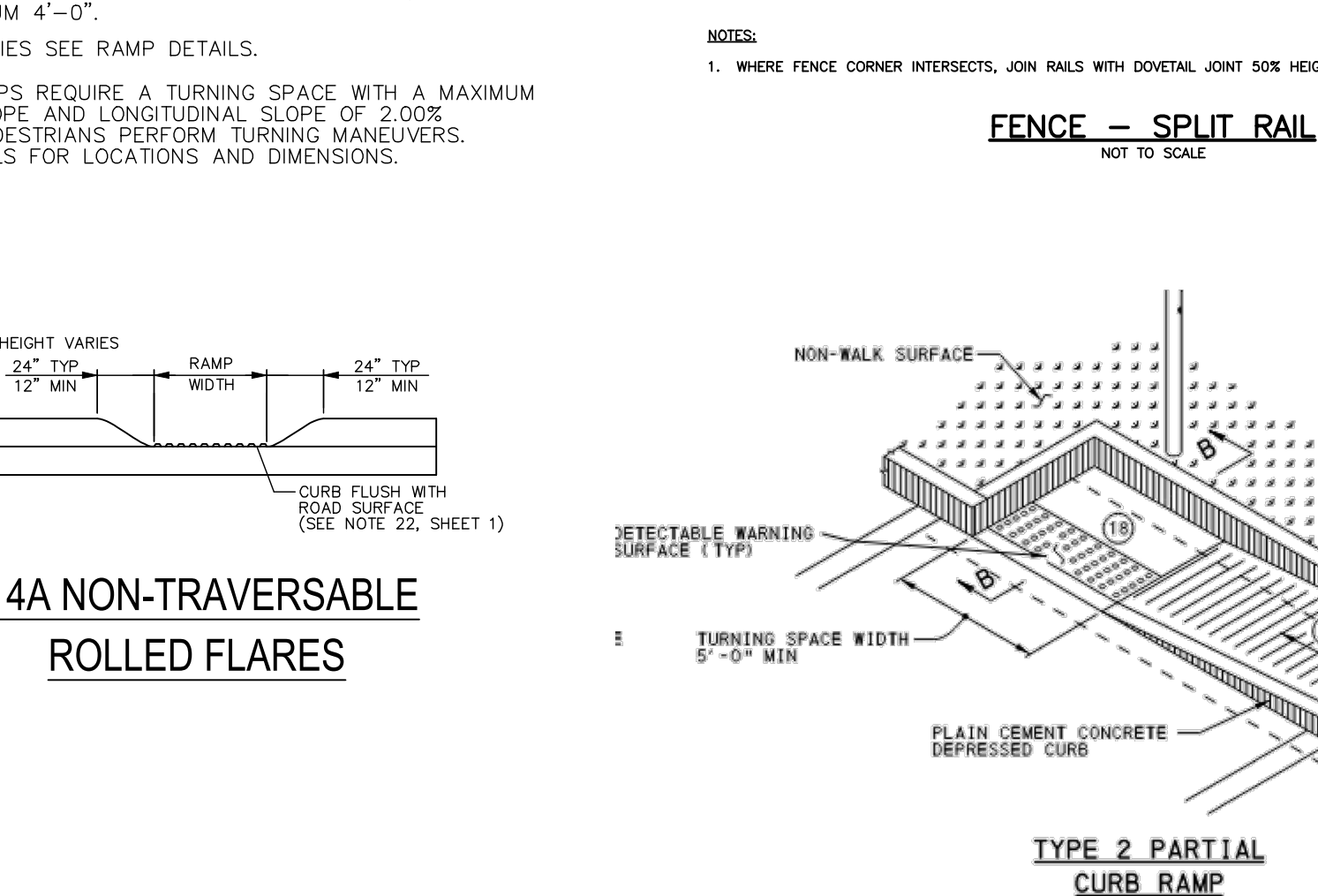
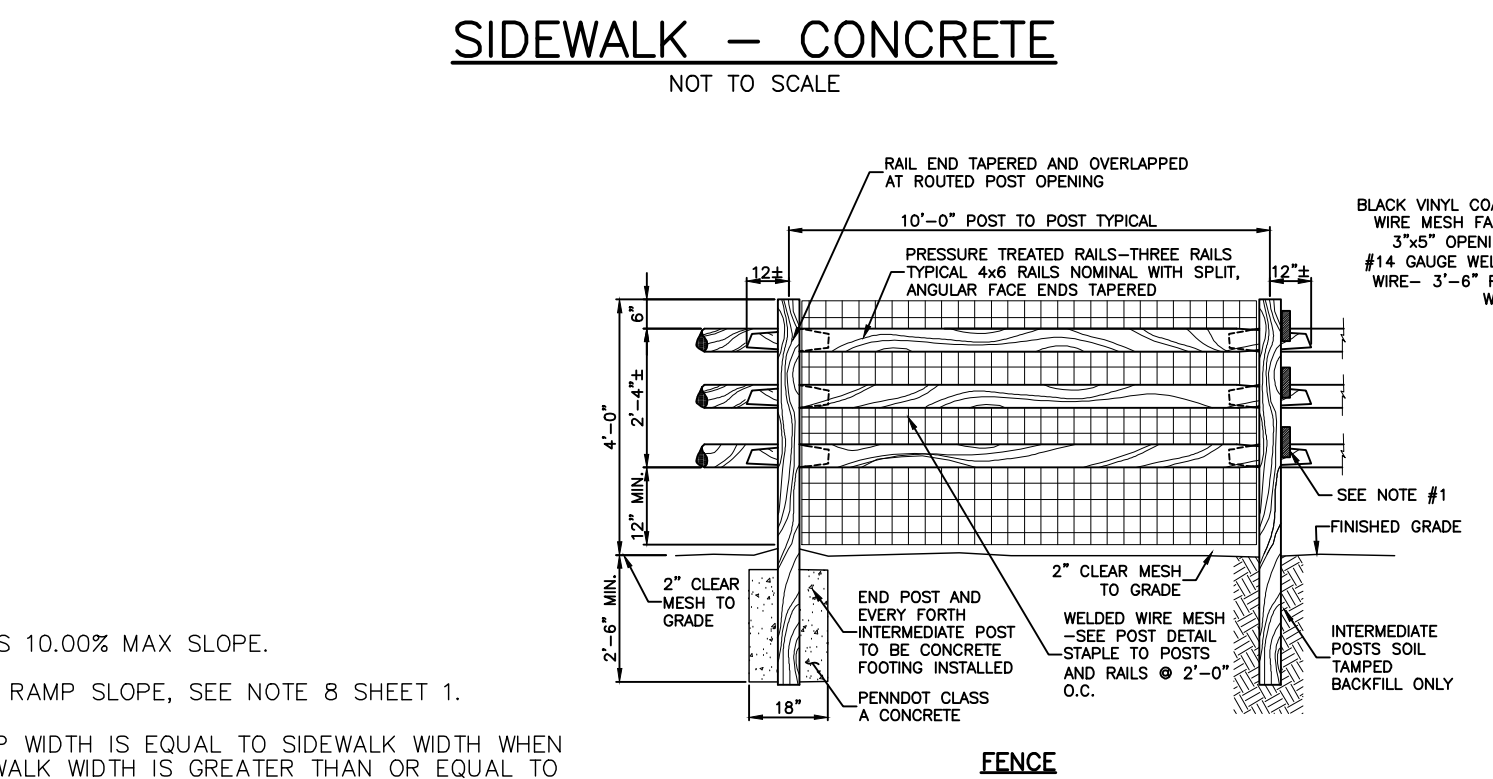
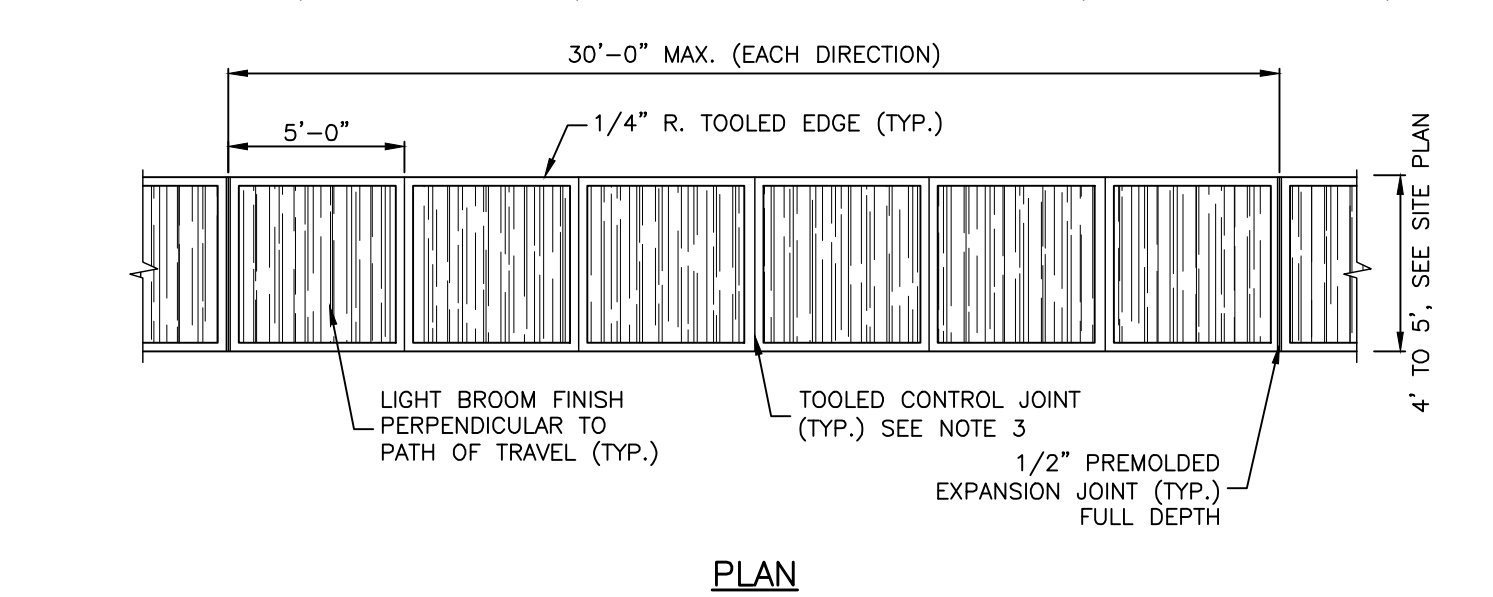
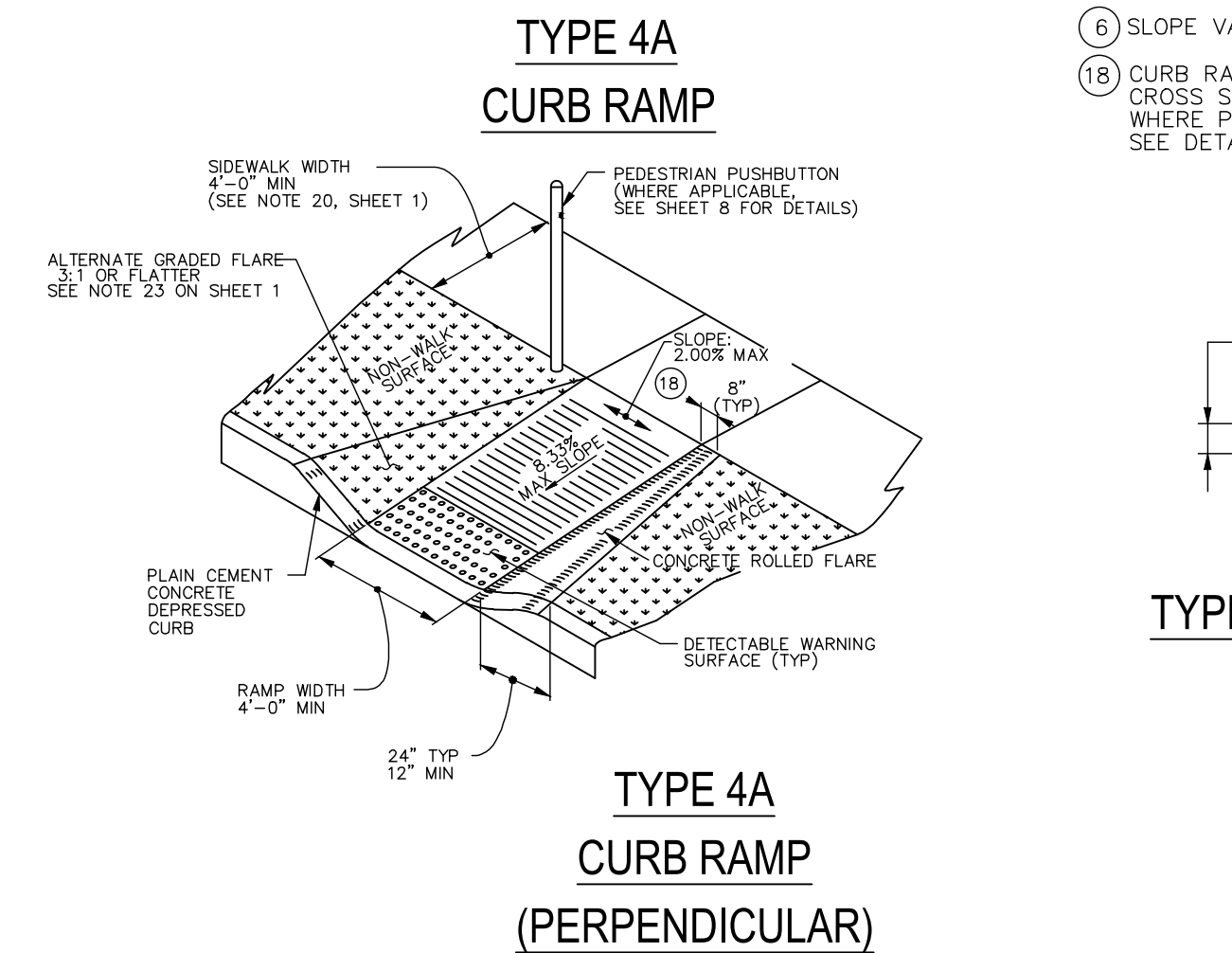
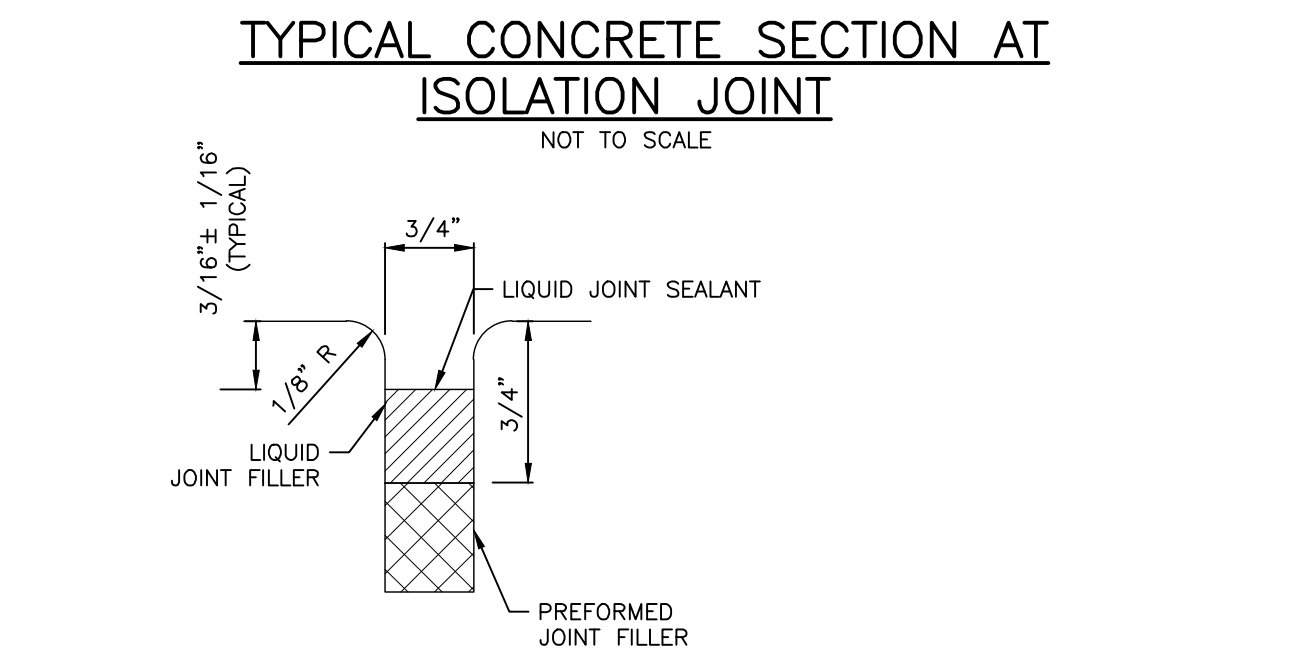
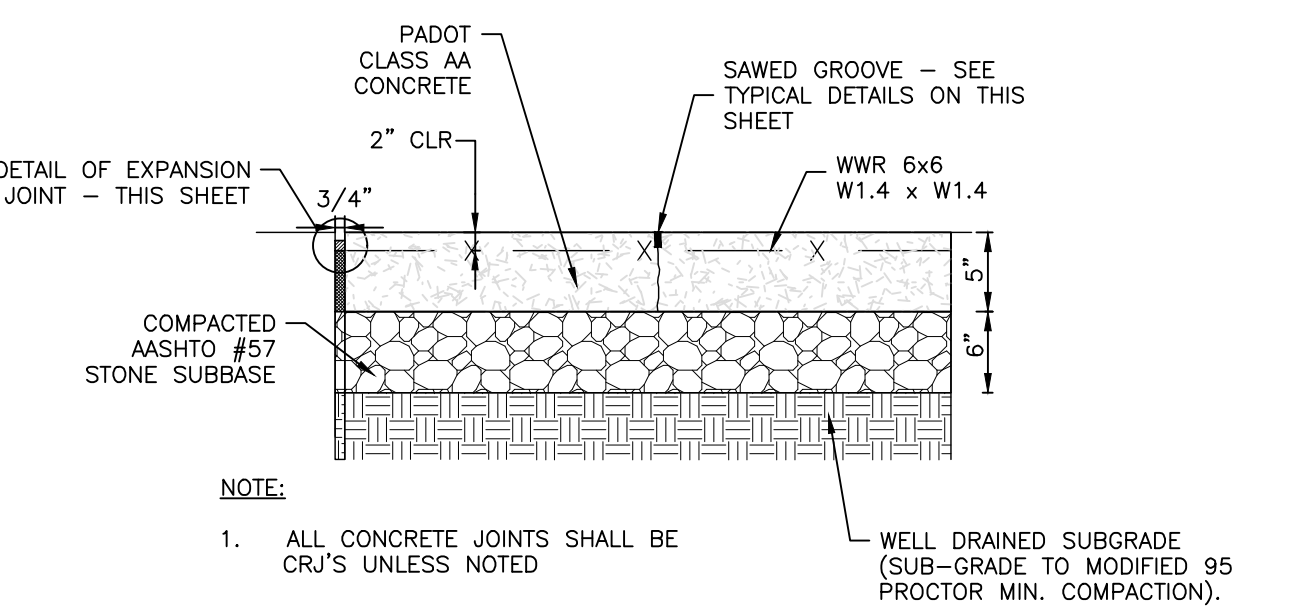
ROAD PROFILE - SOUTH LOOP

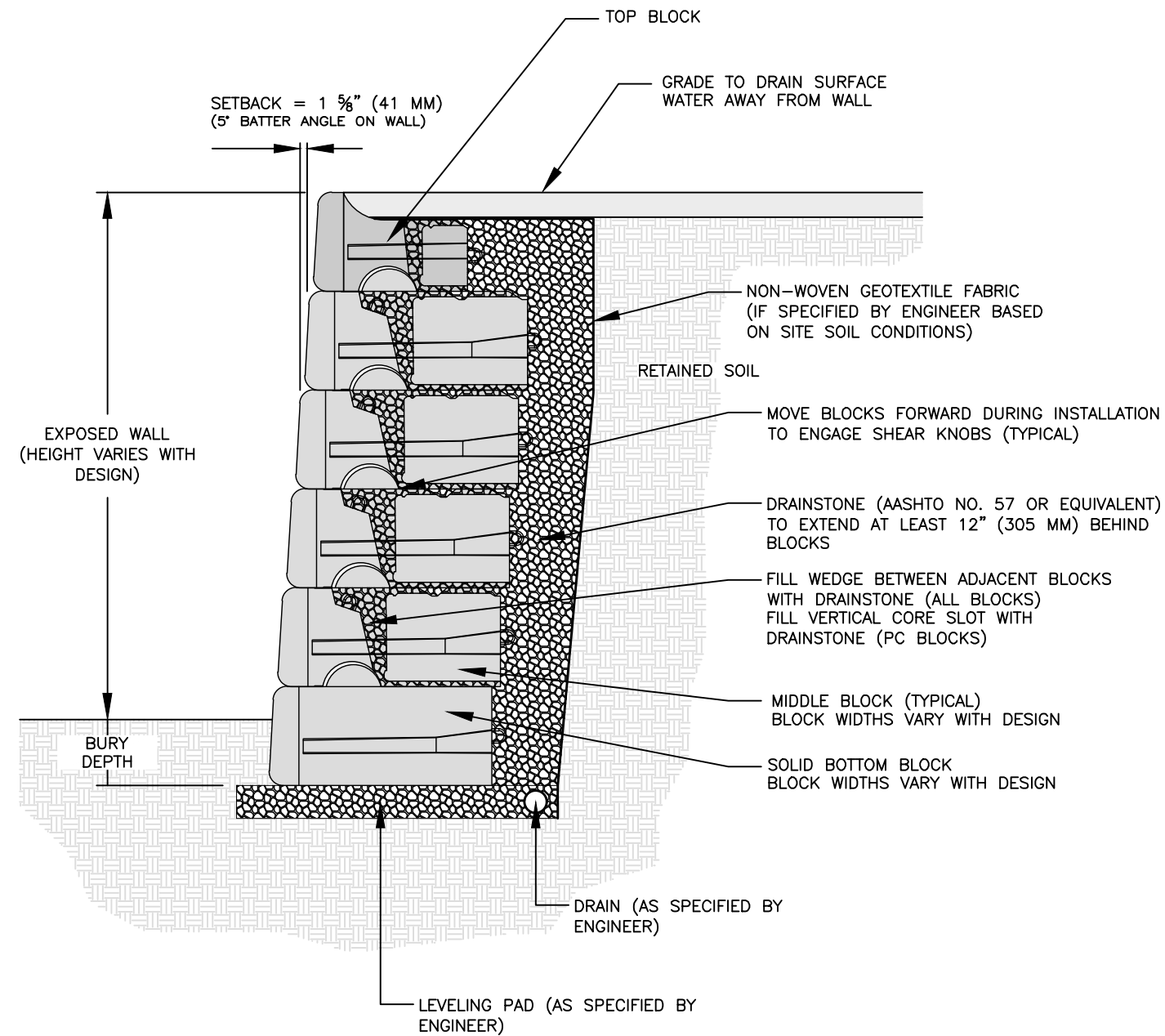


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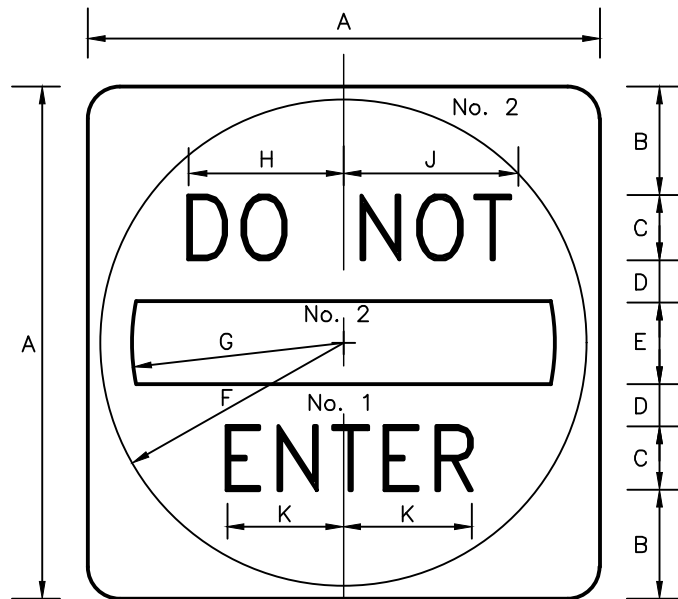


NOTES:

1. GRAVITY BLOCK WALL BY REDI-ROCK OR APPROVED EQUAL MANUFACTURER.
2. COMPLETE DESIGN CALCULATIONS, SHOP DRAWINGS, SPECIFICATIONS, MANUFACTURER AND CONSTRUCTION DETAILS OF THE PROPOSED GRAVITY WALL SYSTEM, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER IN THE STATE OF PENNSYLVANIA, SHALL BE PROVIDED TO AND APPROVED BY THE LOCAL GOVERNING AGENCY PRIOR TO CONSTRUCTION.
3. THE WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, INCLUDING BUT NOT LIMITED TO, AASHTO, MUNICIPAL REGULATIONS, BUILDING CODES, AND THE MANUFACTURER'S SPECIFICATIONS.
4. A GEOTECHNICAL ENGINEER SHALL INSPECT THE CONSTRUCTION OF THE WALLS.

GRAVITY WALL – TYPICAL SECTION

NOT TO SCALE



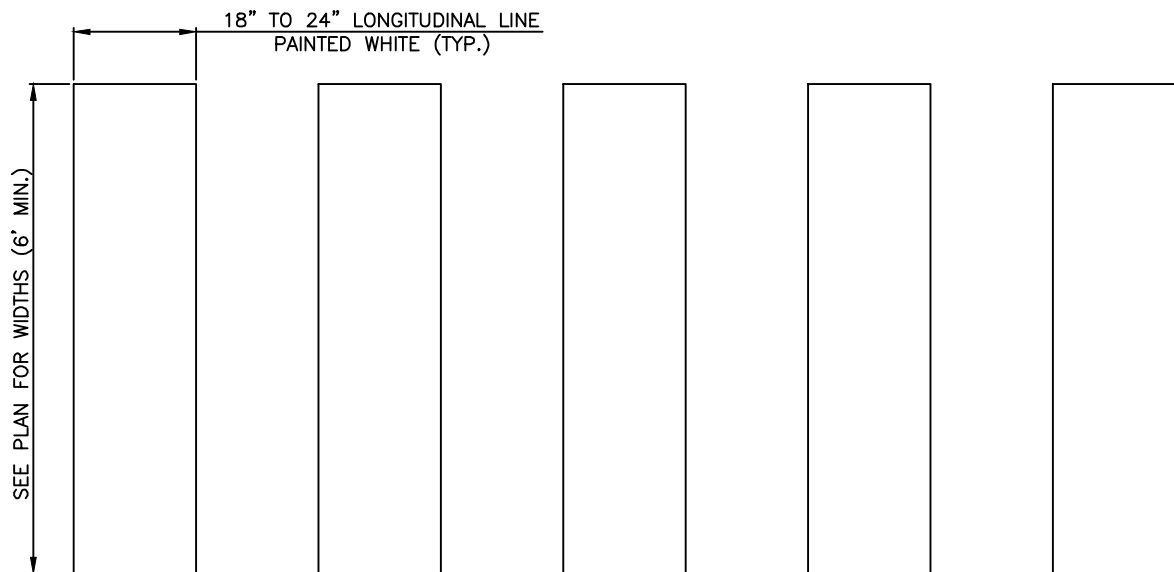
COLOR:
NO.1 – LEGEND – WHITE(REFLECTORIZED)
BACKGROUND – RED(REFLECTORIZED)
NO.2 – BACKGROUND – WHITE(REFLECTORIZED)

SIGN SIZE	DIMENSIONS (INCHES)											SERIES LINES		BLANK STD
	A	B	C	D	E	F	G	H	J	K	1	2		
30x30	30	6 1/2	4	2	5	14 1/2	12 1/2	9 3/4	10	7 7/8	D	D	B3-30	

NOTE:
MOUNTING HEIGHT TO BOTTOM OF SIGN IS 5 FT. UNLESS SIGN IS ADJACENT AND PERPENDICULAR TO SIDEWALK, THEREBY, MOUNTING HEIGHT IS THEN 7 FT TO BOTTOM OF SIGN.

DO NOT ENTER SIGN (PADOT R5–1)

N.T.S.

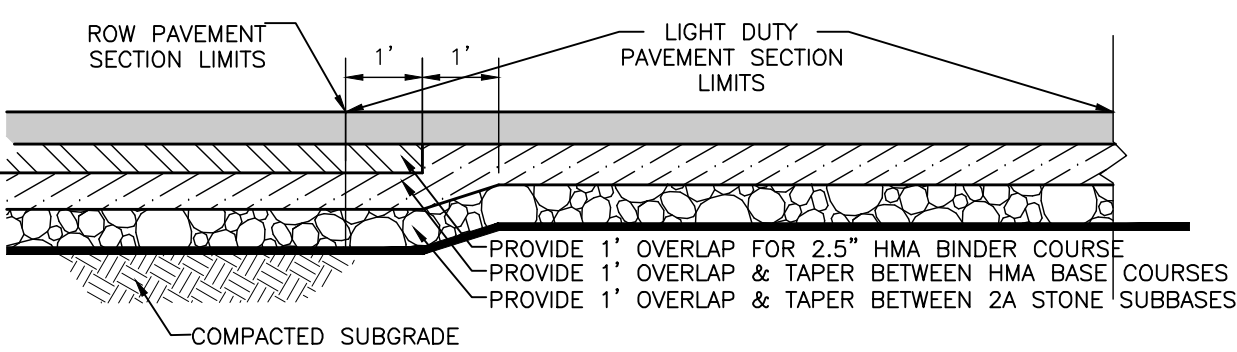


NOTES:

1. THIS TYPE OF MARKING SHOULD BE USED AT LOCATIONS WHERE SUBSTANTIAL NUMBERS OF PEDESTRIANS CROSS WITHOUT ANY OTHER TRAFFIC CONTROL DEVICE. AT LOCATIONS WHERE PHYSICAL CONDITIONS ARE SUCH THAT ADDED VISIBILITY OF THE CROSSWALK IS NECESSARY, OR AT PLACES WHERE PEDESTRIANS MIGHT NOT BE EXPECTED.
2. ALL CROSSWALKS SHALL COMPLY WITH THE FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS AMENDED.
3. ALL LONGITUDINAL LINES SHALL BE PERPENDICULAR TO TRAVELED WAY THE EXTEND ACROSS THE FULL WIDTH OF PAVEMENT OR TO THE EDGE OF THE INTERSECTING CROSSWALK TO DISCOURAGE DIAGONAL WALKING BETWEEN CROSSWALKS.
4. ALL CROSSWALK LONGITUDINAL LINES SHALL BE WHITE THERMOPLAST, ALL LINES AND NEUTRAL AREAS SHALL BE OF EQUAL WIDTHS.
5. WARNING SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH MUTCD, AS AMENDED.
6. THE SPACING OF THE LINES SHALL BE SELECTED TO AVOID THE WHEEL PATH.

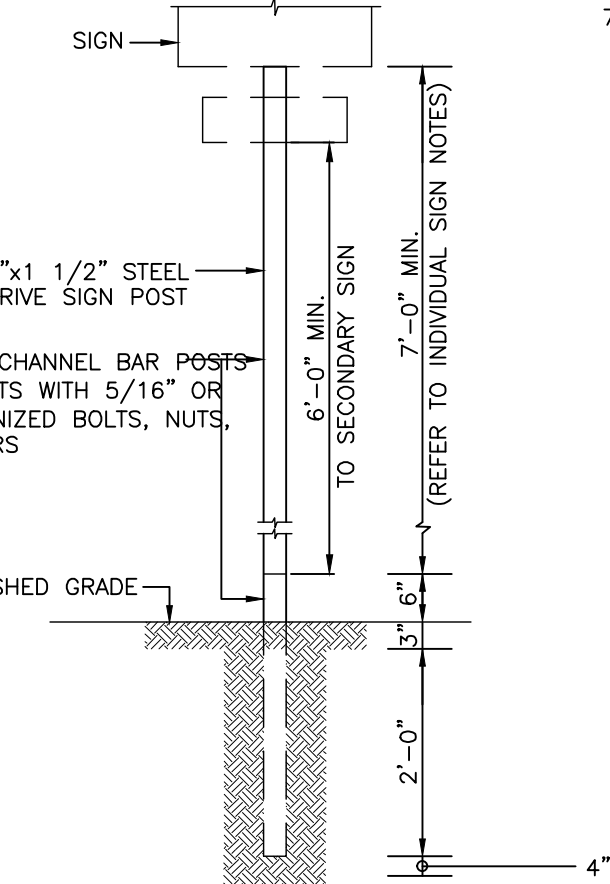
CROSSWALK STRIPING DETAIL

NOT TO SCALE



ROW SECTION – ACCESS DRIVE PAVEMENT MATCH DETAIL

NOT TO SCALE

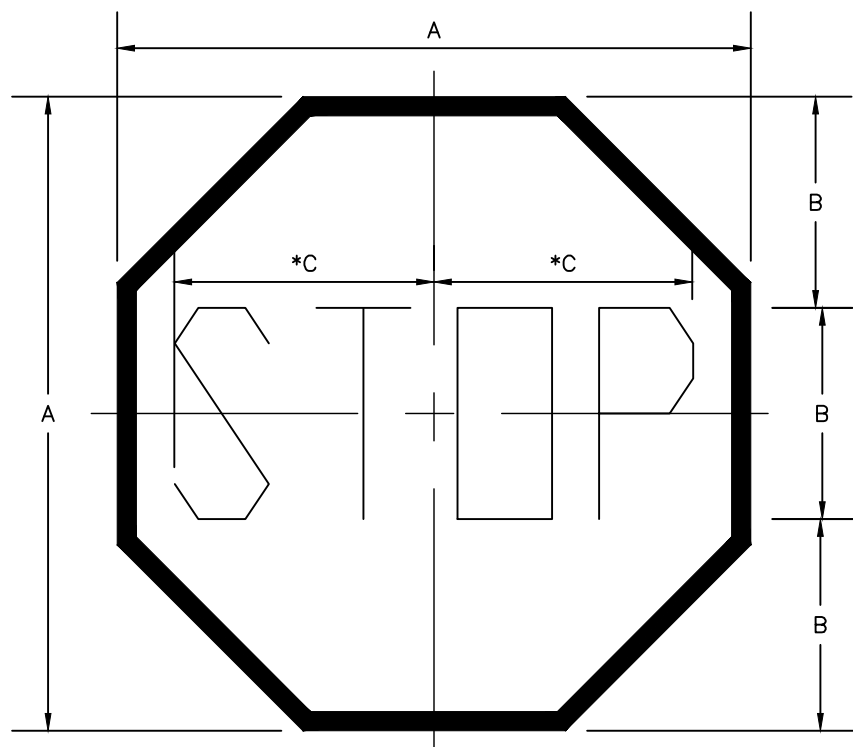


NOTE:

1. POSTS TO BE TYPE "B" BREAKAWAY CHANNEL BAR POSTS. (SEE PENNDOT TRAFFIC CONTROL SIGNING STANDARDS TO C-7000 SERIES FOR INSTALLATION PROCEDURES.)
2. SIGN POST LOCATIONS TO BE SELECTED IN THE FIELD UNDER THE DIRECT SUPERVISION OF THE ENGINEER.

SIGN POST DETAIL

NOT TO SCALE



COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)

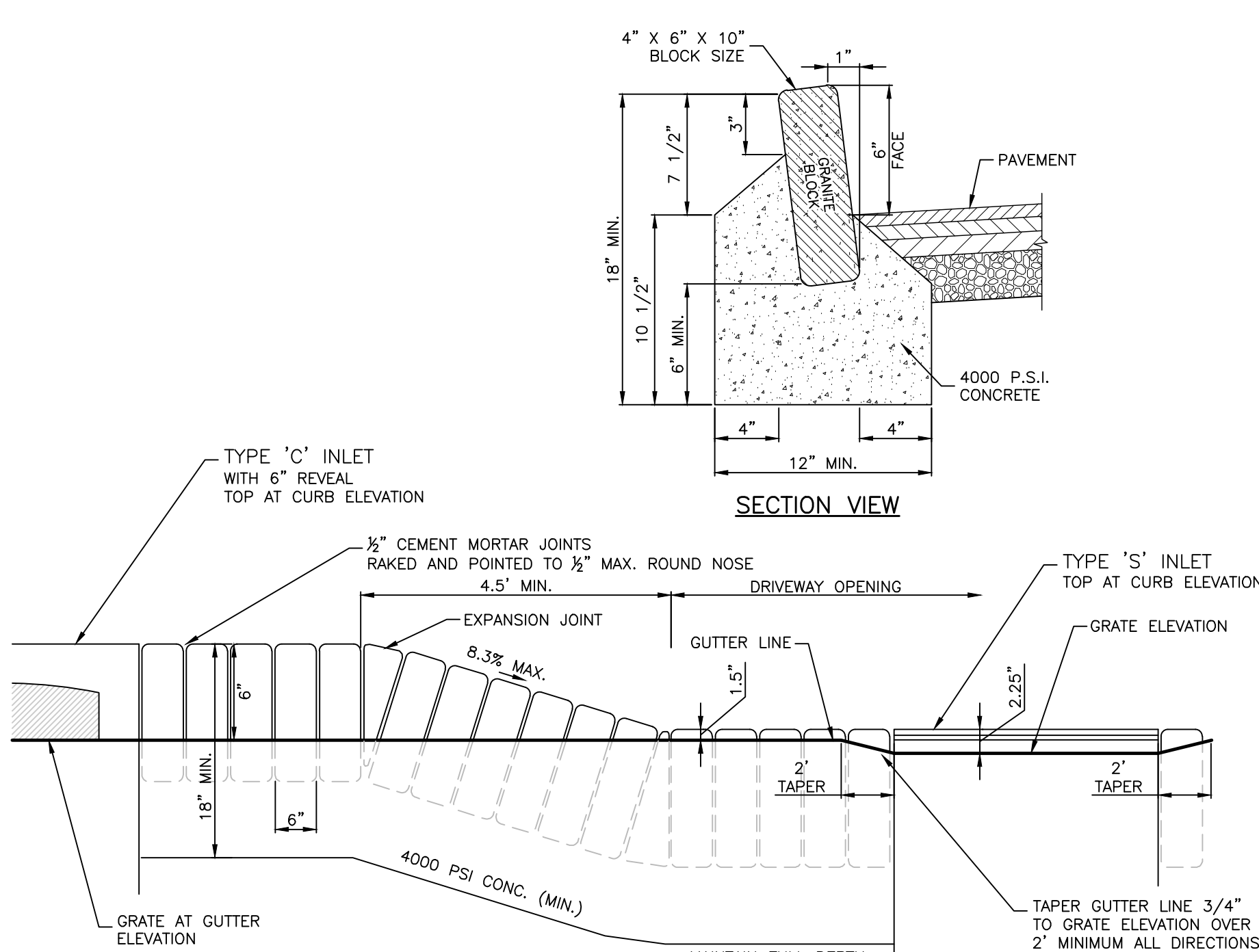
SIGN SIZE	DIMENSIONS				SERIES	BOR-	BLANK
	A	B	C	D			
30x30	30	10	12	2	C	3	B1–30

NOTES:

1. MOUNTING HEIGHT TO BOTTOM OF SIGN SHALL BE 4'–0".
2. TO BE MOUNTED ON BREAKAWAY SIGN POST INSTALLED IN ACCORDANCE WITH PENNDOT PUB. 408, SECTION 931 AND SECTION 1103.08.

STOP SIGN (R1–1) DETAIL

NOT TO SCALE



NOTES:

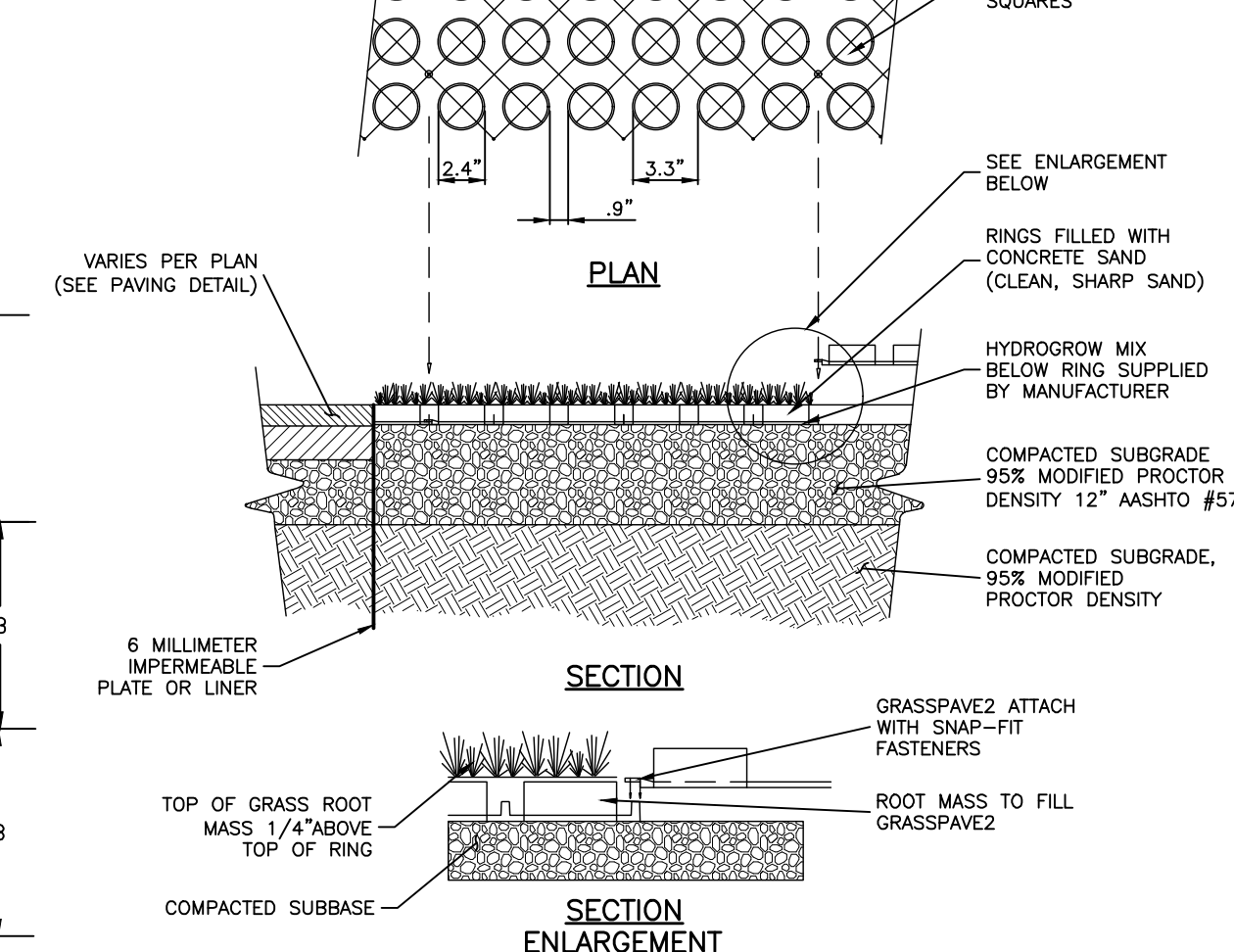
1. BELGIAN BLOCK CURBING SHALL BE SELECTED SO THAT THE BLOCK IS A UNIFORM 4" THICKNESS THROUGHOUT THE SITE.
2. JOINTS WHERE BELGIAN BLOCK CURBING ABUT WITH SOLDIER COURSE PAVEMENT SHALL BE FILLED WITH A MIXTURE OF PORTLAND CEMENT MIXED WITH WHITE SAND (1:1).
3. MORTAR JOINTS BETWEEN BELGIAN BLOCK SHALL BE NO GREATER THAN 1/2" IN WIDTH.
4. JOINTS ARE TO BE GROUTED USING BAKER'S BAG OR SIMILAR AND TOOL STRUCK.
5. JOINTS ARE TO BE TOOL STRUCK WITH 1/4" (MAX.) RODDED FINISH. EXCESS GROUT SHALL BE REMOVED SO THAT JOINT HAS SMOOTH FINISH.
6. BELGIAN CURB TRANSITION AT P.C. OR P.T. INCREASE ANGLE OF GRANITE BLOCK IN EVEN INCREMENTS BEGINNING WITH 11± DEGREES AND ULTIMATELY REACHING 90 DEGREES.
7. STORM INLETS IN FULL HEIGHT AREAS TO UTILIZE 6" HIGH REVEAL MODIFIED TYPE "C" HOOD. STORM INLETS ALONG DEPRESSED AREAS TO UTILIZE PADOT TYPE "S" HOOD.

CURB – GRANITE – BELGIAN

NOT TO SCALE

SPECIFICATIONS:

UNIT SIZE – 20" X 20" X 1"
AVAILABLE IN 9 STANDARD ROLL SIZES
UNIT WEIGHT – 510 GRAMS (18 OZ.) OR 2.0 KG (4.5 POUNDS)
STRENGTH – 402 KG/CM² (5720 PSI)
COLOR – BLACK (STANDARD)
RESIN – HOPE (WITH SOME POST-CONSUMER RECYCLED CONTENT)

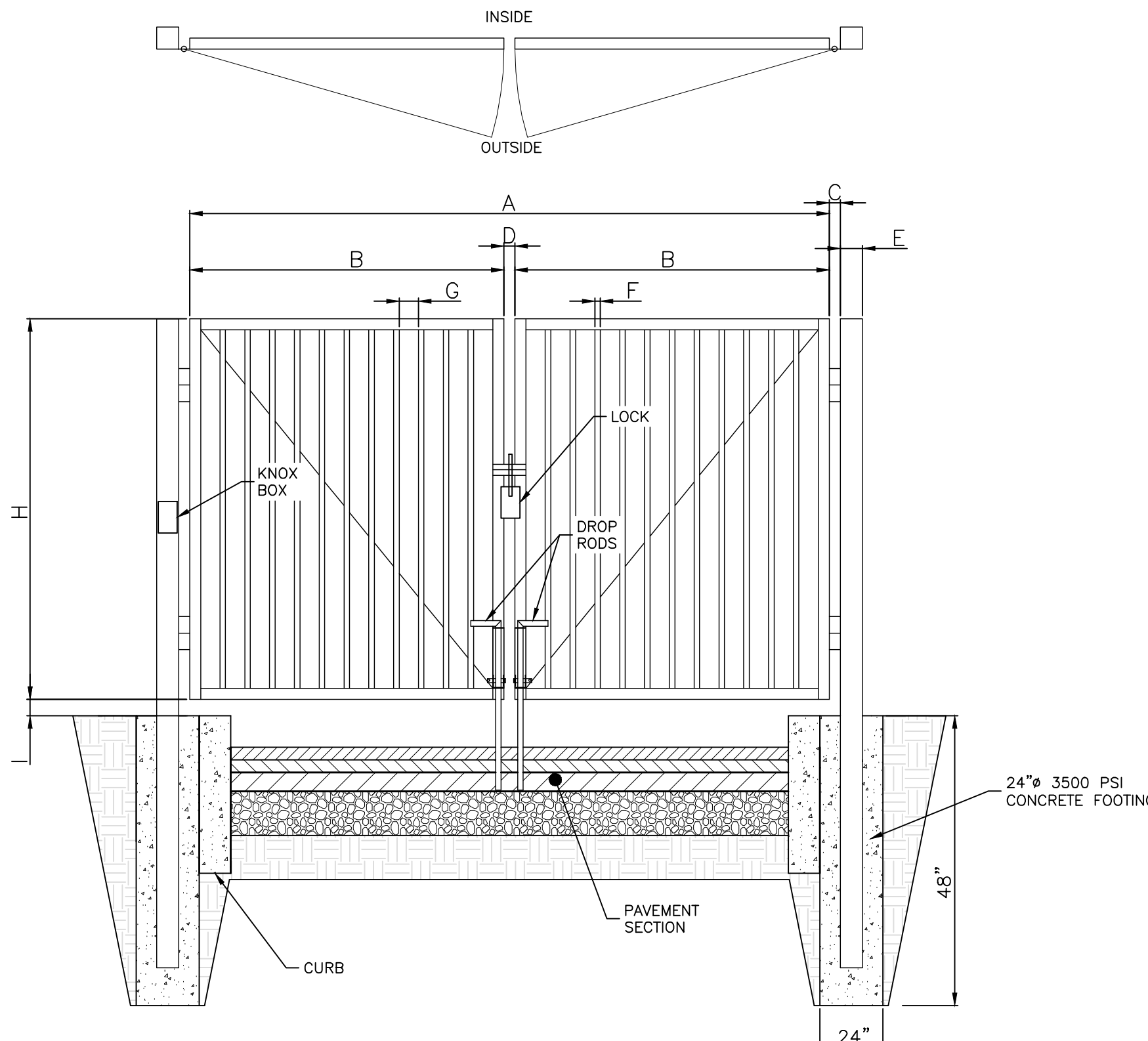


NOTE:

1. GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.
2. PER MANUFACTURER'S SPECIFICATIONS AND LAB TEST RESULTS, GRASSPAVE2 IS CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
3. INSTALL GRASSPAVE2 PAVERS PER MANUFACTURER'S SPECIFICATIONS.
4. AS MANUFACTURED BY INVISIBLE STRUCTURES, INC. 1600 JACKSON ST., STE. 310 GOLDEN, COLORADO 80401. 800-233-1510 OR 303-233-8383. FAX: 800-233-1522 OR 303-233-8282. www.invisiblestructures.com OR APPROVED EQUAL.

TURF REINFORCEMENT DETAIL
GRASSPAVE2 (OR APPROVED EQUAL)

NOT TO SCALE

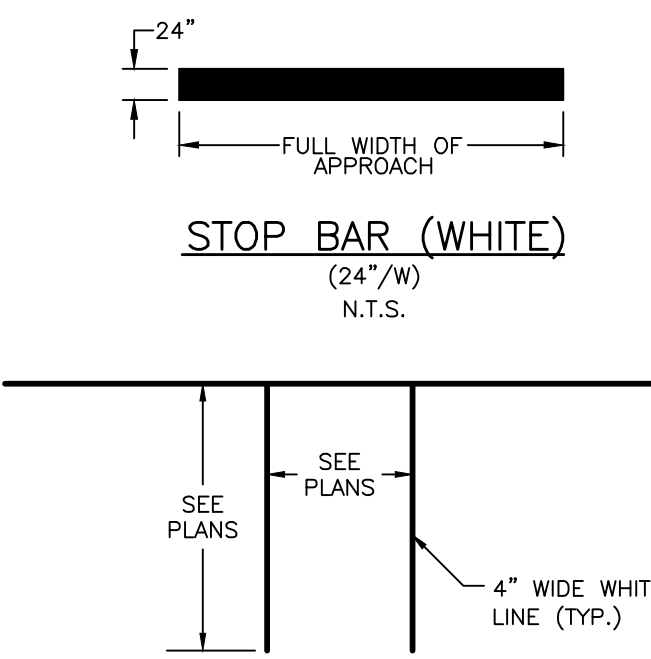


NOTES:

1. ORNAMENTAL STEEL FENCE BY AMERICAN FENCE COMPANY OR APPROVED EQUAL.
2. COLOR: BLACK
3. "A" INSIDE TO INSIDE CLEAR OPENING: 22 FT
4. "B" LEAF WIDTH: 10.75 FT
5. "C" HINGE GAP: 2 IN
6. "D" LATCH GAP: 2 IN
7. "E" POST SIZE: 4 IN X 4 IN X 0.125 IN WALL
8. "F" PICKET SIZE: 1 IN X 1 IN X 0.062 IN WALL
9. "G" PICKET INSIDE TO INSIDE SPACING: 3.75 IN
10. "H" GATE LEAF HEIGHT: 4 FT
11. "I" CLEARANCE GAP: 3 IN
12. GATE SWING: OUTSIDE
13. PROVIDE CONCRETE FOOTING AS SHOWN FOR GATE POSTS
14. PROVIDE LOCK AND KNOX BOX FOR EMERGENCY ACCESS. PROVIDE DROP RODS THAT SECURE TO GATE LEAF IN UP POSITION.

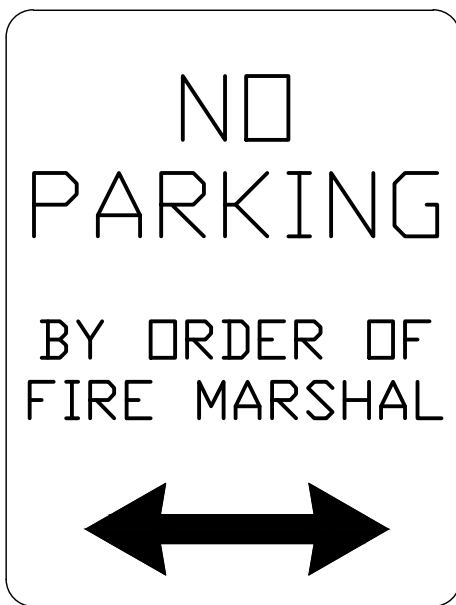
ORNAMENTAL STEEL DRIVEWAY GATE

NOT TO SCALE



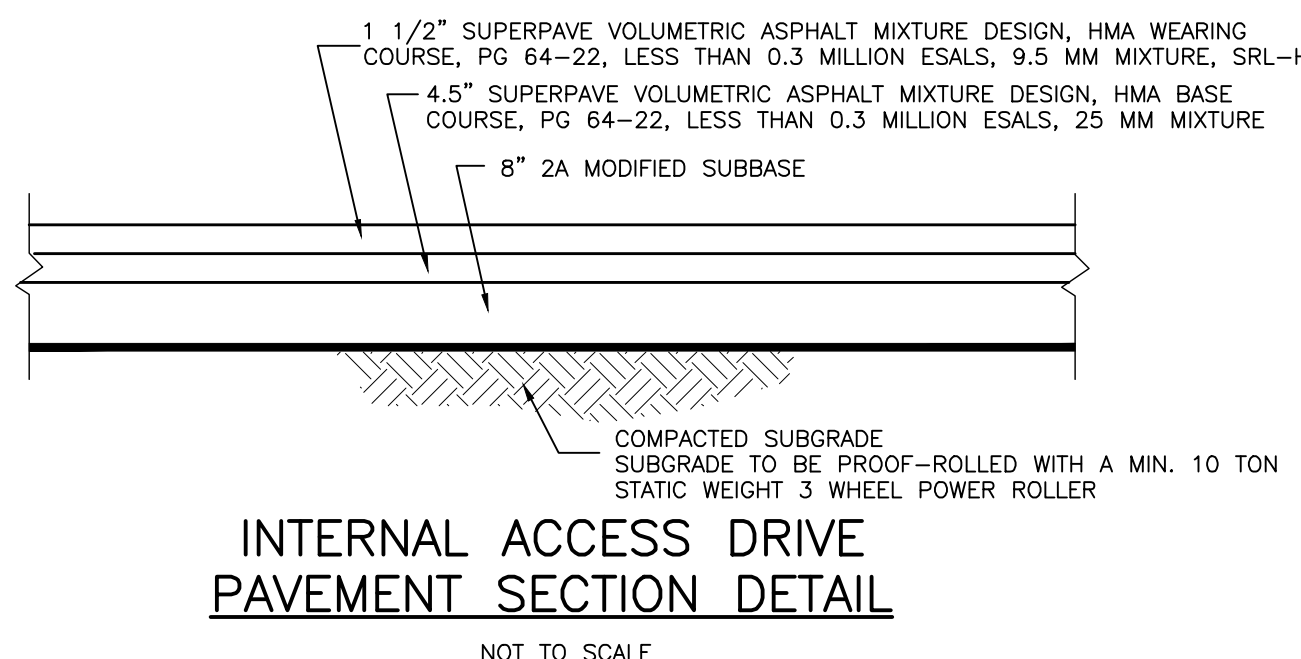
PARKING SPACE LAYOUT

NOT TO SCALE

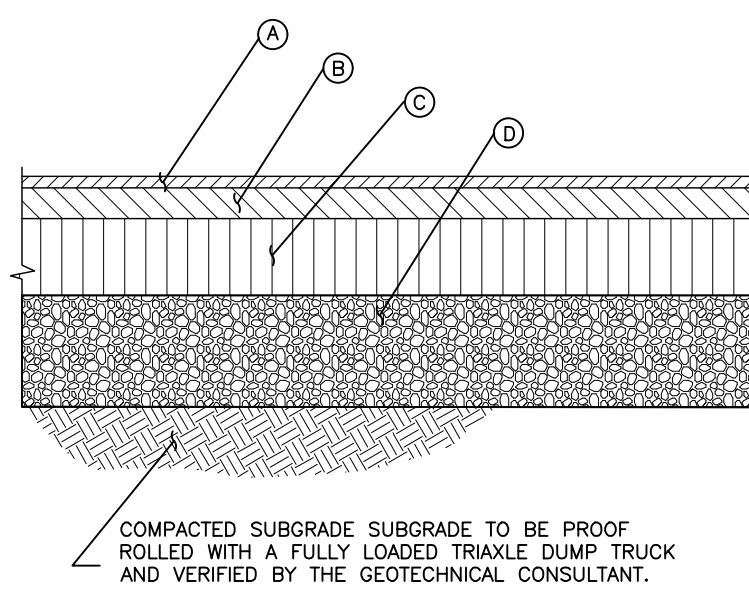


NO PARKING SIGN
(R7–6–9–FM)

OR EQUAL
NOT TO SCALE



NOT TO SCALE



NOTES:

1. SEE PAVEMENT LEGEND FOR DESCRIPTIONS OF A, B, C, & D.

PUBLIC RIGHT-OF-WAY PAVEMENT SECTION DETAIL

NOT TO SCALE

PENNDOT PAVING SECTION:

- ① 1.5" SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 645–22, 10 TO <30 MILLION ESALS, 9.5 MM MIXTURE, SRL–E
- ② 2.5" SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 645–22, 10 TO <30.0 MILLION ESALS, 19.0 MM MIXTURE
- ③ 10" SUPERPAVE ASPHALT MIXTURE DESIGN, PG 64–22 BASE COURSE, 25.0 MM, 0–0.3 MILLION ESALS
- ④ 8" SUBBASE (PENNDOT NO. 2A)

PAVEMENT LEGEND – PENNDOT

NOT TO SCALE

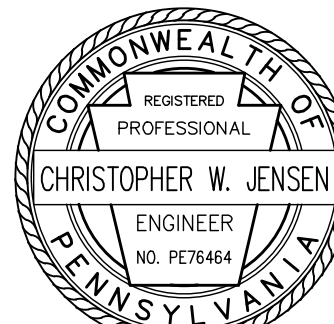


ATTENTION: ALL CONTRACTORS/ENGINEERS OF ALL EXISTING UTILITIES (UNDERGROUND OR SURFACE) SHALL BE LOCATED PRIOR TO THE START OF WORK. THE ENGINEER HAS DEVELOPED THIS DESIGN BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER DOES NOT WARRANT THE COMPLETENESS OR ACCURACY OF THIS DESIGN OR THE LOCATION OF UNDERGROUND UTILITIES OR SURFACE CONDITIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE LOCATION OF UNDERGROUND UTILITIES AND FOR THE LOCATION OF SURFACE CONDITIONS. THE ENGINEER HAS DEVELOPED THIS DESIGN BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER DOES NOT WARRANT THE COMPLETENESS OR ACCURACY OF THIS DESIGN OR THE LOCATION OF UNDERGROUND UTILITIES OR SURFACE CONDITIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE LOCATION OF UNDERGROUND UTILITIES AND FOR THE LOCATION OF SURFACE CONDITIONS.

20243371817

NO.	DATE	REVISIONS	BY	CHKD
1	01/24/25	REVISED FOR 44 INCHES SUBMISSION	JPK	ZHR
2	02/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	ZHR
3	03/26/25	REVISED FOR TOWNSHIP COMMENTS	BGS	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

CONSTRUCTION SITE DETAILS–2



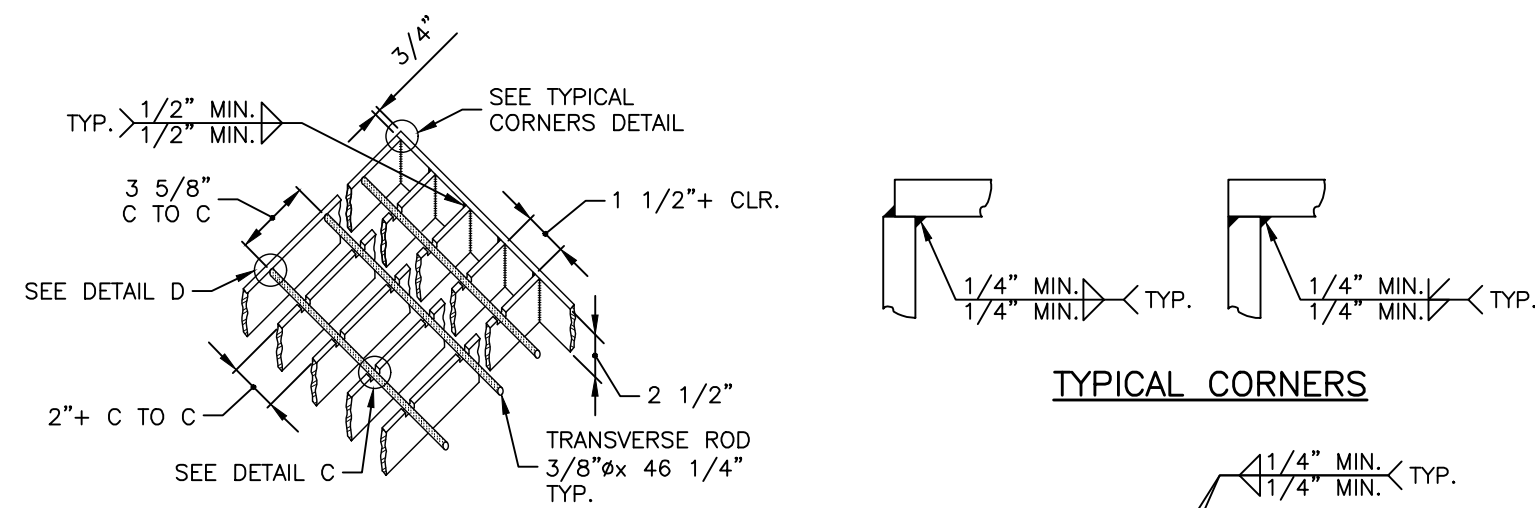
1700 MARKET STREET, SUITE 3110
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

OFFICES LOCATED IN:
CALIFORNIA, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

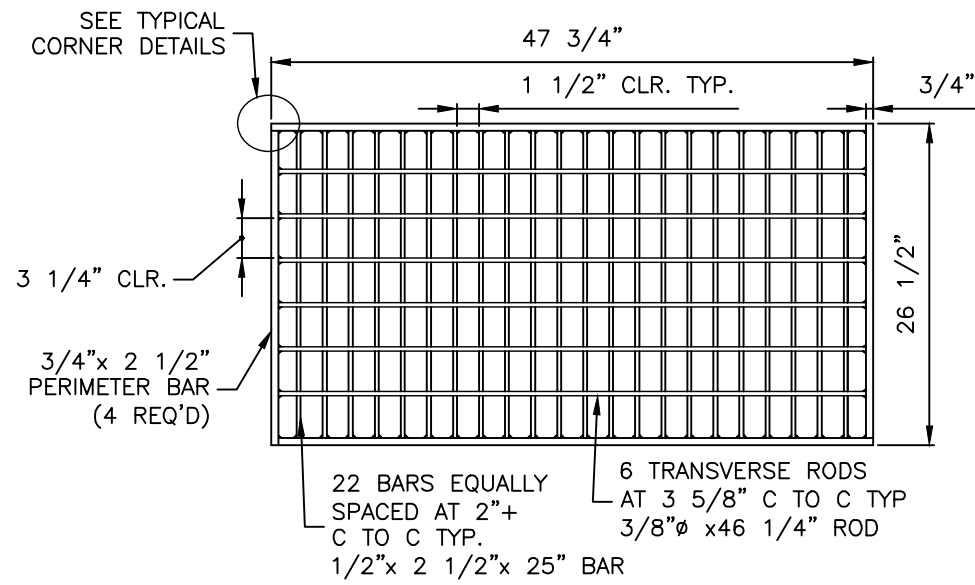
DESIGNED BY JPK/CKS/CMR/ROP/ZHR	CHECKED BY BGS/ZHR	DRAWING CSD–2
DRAWN BY SCR/CKS/RAM	SHEET 27	OF 46
DATE 12/19/2024	SCALE AS NOTED	PROJ. NO. WDEV00004

PROJECT INFORMATION: G:\Projects\DEV\00004A Plans\ FILE PATH: G:\Projects\DEV\00004A Plans\ FILE NAME: WDV00004A-DTL.dwg DATE: 03 Apr 2025, 5:03PM LAST SAVE BY: Csapozello

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BAR AND ROD SPACER



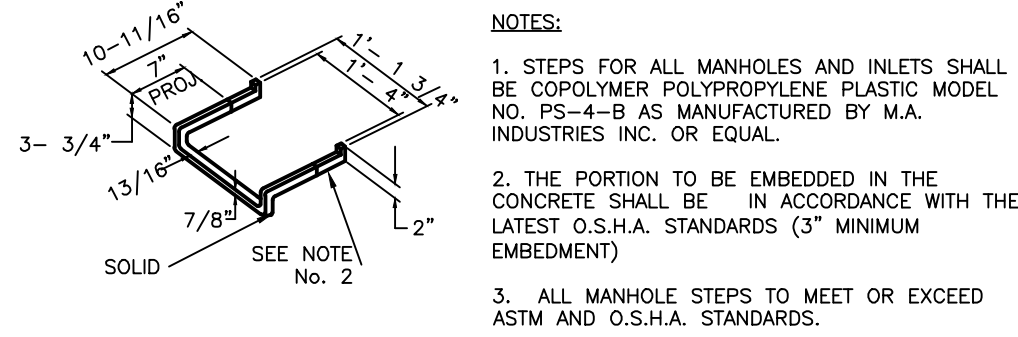
STRUCTURAL STEEL GRATE-BICYCLE SAFE

NOTES:

1. ALL MATERIALS AND CONSTRUCTION METHODS TO MEET THE REQUIREMENTS OF PENNDOT PUBLICATION 408 AND 72-M (RC-34M), LATEST REVISION.

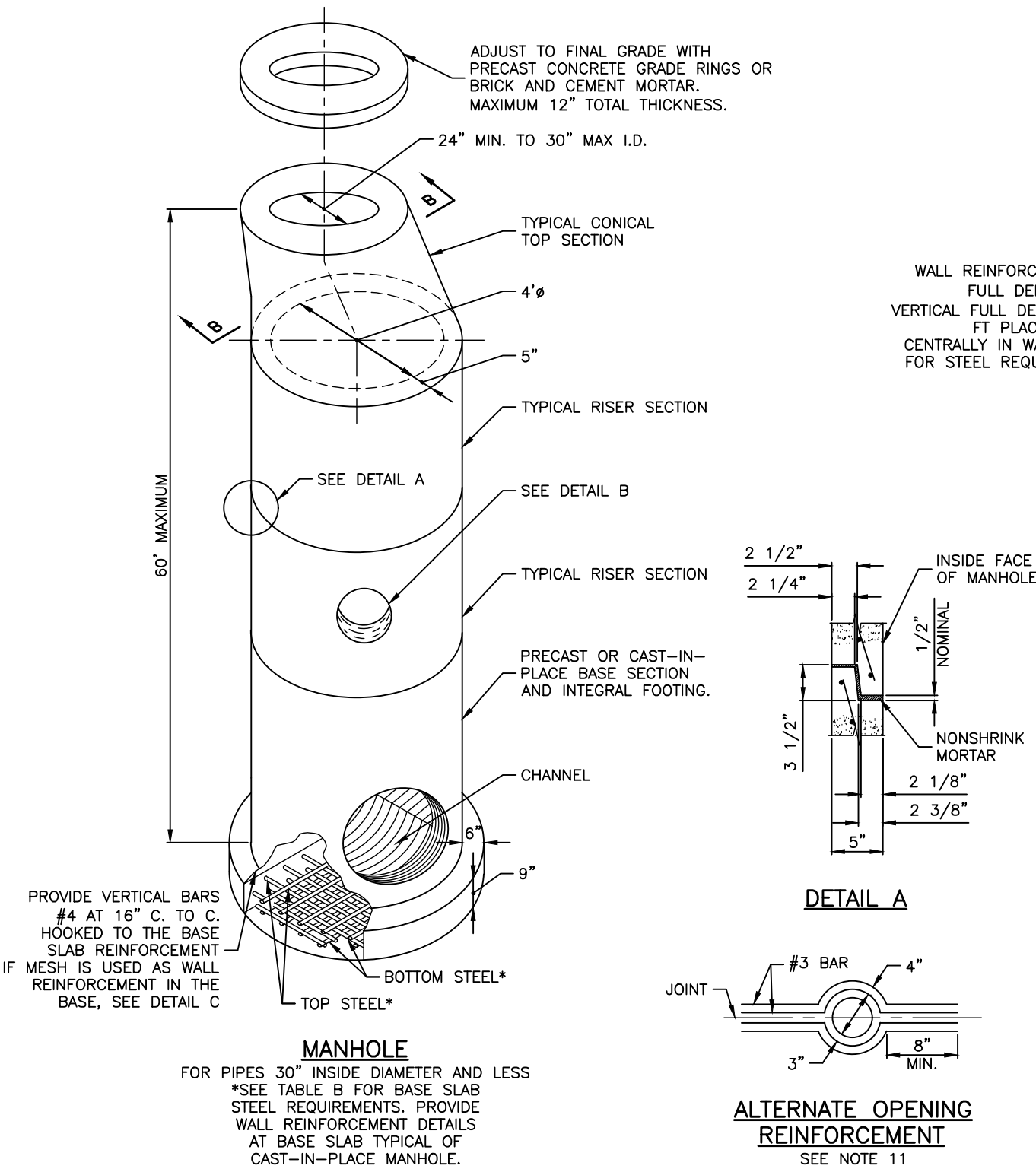
STRUCTURAL STEEL GRATE (BICYCLE SAFE)

NOT TO SCALE



MANHOLE/INLET STEP DETAIL

N.T.S.



MANHOLE (PRECAST)

NOT TO SCALE

ALTERNATE OPENING REINFORCEMENT
SEE NOTE 11

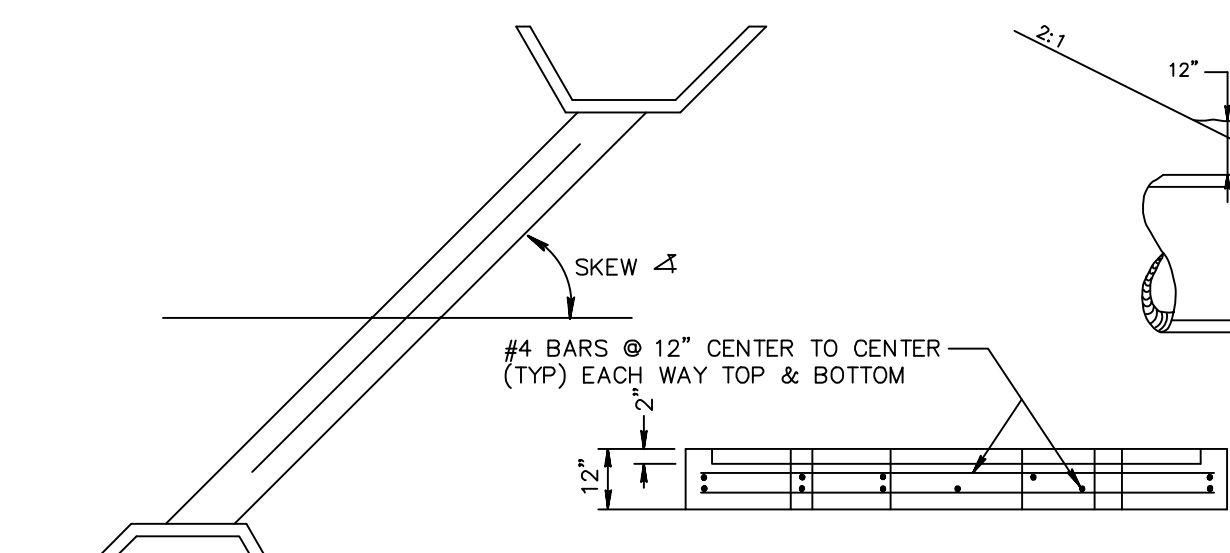
NOTES:

1. PRECAST MANHOLES MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 714, MAY BE SUBSTITUTED FOR THE STANDARD CAST-IN-PLACE MANHOLE. FOR DEVIATION OR MODIFICATION OF THE STANDARDS, SUBMIT SHOP DRAWINGS FOR APPROVAL.
2. FOR RISERS OR BASE SECTIONS WITH OPENINGS, PROVIDE A MINIMUM HEIGHT OF SECTION SO AS TO PROVIDE AN UNCUT WALL EQUAL TO 20% OF THE OPENING, BUT NO LESS THAN 6" BETWEEN THE OPENING AND THE CLOSEST JOINT BETWEEN RISERS - SEE DETAIL B.
3. FOR PRECAST RISER OR BASE SECTIONS WITH ONE OPENING LOCATED AT DEPTHS TO 60", PROVIDE CIRCUMFERENTIAL REINFORCEMENT IN ACCORDANCE WITH SECTION B-B. FOR SECTIONS WITH TWO OR MORE OPENINGS, LOCATED AT DEPTH OF 10' AND LESS, PROVIDE CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.16 IN²/VERTICAL FT. FOR THE HEIGHT OF RISER OR BASE SECTION.
4. FOR RISERS OR BASE SECTIONS WITH TWO OR MORE OPENINGS, LOCATED AT A DEPTH GREATER THAN 10', BUT LESS THAN OR EQUAL TO 25', PROVIDE CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.44 IN²/VERTICAL FT. FOR THE HEIGHT OF THE RISER OR BASE SECTION.
5. FOR RISERS OR BASE SECTIONS WITH TWO OR MORE OPENINGS, LOCATED AT DEPTHS GREATER THAN 25', USE A 10" THICK WALL RISER OR BASE SECTION WITH CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.22 IN²/VERTICAL FT. EACH FACE.
6. MARK RISERS OR BASE SECTIONS WITH HOLES CLEARLY WITH MAXIMUM ALLOWABLE DEPTH.
7. PROVIDE ADDITIONAL REINFORCEMENT BARS AROUND OPENINGS AS SHOWN ON REINFORCEMENT DETAILS AT OPENINGS.
8. PROVIDE MANHOLE STEPS MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 605.2(c). ALTERNATE CONFIGURATIONS AND DIMENSIONS, AS APPROVED BY THE ENGINEER, MAY BE USED.
9. PROVIDE MINIMUM 1" SECTION DIMENSION FOR METAL STEPS. PROVIDE MINIMUM 3/4" SECTION DIMENSION FOR NON-DETERIORATING MATERIAL STEPS.
10. MECHANICAL ANCHOR REQUIRED FOR INSTALLATION OF STEPS WITHOUT HOOKS.
11. THE ALTERNATE OPENING REINFORCEMENT DETAIL IS NOT DESIRABLE BY DESIGN. USE IT TO MEET EXISTING PIPE ELEVATIONS.

MANHOLE (PRECAST)

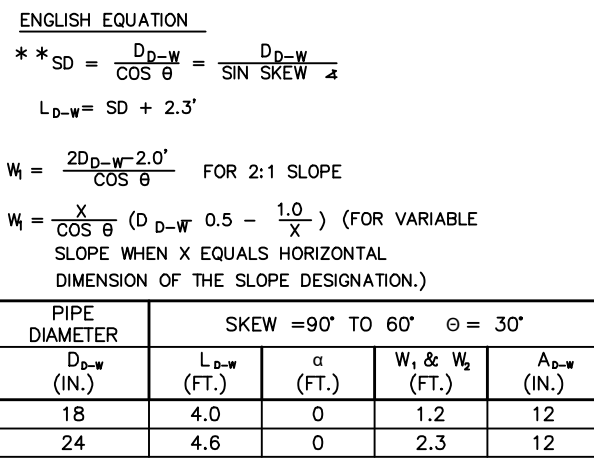
NOT TO SCALE

ALTERNATE OPENING REINFORCEMENT
SEE NOTE 11



FRONT ELEVATION VIEW

BASE SECTION FOR TYPE D-W
N.T.S.



FOR 2:1 SLOPE
W = (20 * W * 2.0') / (COS theta * 0.5 - (1/X)) (FOR VARIABLE SLOPE WHEN X EQUALS HORIZONTAL DIMENSION OF THE SLOPE DESIGNATION.)

PIPE DIAMETER	SKEW = 90° TO 60°	theta = 30°	
Dp (IN.)	Lp (FT.)	W & Wp (FT.)	As (IN.)
18	4.0	0	1.2
24	4.6	0	2.3

FRONT ELEVATION VIEW

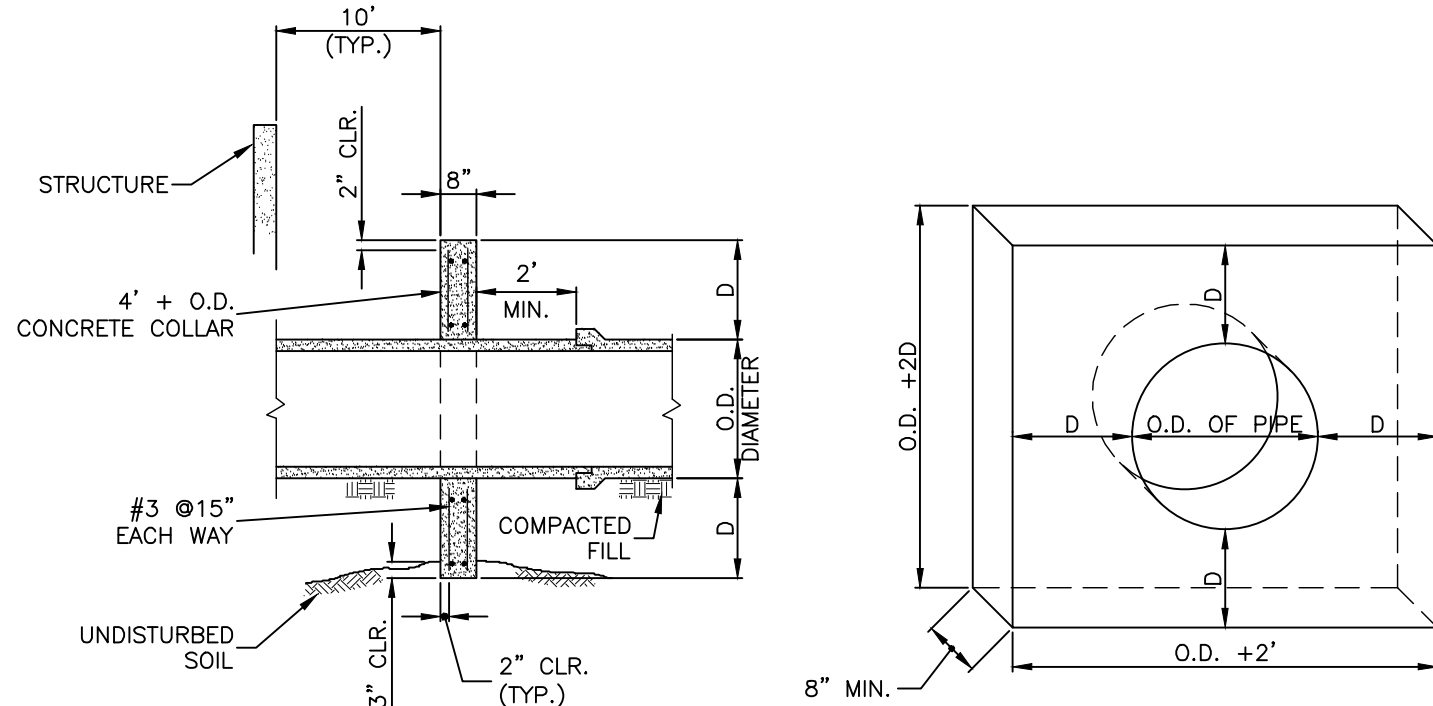
HEAD & WINGWALL SECTION
FOR TYPE D-W
N.T.S.

NOTES:

1. ALL MATERIALS AND CONSTRUCTION METHODS TO MEET THE REQUIREMENTS OF PENNDOT PUBLICATION 408 AND 72-M (RC-31M), LATEST REVISION.
2. CHILD SAFETY GRATES SHALL BE PROVIDED ON ALL ENDWALLS.

TYPE D-W ENDWALL

N.T.S.



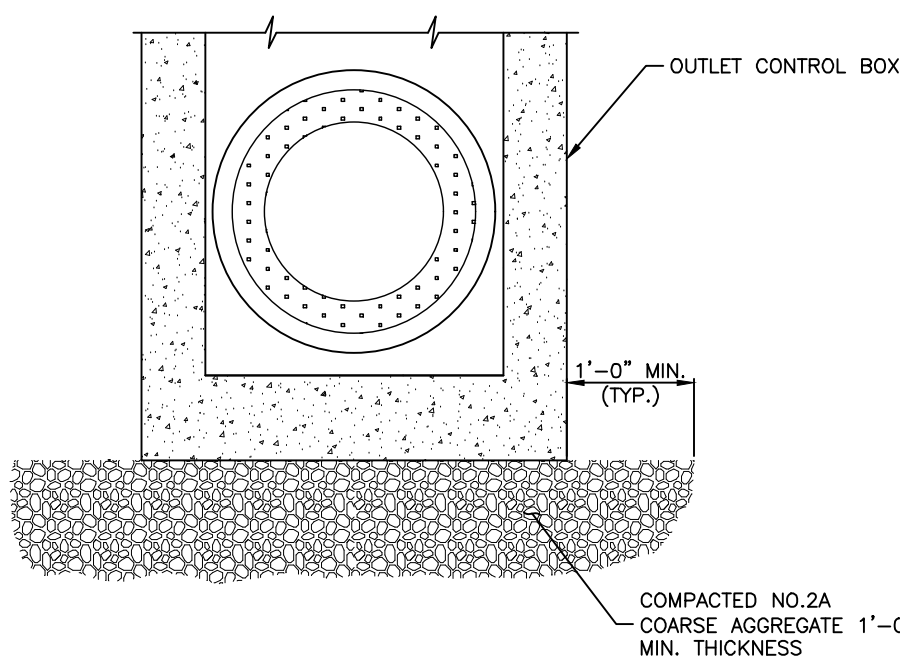
SECTION VIEW

NOTES:

1. USE PENNDOT CLASS A CONCRETE.
2. MAINTAIN A MINIMUM 6" COVER OVER ANTI-SEEP COLLAR.
3. THE CONNECTION OF ANTI-SEEP COLLARS TO OUTLET PIPES SHALL BE WATERTIGHT.
4. O-RING GASKETS SHALL BE USED ON BASIN DISCHARGE PIPES THROUGH BERM AREAS.
5. MAXIMUM SPACING OF ANTI-SEEP COLLARS THROUGH BERM AREAS SHALL BE 40 FEET.
6. MINIMUM REINFORCEMENT SHALL BE PROVIDED USING #3 BARS @ 1'-5" HORIZONTAL AND VERTICAL SPACING.
7. PRECAST ANTI-SEEP COLLARS SHALL NOT BE USED IN PLACE OF CAST-IN-PLACE COLLARS.
8. A QUALITY NON-SHRINK GROUT MATERIAL SHALL BE USED TO SEAL THE ANNULAR SPACE BETWEEN THE COLLAR AND THE PIPE SURFACE. THE GROUT SHALL BE INSTALLED FOR THE FULL THICKNESS OF THE COLLAR.

ANTI-SEEP COLLAR

NOT TO SCALE

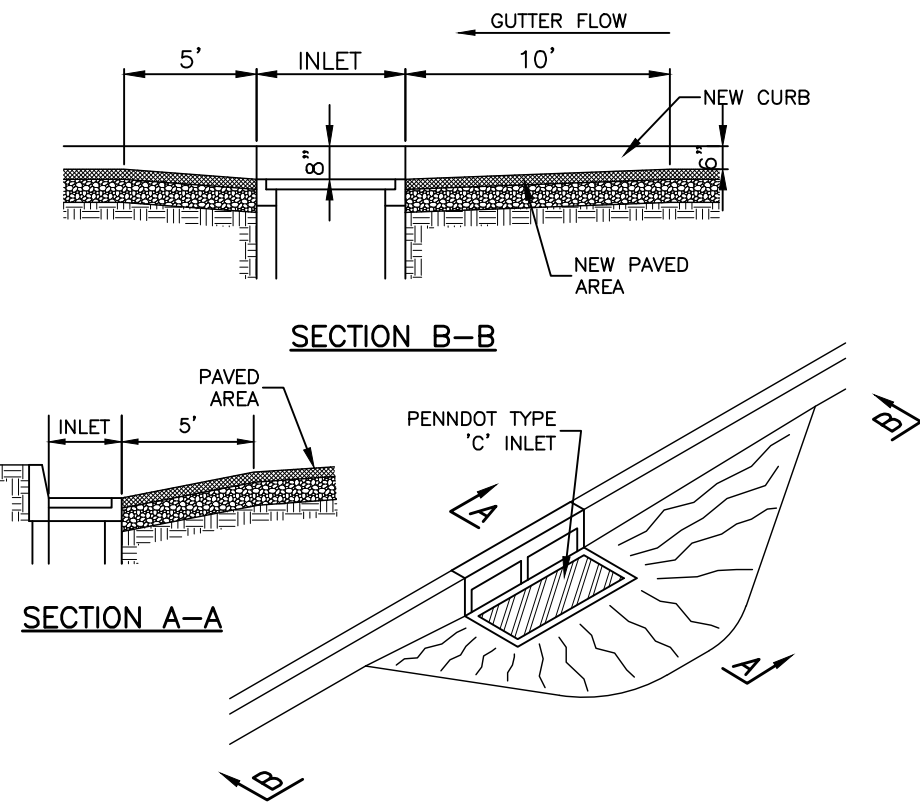


NOTES:

1. CONSTRUCT OR PLACE INLET BOXES LEVEL, UNLESS OTHERWISE INDICATED OR DIRECTED.
2. CONSTRUCT OR PLACE INLET BOXES ON A SUBBASE CONSTRUCTED OF COMPACTED NO. 2A COARSE AGGREGATE. PLACE AND COMPACT IN 4" LAYERS TO PROVIDE A 1'-0" MINIMUM DEPTH.

OUTLET CONTROL BOX - SUBBASE PREPARATION

NOT TO SCALE



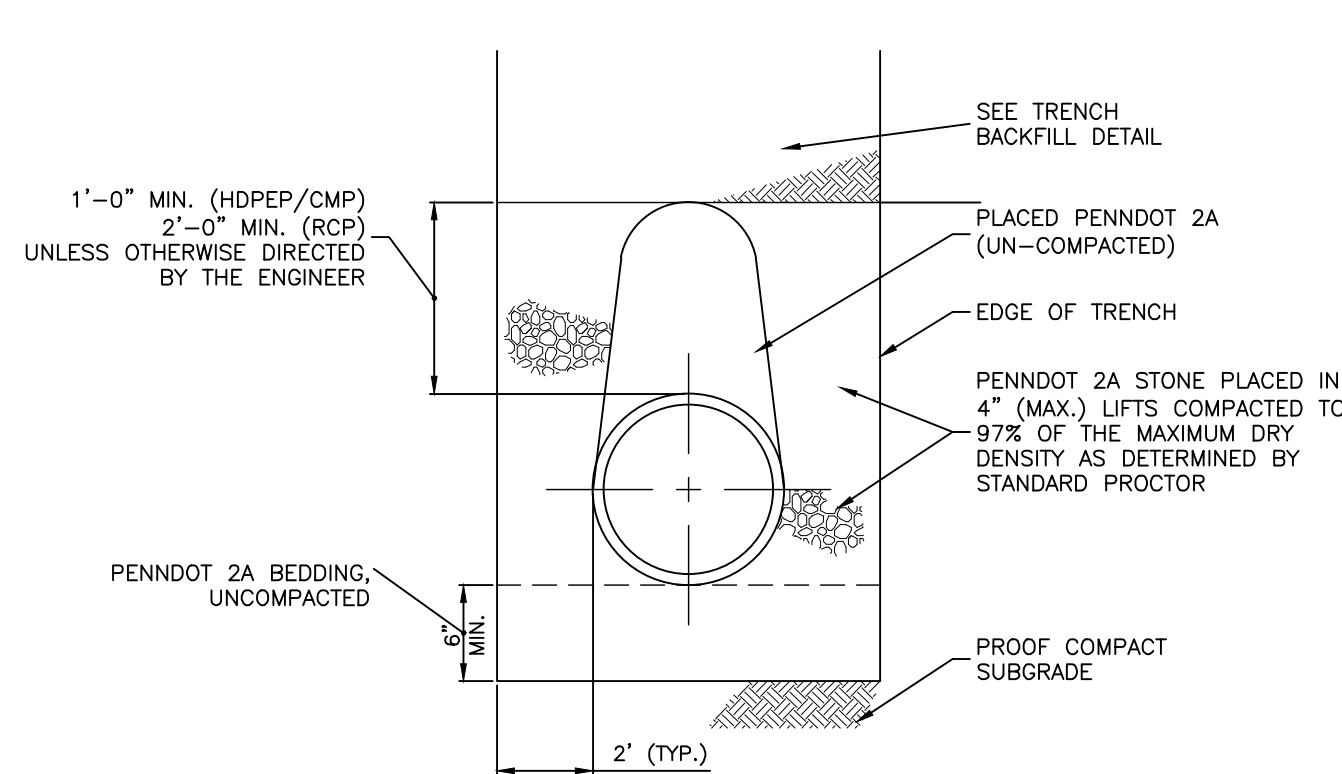
SECTION B-B

SECTION A-A

ISOMETRIC VIEW

INLET PAVING TAPER

NOT TO SCALE

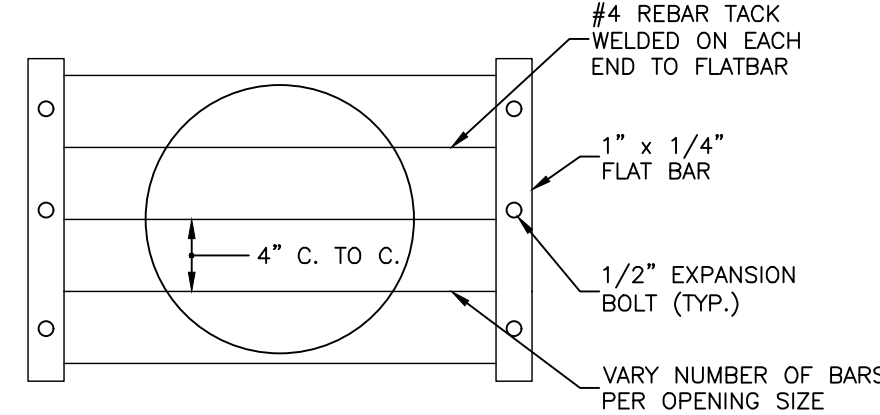


NOTES:

1. IF TRENCH IS EXTREMELY WET DUE TO HIGH GROUNDWATER, USE AASHTO #57 STONE UP TO THE HAUNCHES OF THE PIPE. REMAINDER OF BEDDING TO BE PENNDOT 2A.
2. FOLLOW "PIPE INSTALLATION PROCEDURES" PER PENNDOT PUBLICATION 72M - RC-30M.

PIPE BEDDING (STORM SEWER)

NOT TO SCALE



NOTES:

1. THE NUMBER OF ROWS AND LENGTH OF REBAR REQUIRED DEPENDS ON OPENINGS.
2. REBAR TO COVER THE ENTIRE SIZE OF THE OPENING.
3. TYPICAL FOR ALL OUTLET OPENING SHAPES (CIRCULAR SHOWN GRAPHICALLY).
4. ALL MATERIAL TO BE EPOXY COATED.
5. CHILD SAFETY GRATES SHALL BE PROVIDED ON ALL ENDWALLS, (SEE DETAIL).

CHILD SAFETY GRATE

NOT TO SCALE

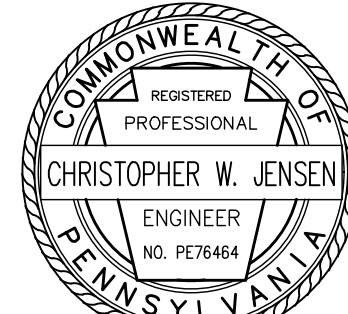


ATTENTION: ALL CONTRACTORS LOCATING BY ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANIES RECORDS AND/OR AERIAL PHOTOGRAPHS. THE ENGINEER HAS NOT COMPLETED AN ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES. OWNER BE RESPONSIBLE TO REQUIREMENTS OF PENNDOT ACT 121 OF 2004. CONTRACTORS MUST VERIFY LOCATION OF UTILITIES PRIOR TO UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.

20243371817

NO.	DATE	REVISIONS	BY	CHKD
1	01/24/25	UPDATES FOR NOTES PRE-SUBMISSION	JPK	ZHR
2	02/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

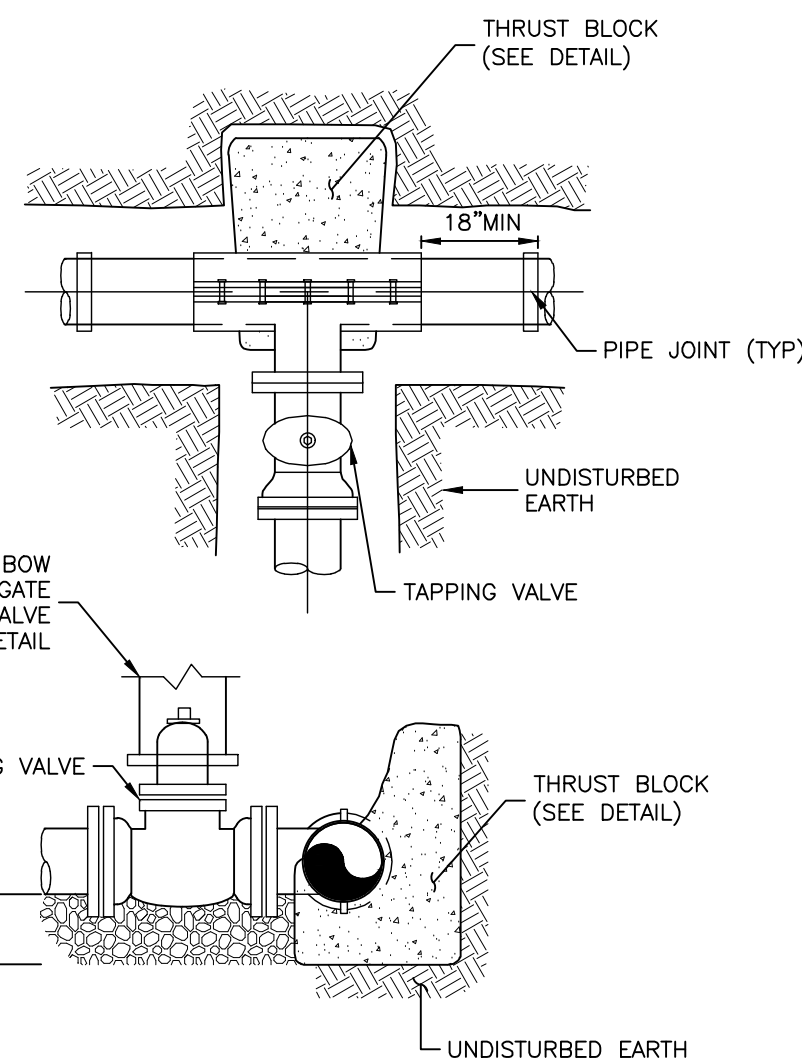
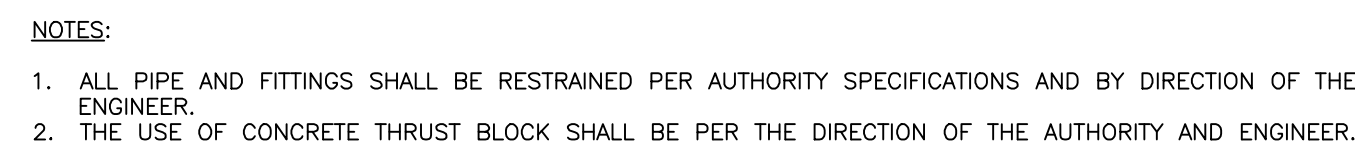
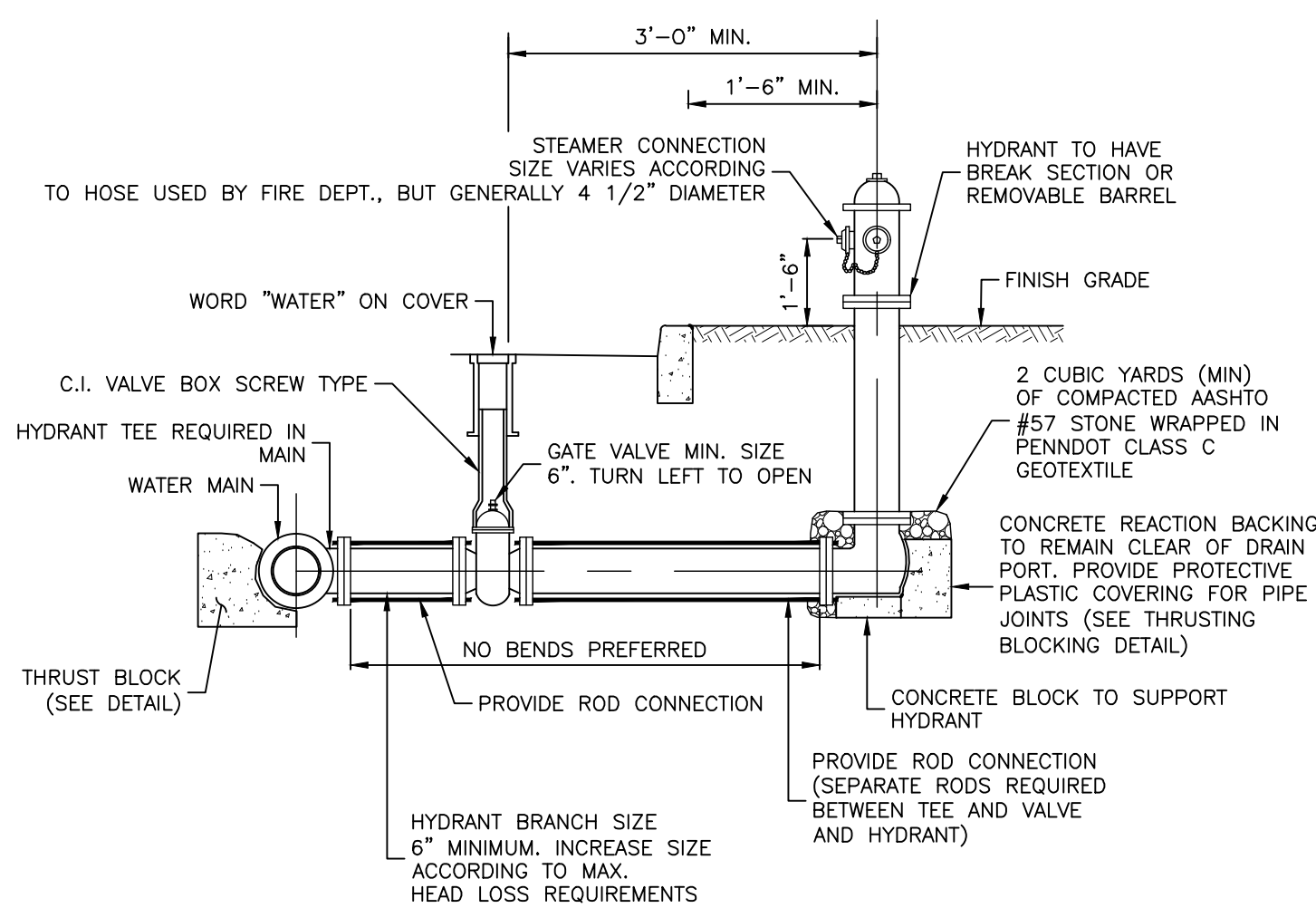
STORM SEWER DETAILS-1



1700 MARKET STREET, SUITE 3110
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

OFFICES LOCATED IN:
CALIFORNIA, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

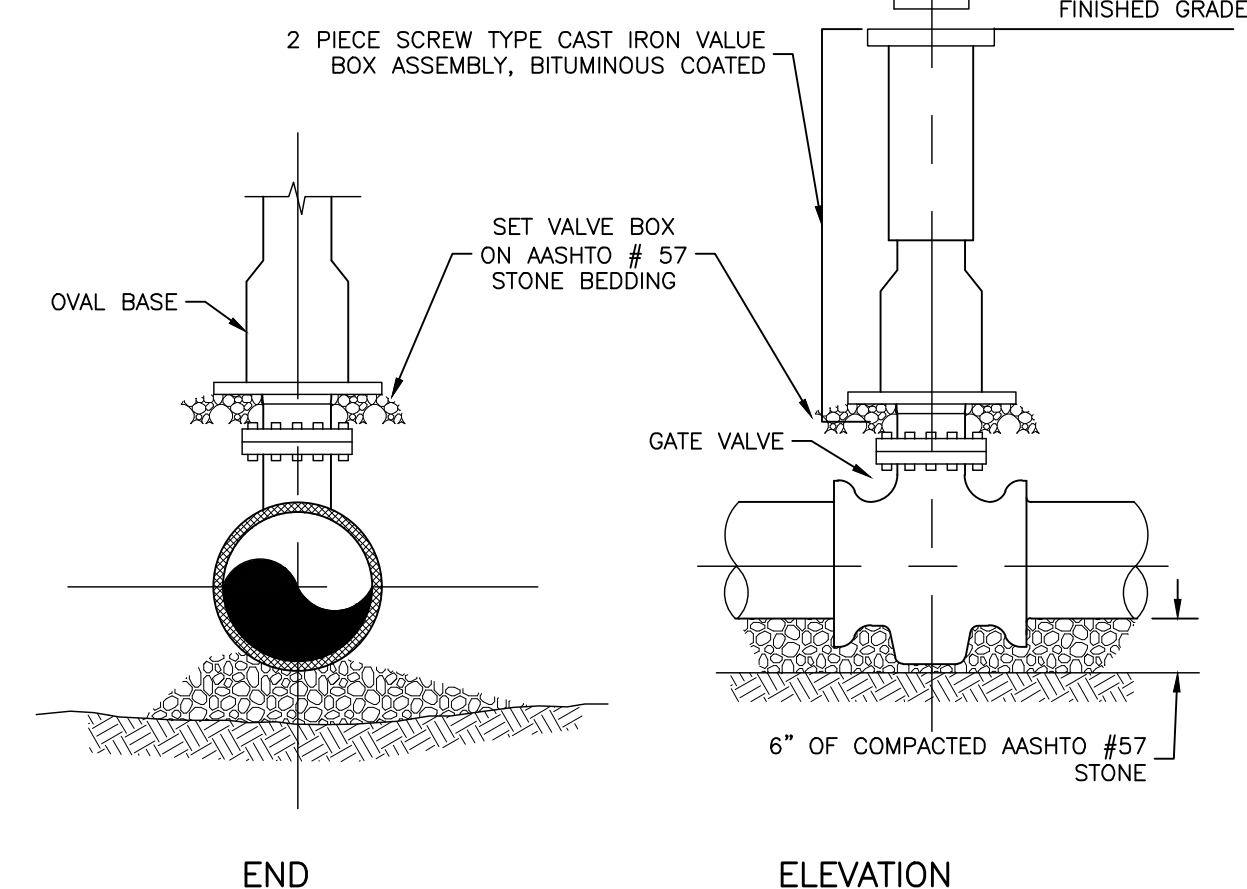
DESIGNED BY JPK/CKS/CMR/ROP/ZHR	DRAWING STRMD-1
CHECKED BY BGS/ZHR	SHEET 28
DRAWN BY SCR/CKS/RAM	OF 46
DATE 12/19/2024	
SCALE AS NOTED	
PROJ. NO. WDV00004	



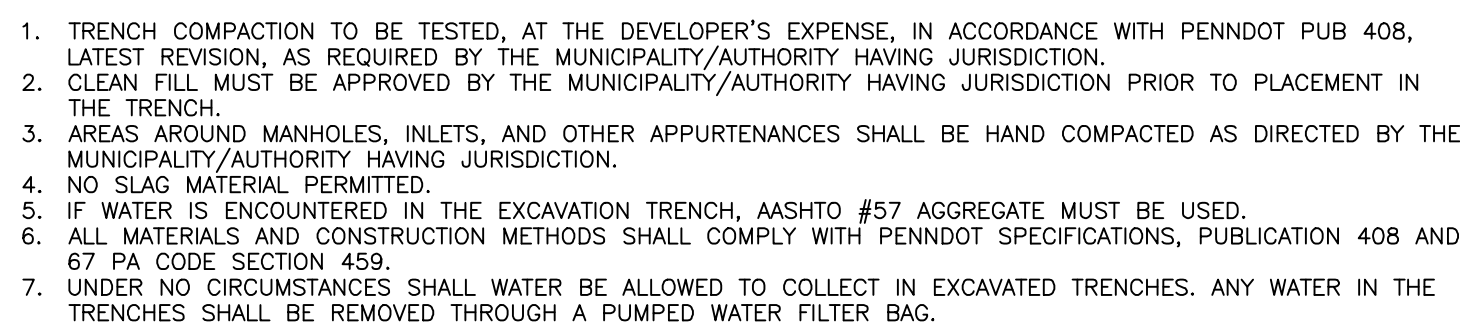
	CONCRETE BLOCKING DIMENSIONS, VERTICAL THRUST UPWARD 150 P.S.I. WORKING PRESSURE								
	LENGTH			WIDTH			DEPTH		
PIPE SIZES	11 1/2"	22 3/4"	45"	11 1/2"	22 3/4"	45"	11 1/2"	22 3/4"	45"
6" & 8"	3"	4"	6"	3"	3"	4"	2"	3"	4"
10" & 12"	3.5"	4"	7"	4"	4"	4"	2.5"	3"	4"
14" & 16"	4"	6"	9"	4.5"	4.5"	4.5"	3.5"	4"	5"
18" & 20"	5"	6.5"	11.5"	5"	5"	5"	4"	5"	5.5"
24"	5"	9"	12.5"	5"	5"	6"	4.5"	5"	6"
30"	5.5"	9"	13.5"	5.5"	6"	7"	5.5"	6"	7"
36"	6.5"	11"	14"	5.5"	6.5"	7"	6"	6.5"	7"
42"	9"	13.5"	15"	6"	7"	7"	6"	7"	7"
48"	10"	14"	16"	6"	7"	7"	6"	7"	7"

- NOTES:
1. ALL CONC. SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 3000 PSI AT THE END OF 28 DAYS.
 2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS. (ASTM GRADE 60)
 3. ALL FITTINGS AND JOINTS SHALL BE COVERED WITH POLYETHYLENE FILM BEFORE PLACING CONC.
 4. PAINT ALL EXPOSED STEEL WITH TWO COATS OF VALDURA PAINT OR APPROVED EQUAL.
 5. REINFORCING BARS SHALL BE U-SHAPE AROUND THE PIPE.

THRUST BLOCKING TABLE—VERTICAL—UPWARD



- NOTES:
1. VALVE SHALL NOT COME INTO CONTACT WITH VALVE.



NOT TO SCALE



BEARING SURFACE REQUIRED – SQ.FT. HORIZONTAL THRUST BLOCKING & VERTICAL THRUST DOWNWARD 125 P.S.I.																	
PIPE SIZE		6" & 8"				10" & 12"				16" 18" 20"				24"			
TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS		DEGREE OF BEND OR DEFLECTION															
		22.5"	45"	90"	D.E.	22.5"	45"	90"	D.E.	22.5"	45"	90"	D.E.	22.5"	45"	90"	D.E.
SAND 0/75 TON/SQ.FT.		3.4	6.0	11.0	6.4	6.7	12.8	23.4	14.2	14.8	28.8	52.9	34.4	26.1	48.3	89.7	64.0
SOFT CLAY 1 TON/SQ.FT.		2.6	4.6	8.2	4.8	5.0	9.6	17.5	10.7	11.2	21.7	39.7	28.2	19.6	36.3	67.3	48.0
SAND AND GRAVEL 2 TON/SQ.FT.		1.3	2.3	4.1	2.4	2.5	4.8	8.8	5.3	5.6	10.8	20.0	14.1	9.8	13.1	33.6	24.0
CLAY 4 TON/SQ.FT.		1.0	1.2	2.1	1.3	1.3	2.4	4.4	2.7	2.8	5.4	10.0	7.2	4.9	9.1	16.8	12.0
SOFT ROCK 5 TON/SQ.FT.		1.0	1.0	1.6	1.0	1.0	1.9	3.5	2.2	1.6	4.4	8.0	5.7	3.9	7.3	13.5	9.6
ROCK 15 TON/SQ.FT		–	–	1.0	0.4	–	1.0	1.2	0.8	1.0	1.4	2.6	1.9	1.3	2.4	4.5	3.2
PIPE SIZE		30"				36"				42"				48"			
TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS		DEGREE OF BEND OR DEFLECTION															
		22.5"	45"	90"	D.E.	22.5"	45"	90"	D.E.	22.5"	45"	90"	D.E.	22.5"	45"	90"	D.E.
SAND 0/75 TON/SQ.FT.		40.3	76.5	139.0	99.1	55.5	107.5	197.5	140.0	74.3	144.7	266.5	188.7	83.2	182.3	336.2	238.0
SOFT CLAY 1 TON/SQ.FT.		30.2	57.4	104.3	74.3	41.6	80.6	148.0	105.0	55.7	108.5	200.0	141.6	70.0	136.7	252.2	178.0
SAND AND GRAVEL 2 TON/SQ.FT.		15.1	28.7	52.1	37.2	20.8	40.3	74.0	52.5	27.9	54.3	100.0	70.8	35.0	68.3	126.1	89.2
CLAY 4 TON/SQ.FT.		7.6	14.6	26	18.6	10.4	20.2	37.0	26.3	14.0	27.0	50.0	35.3	17.5	34.2	63.0	44.6
SOFT ROCK 5 TON/SQ.FT.		6.0	11.5	20.9	14.9	8.3	16.1	29.6	21.0	11.2	21.7	40.0	28.3	14.0	27.3	50.4	35.7
ROCK 15 TON/SQ.FT.		2.0	3.8	7.0	5.0	1.4	2.8	5.4	7.0	3.7	7.2	13.3	9.4	4.7	9.1	16.8	12.0

- NOTES:
1. D.E. DENOTES DEAD END.

NOT TO SCALE



PROJECT INFORMATION:
FILE PATH: G:\Projects\WDEVA\00004A\Plans\
FILE NAME: WDEVA00004A-DTL.dwg
LAST MODIFIED: 03 Apr 2025, 5:03PM
LAST SAVE BY: Csaparcello

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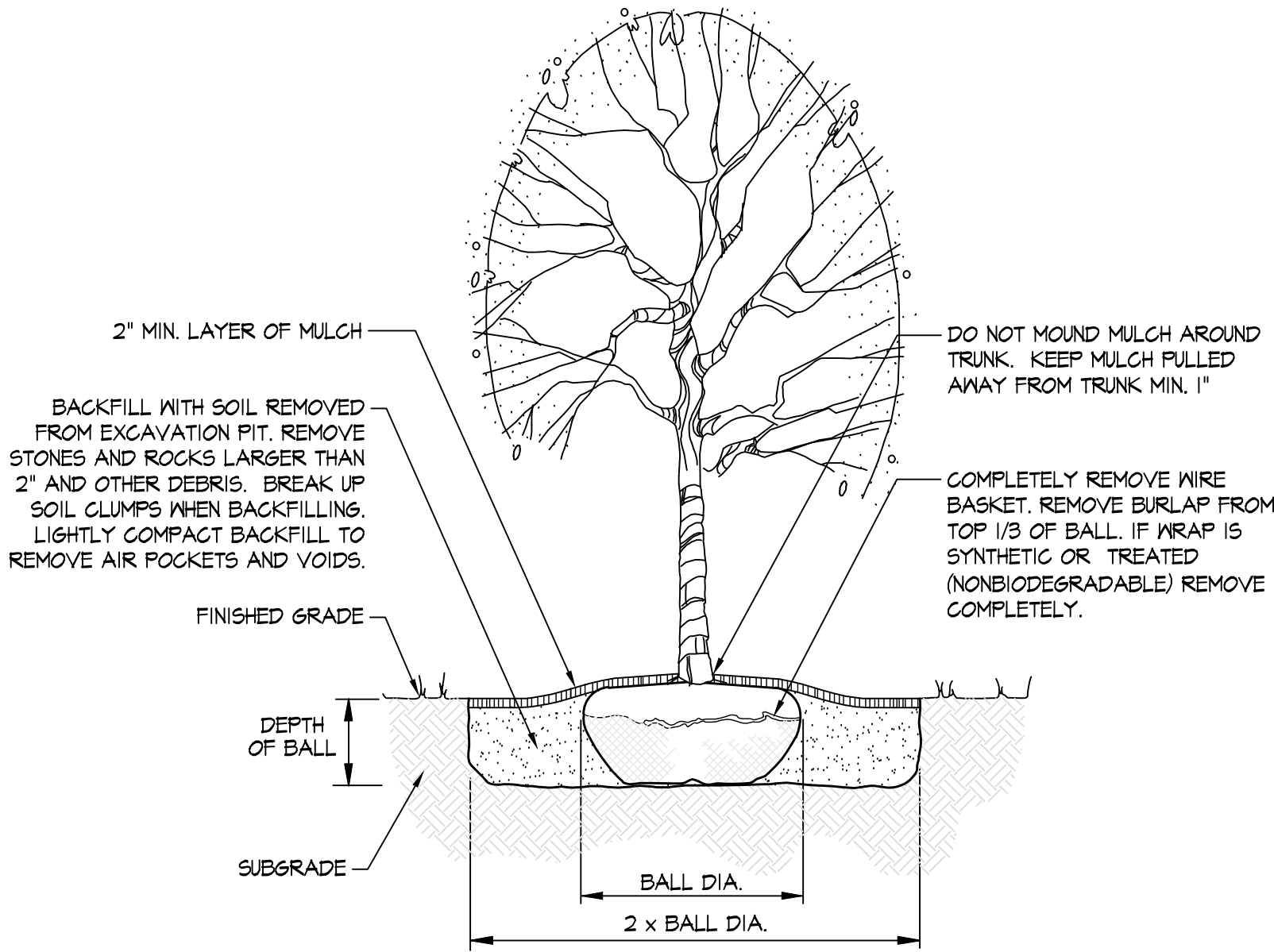
LANDSCAPE PLANTING NOTES AND SPECIFICATIONS:

1. ALL PLANT MATERIAL SHALL BE PROVIDED AND INSTALLED IN STRICT CONFORMANCE WITH USDA STANDARDS FOR NURSERY STOCK AND THE "AMERICAN NURSERY AND LANDSCAPE ASSOCIATION" STANDARDS LATEST EDITIONS.
2. THE CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN WORK AREA PRIOR TO COMMENCING WITH ANY EXCAVATIONS AND SHALL BE RESPONSIBLE FOR THEIR PROTECTION.
3. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN QUANTITIES INDICATED ON THE PLANT LIST. IF A DISCREPANCY SHOULD ARISE BETWEEN THE AMOUNT OF PLANTS SHOWN ON THE PLAN VS. THE PLANT SCHEDULE, THE PLAN SHALL GOVERN.
4. ALL PLANTS SHALL BE NURSERY GROWN.
5. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
6. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OR GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY WELL-DEVELOPED ROOT SYSTEMS.
7. SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED KIND OR SIZE ARE NOT AVAILABLE WITHIN A REASONABLE DISTANCE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR IF APPROVED BY THE LANDSCAPE ARCHITECT AND THE TOWNSHIP ENGINEER.
8. ALL AREAS TO BE SHOWN AS LAWN SHALL BE SEEDED, AS SPECIFIED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED WITH A MINIMUM OF 90% COVER PER 5 SQUARE FEET OF LAWN AREA AVERAGE.
9. TREE LOCATIONS MAY NEED TO BE ADJUSTED BASED ON LOCATIONS OF UTILITIES, FIELD CONDITIONS, OR FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR THEIR REPRESENTATIVE IF ADJUSTMENTS ARE NECESSARY.
10. ALL SHRUBS TO BE PLANTED IN CONTINUOUS MULCH BEDS UNLESS OTHERWISE NOTED. ALL PLANTING BEDS TO RECEIVE 3" SHREDDED HARDWOOD MULCH.
11. ALL PLANTS DELIVERED TO THE SITE MUST BE INSTALLED WITHIN 24 HOURS. IF PLANTS MUST BE STORED LONGER THAN 24 HOURS THEY ARE TO BE HEELED IN WITH MULCH AND SUFFICIENTLY WATERED TO PREVENT DRYNESS AND DESICCATION. IN NO CASE SHALL PLANTS BE STORED MORE THAN 12 HOURS WITHOUT APPROVAL FROM THE OWNERS REPRESENTATIVE.
12. ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST. PLANTS WITH BROKEN ROOT BALLS, TRUNK AND BARK DAMAGE OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REPLACED PRIOR TO PLANTING.
13. ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP MINIMUM. ALL NON- BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED. WIRE BASKETS SHALL BE CAREFULLY REMOVED ENTIRELY AT THE TIME OF PLANTING, PREFERABLY AFTER THE ROOT BALL HAS BEEN INSTALLED IN THE PLANTING PIT.
14. PREPARATION OF PLANTINGS: CLEAN SOIL EXCAVATED FROM PLANTING PIT OF ROOTS, PLANTS, STONES LARGER THAN 2", CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
15. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
16. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR HIS/HER EQUAL.
17. INSTALL ALL PLANTS SO THAT THE TOP OF THE ROOTBALL IS SLIGHTLY ABOVE FINISHED GRADE. IN NO CASE SHALL THE PLAN BE INSTALLED WITH NO LESS THAN THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL ROOT CROWN. EXCESS SOIL MAY EXIST AROUND THE ROOT CROWN FROM NURSERY OPERATIONS. THIS EXCESS MATERIAL SHALL BE REMOVED PRIOR TO PLANTING TO DETERMINE THE PROPER BALL INSTALLATION DEPTH.
18. ALL EXISTING TREES THAT ARE TO BE SAVED AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE PROTECTED UNTIL CONSTRUCTION HAS BEEN COMPLETED. AREA WITHIN DRIPLINE SHALL NOT BE TRAVELED ACROSS BY CONSTRUCTION TRAFFIC.
19. TREES PLANTED ALONG STREETS SHALL HAVE A SINGLE STRAIGHT TRUNK THAT DOES NOT FORK BELOW 6'.
20. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL NON-BIODEGRADEABLE ROOT WRAPPING MATERIAL SHALL BE REMOVED AT TIME OF PLANTING.
21. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS MINIMUM.
22. THE CONTRACTOR SHALL LAYOUT WITH IDENTIFIABLE STAKES INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTING ALONG WITH THE ARRANGEMENTS AND OUTLINE OF PLANTING BEDS AS INDICATED ON DRAWING. THE LAYOUT OF PLANTING WILL THEN BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION OF PLANT PITS OR PLANT BEDS.
23. AT PLANTING TIME, ALL PLANT MATERIAL SHALL TRIMMED TO REMOVE BROKEN AND/OR DEAD VEGETATIVE MATERIAL.
24. ALL PLANTS SHALL BE INSTALLED AS PER THE PLANTING DETAILS AND THE CONTRACT SPECIFICATIONS, WHERE APPLICABLE.
25. ALL PLANTS SHALL BE INSTALLED PLUMB UNLESS OTHERWISE SPECIFIED.
26. ALL PLANTS SHALL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
27. CONDITIONS DETRIMENTAL TO PLANTS: THE CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. HE SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS INCLUDING ANY CHANGE IN COST FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE.
28. WARRANT TREES AND SHRUBS FOR A MINIMUM PERIOD OF EIGHTEEN (18) MONTHS AFTER DATE OF WRITTEN FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR THE OWNERS AUTHORIZED REPRESENTATIVE AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MONITOR THE PROJECT PLANTINGS DURING THE WARRANTY PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP. PLANTS THAT DIE DURING THE WARRANTY PERIOD SHALL BE REMOVED IMMEDIATELY AND REPLACED.
29. ANY TREE OR SHRUB WHICH DIES WITHIN 18 MONTHS OF PLANTING SHALL BE REPLACED IN KIND. ANY TREE OR SHRUB WHICH WITHIN 18 MONTHS OF PLANTING OR REPLACING IS DEEMED BY THE TOWNSHIP NOT TO BE HEALTHY AND VIGOROUS SHALL BE REPLACED IN KIND. REPLACEMENTS MAY BE OF A SUBSTITUTE SPECIES ONLY WHEN APPROVED BY THE TOWNSHIP.
30. THE TOWNSHIP RESERVES THE RIGHT TO REQUIRE ADDITIONAL LANDSCAPE BUFFER PLANTINGS, FOLLOWING SUBSTANTIAL COMPLETION OF CONSTRUCTION, SHOULD VEGETATION TO BE PRESERVED NOT BE PRESERVED OR NOT OTHERWISE BE AS REPRESENTED ON THE FINAL LANDSCAPE PLAN(S).

EMERGENCY SEEDING RECOMMENDATIONS TOWNSHIP OF WORCESTER

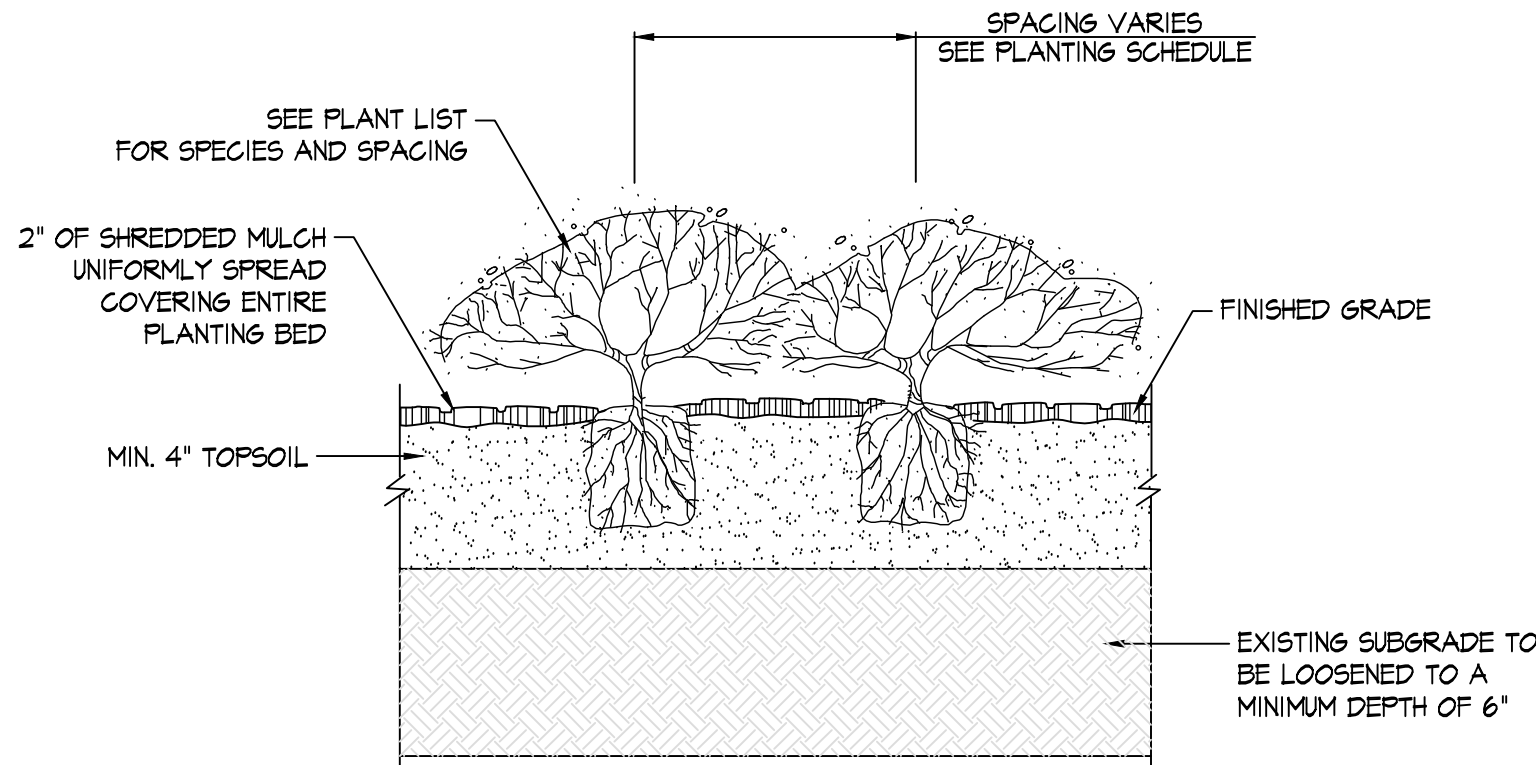
DURING CONSTRUCTION, ALL DISTURBED AREAS SHOULD BE SEEDED ACCORDING TO THE FOLLOWING INSTRUCTIONS:
SEEDING RECOMMENDATION FOR SIX TO TWELVE-MONTHS PERIODS.

1. INSTALL NEEDED WATER-CONTROL MEASURES.
 2. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
 3. LIME ACCORDINGS TO SOIL TEST OR KNOWLEDGE OF THE SITE OR APPLY TWO TONS OF GROUND LIMESTONE PER ACRE.
 4. FERTILIZE ACCORDING TO SOIL TEST OR KNOWLEDGE OF THE SITE OR APPLY 40-40-40 PER ACRE.
 5. INCORPORATE LIME AND FERTILIZER INTO THE TOP FOUR INCHES OF SURFACE SOIL BY DISCING OR OTHER SUITABLE MEANS.
 6. SEED ONE OF OF THE FOLLOWING MIXTURES AT THE MOST SUITABLE DATE. APPLY UNIFORMLY WITH A DRILL OR BY BROADCASTING:
 - a. MARCH 1 TO OCTOBER 1: 20 POUNDS OF ANNUAL RYE GRASS OR FIELD BROMEGRASS PER ACRE.
 - b. MARCH 1 TO MAY 30: 20 POUNDS OF ANNUAL RYE GRASS OR FIELD BROMEGRASS AND 64 POUNDS OF SPRING OATS PER ACRE.
 - c. AUGUST 1 TO NOVEMBER 1: 20 POUNDS OF ANNUAL RYE GRASS OR FIELD BROMEGRASS AND 112 POUNDS OF WINTER RYE PER ACRE.
 7. COVER GRASS AND LEGUME SEEDS ONE-FOURTH-INCH DEEP WITH CULTIPACKER OR HARROW. COVER RYE OR OATS ABOUT TWO INCHES DEEP.
 8. MOW RYE OR OATS JUST BEFORE THEY HEAD OUT IF SLOPE PERMITS.
- SECTION 130-6 SHALL PREVAIL IN CASES OF CONFLICT WITH THE ABOVE PROVISIONS.



DECIDUOUS TREE PLANTING

NOT TO SCALE

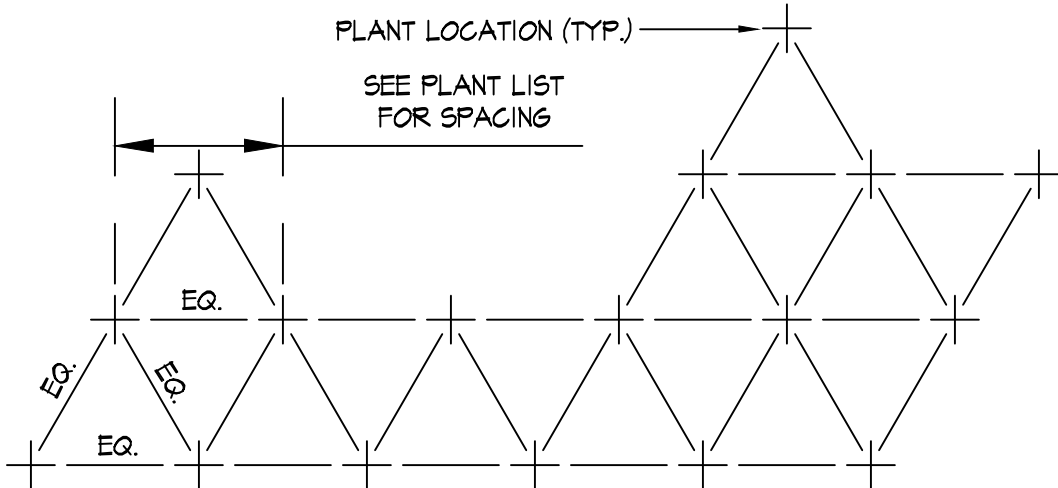


NOTES:

1. GROUND COVER MATERIAL SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE IN THE NURSERY.

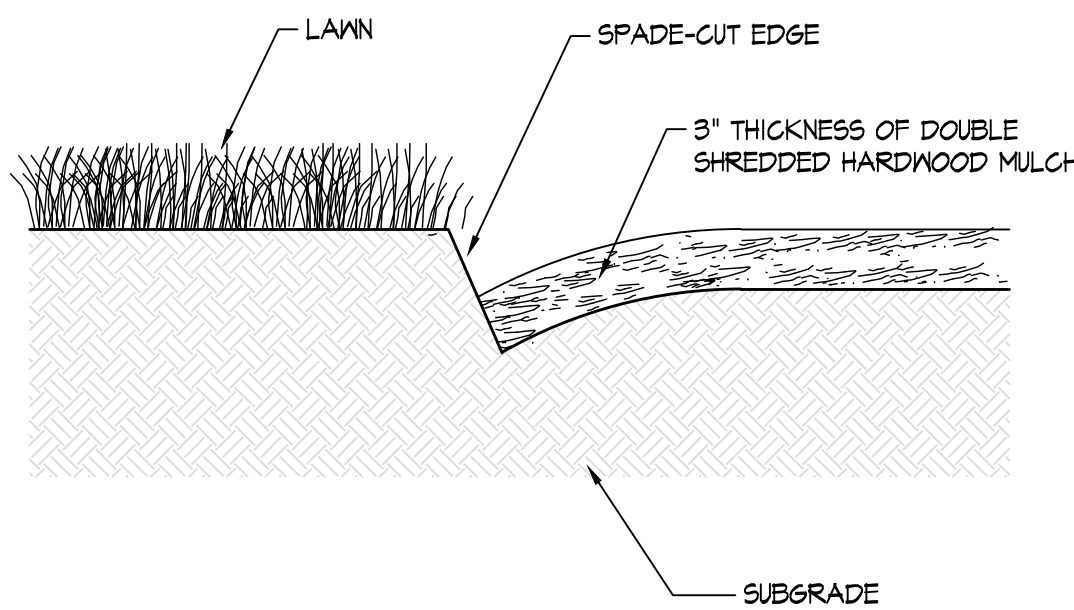
PLUG AND PERENNIAL PLANTING

NOT TO SCALE



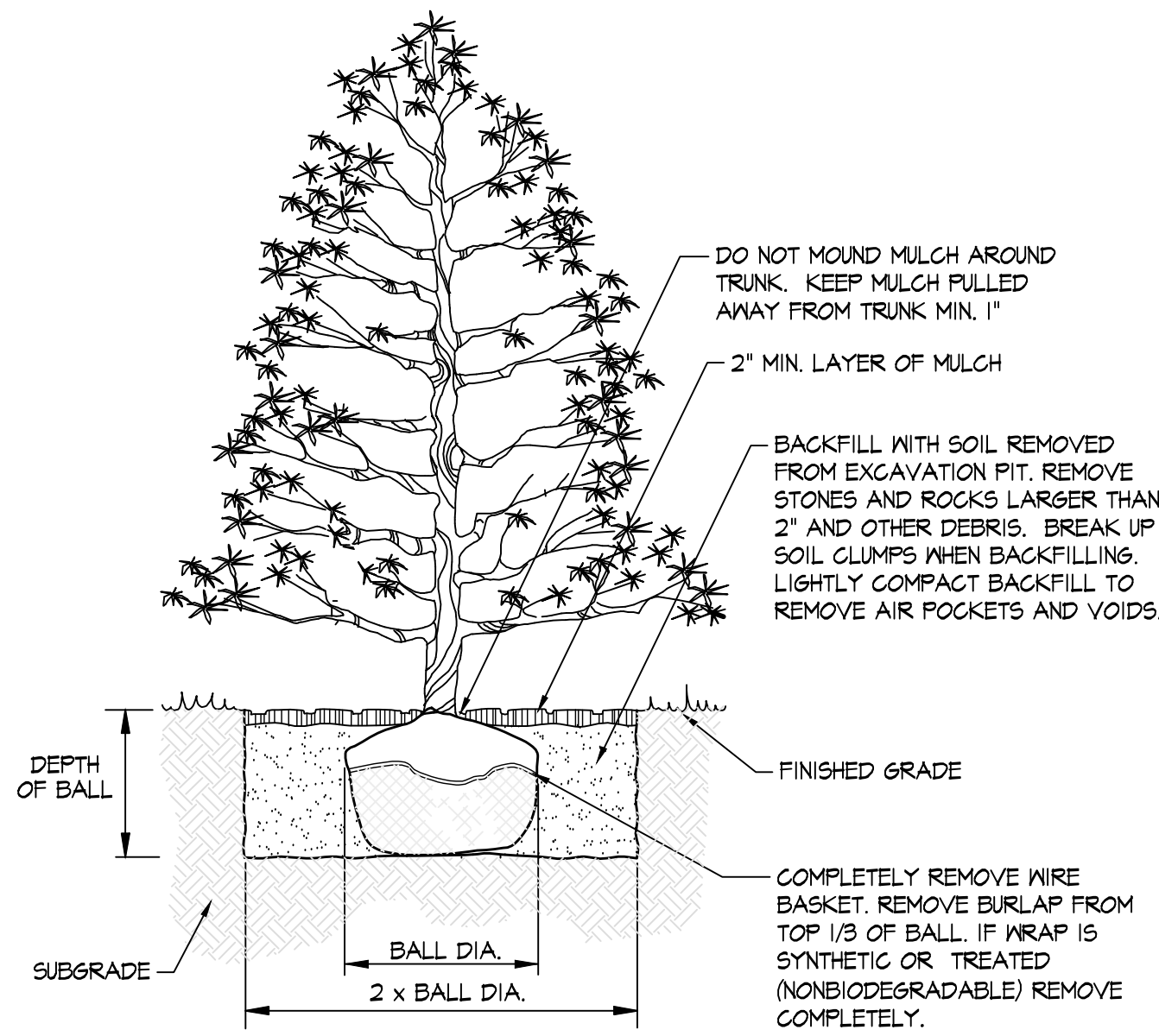
PLANT SPACING DIAGRAM

NOT TO SCALE



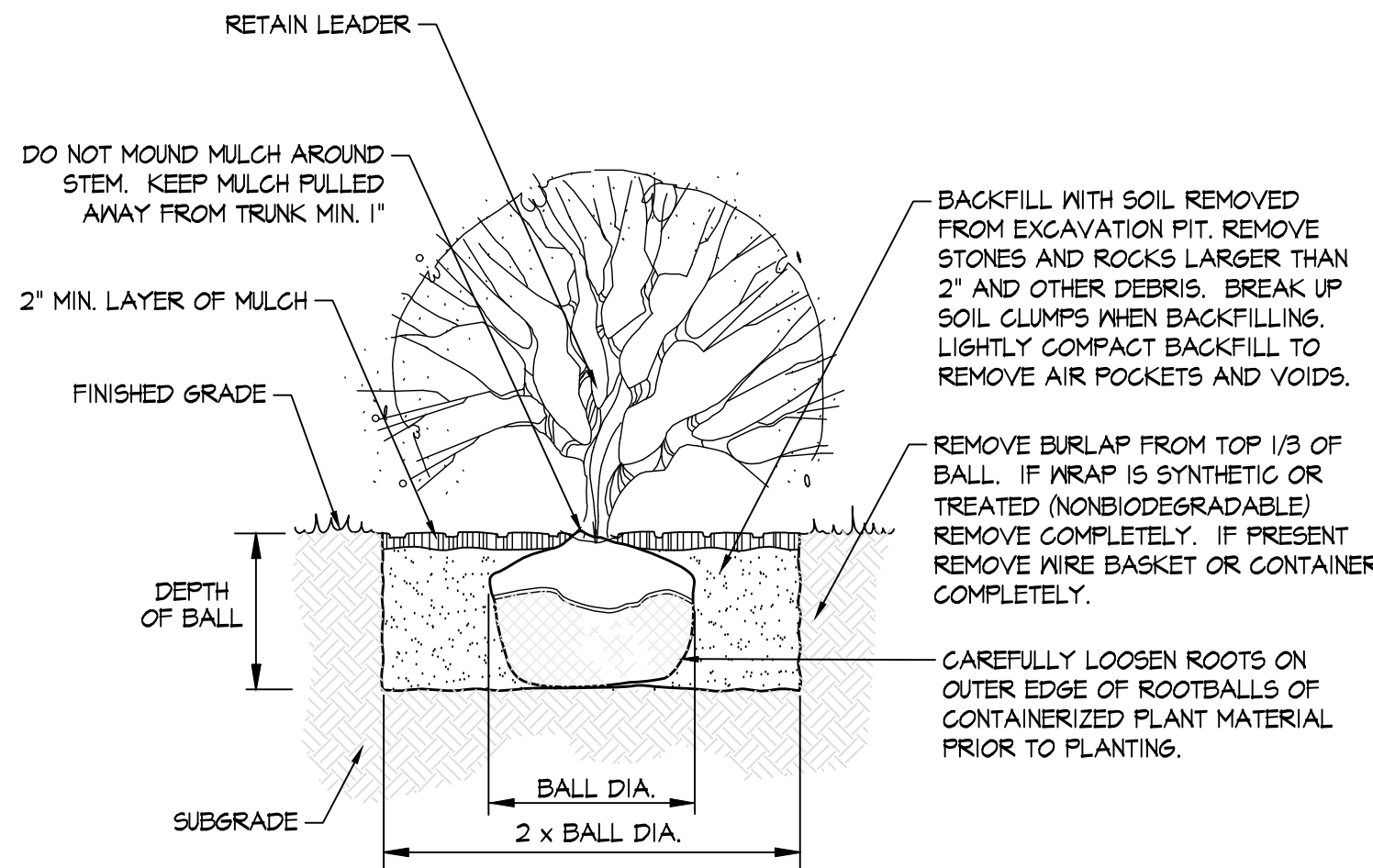
EDGING AT MULCH BED

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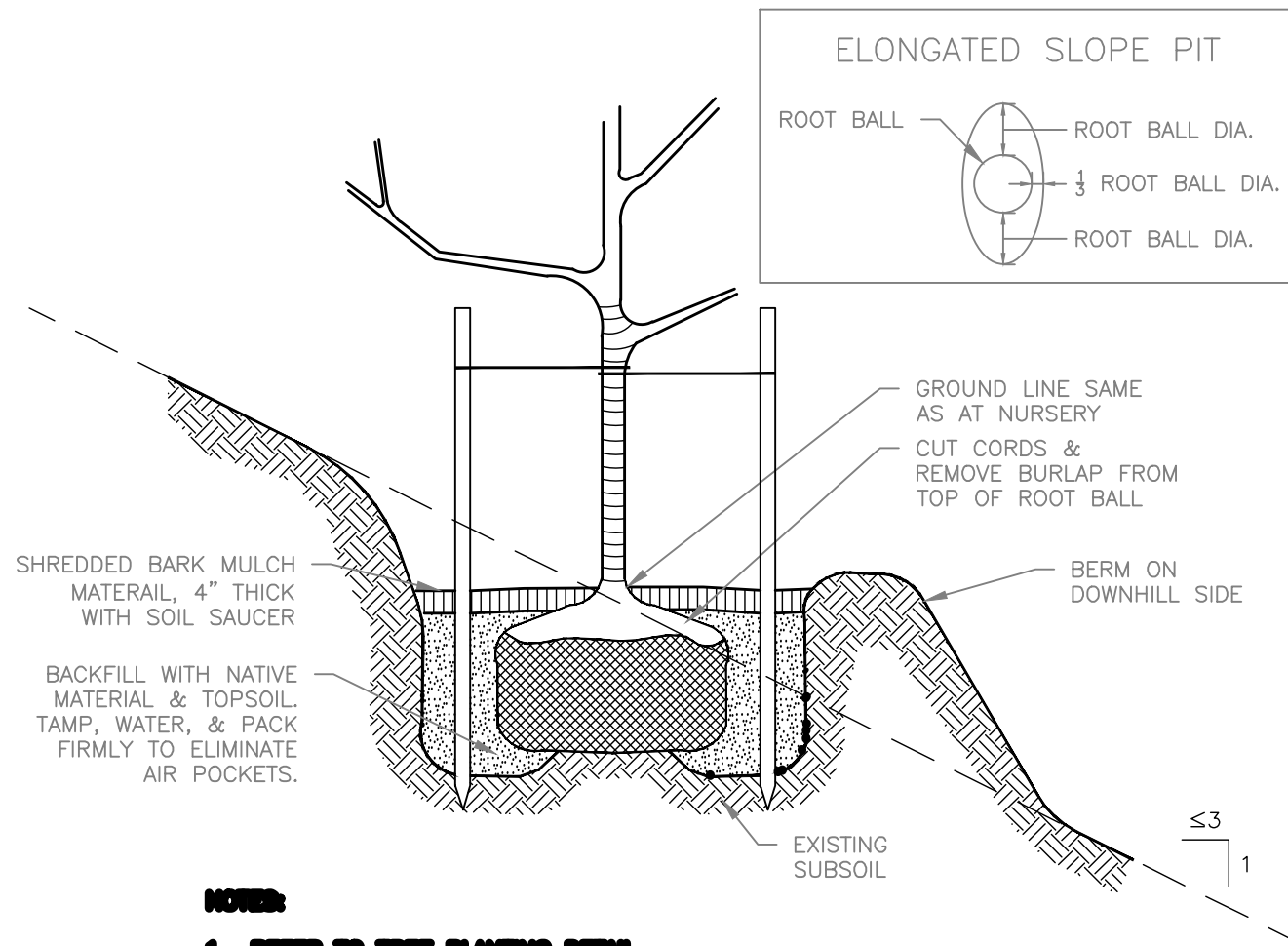
EVERGREEN TREE PLANTING

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



NOTES:

1. REFER TO TREE PLANTING DETAIL.
2. ALL PLANTS TO BE SET VERTICAL, NOT PERPENDICULAR TO SLOPE.
3. FOR PLANTING A TREE ON A SLOPE, THE ROOT BALL SHALL NOT BE SET ON THE DOWNHILL SIDE. A BERM SHALL BE BUILT WITH THE MOUND, EXCAVATED FROM THE TREE PIT TO COVER THE MOUND.

SLOPE PLANTING DETAIL

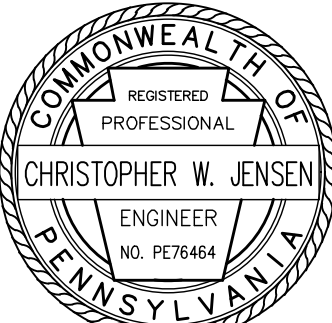
NOT TO SCALE



ATTENTION: ALL CONTRACTORS LOCATING OR ALL EXISTING UTILITIES (UNDERGROUND OR ABOVE GROUND) MUST BE DEVELOPED FROM UTILITY COMPANIES RECORDS AND/OR RECORD-DRAWN REPRESENTATIONS OF THE COMPLETENESS OR ACCURACY OF THE SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY INFORMATION TO DETERMINE THE LOCATION OF ALL UTILITIES. LEGISLATIVE ACT NUMBER 287 OF 1974 AS AMENDED BY ACT 121 OF 2004. CONTRACTORS MUST VERIFY LOCATION OF ALL UTILITIES. UNDERGROUND UTILITIES ARE FACILITIES PRIOR TO START OF WORK. 20243371817

NO.	DATE	REVISIONS	BY	CHKD
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	BGS	
2	02/26/25	UPDATES FOR LEI WPDES SUBMISSION	JPK	
1	01/24/25	UPDATES FOR WPDES PRE-SUBMISSION MTG	ZHR	

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

LANDSCAPE DETAILS



1700 MARKET STREET, SUITE 3110
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

OFFICES LOCATED IN:
CALIFORNIA, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

DESIGNED BY JPK/CKS/CMR/ROP/ZHR	DRAWING LSPD
CHECKED BY BGS/ZHR	SHEET
DRAWN BY SCR/CKS/RAM	33
DATE 12/19/2024	OF 46
SCALE AS NOTED	
PROJ. NO. WDEVA00004	

PROJECT INFORMATION:
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FILE NAME: WDEV00004-JDL.dwg
LAST SAVE DATE: 03 Apr 2025, 5:03PM
LAST SAVE BY: Cscanzello

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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT	SPREAD	REMARKS
EVERGREEN TREES									
	JE3	18	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B 4 B		10'-12'	6' MIN	
	PA2	13	PICEA ABIES	NORWAY SPRUCE	B 4 B		10'-12'	6' MIN	
	PS	14	PINUS STROBUS	WHITE PINE	B 4 B		10'-12'	6' MIN	
FLOWERING TREES									
	CF	21	CORNUS FLORIDA	FLOWERING DOGWOOD	B 4 B	1.5'-2" CAL.	8' MIN	4'-6'	
	MB	15	MALUS X 'RED BARRON'	RED BARRON CRABAPPLE	B 4 B	1.5'-2" CAL.	8' MIN	4'-6'	
	PK	9	PRUNUS SERRULATA 'KWANZAN'	FLOWERING CHERRY	B 4 B	1.5'-2" CAL.	8' MIN	4'-6'	
PARKING AREA TREES									
	PA3	3	PICEA ABIES	NORWAY SPRUCE	B 4 B		10'-12'	6' MIN	
	TI	9	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	B 4 B		8' MIN	6' MIN	
	TH	8	TILIA CORDATA 'HALKA'	SUMMER SPRITE LINDEN	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	STRAIGHT SINGLE LEADE
REPLACEMENT TREES									
	AR	10	ACER RUBRUM	RED MAPLE	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	
	B6	15	BETULA NIGRA 'CULLY IMPROVED'	HERITAGE® IMPROVED RIVER BIRCH	B 4 B		10'-12'	6' MIN	MULTI-TRUNK
	CO	10	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B 4 B	1.5'-2" CAL.	8'-10'	6' MIN	
	F62	7	FAGUS GRANDIFOLIA	AMERICAN BEECH	B 4 B	2" - 2 1/2" CAL.	8'-10'	6' MIN	STRAIGHT SINGLE LEADE
	QB	25	QUERCUS BICOLOR	SWAMP WHITE OAK	B 4 B	3" - 3 1/2" CAL.	11'-13'	6'-10'	
SCREENING BUFFER EVERGREEN TREES									
	IA	15	ILEX OPACA	AMERICAN HOLLY	B 4 B		6'-7'	6' MIN	FULL FORM TO GROUND
	P6	26	PICEA GLAUCA	WHITE SPRUCE	B 4 B		6'-7'	6' MIN	FULL FORM TO GROUND
	TI2	30	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	B 4 B		8' MIN	6' MIN	
STORMWATER BASIN TREES									
	AA2	4	AMELANCHIER X GRANDIFLORA	APPLE SERVICEBERRY	B 4 B	1.5'-2" CAL.	8' MIN	4'-6'	
	CE	5	CERCIS CANADENSIS	EASTERN REDBUD	B 4 B		8' MIN	4'-6'	MULTI-TRUNK
	CL2	6	GLADRASTIS LUTEA	AMERICAN YELLOWWOOD	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	STRAIGHT SINGLE LEADE
	GS	4	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	STRAIGHT SINGLE LEADE
	IN	4	ILEX X 'NELLIE R STEVENS'	NELLIE STEVENS HOLLY	B 4 B		8' MIN	6' MIN	FULL FORM TO GROUND
	JE2	10	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B 4 B		8' MIN	6' MIN	
	LR	3	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' TM	ROUND-LOBED SWEET GUM	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	STRAIGHT SINGLE LEADE
	NY	6	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE TUPELO	B 4 B	1.5'-2" CAL.	8' MIN	4'-6'	
	PA	4	PICEA ABIES	NORWAY SPRUCE	B 4 B		10'-12'	6' MIN	
	PO	5	PICEA OMORIKA	SERBIAN SPRUCE	B 4 B		10'-12'	6' MIN	
	PB	2	PLATANUS X ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	STRAIGHT SINGLE LEADE
STREET TREES									
	AA	14	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME MAPLE	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	STRAIGHT SINGLE LEADE
	QP	13	QUERCUS PALUSTRIS	PIN OAK	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	
	UL	8	ULMUS AMERICANA 'LIBERTY'	LIBERTY AMERICAN ELM	B 4 B	2 1/2" - 3" CAL.	10'-12'	6' MIN	
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	:	HEIGHT	SPREAD	REMARKS
SHRUBS									
	CS	14	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	5 GAL	4' O.C. SPACING	24"-36"		MIN. 3 CANES
	F6	12	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	5 GAL	3' O.C. SPACING	18"-24"		MIN. 3 CANES
	IL	10	ITEA VIRGINICA 'LITTLE HENRY' TM	VIRGINIA SWEETSPIRE	5 GAL	3' O.C. SPACING	18"-24"		MIN. 3 CANES
	VA	3	VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'	ALLEGHANY VIBURNUM	B 4 B	6' O.C. SPACING	36" HT MIN		MIN. 3 CANES
PARKING SCREENING SHRUBS									
	IS2	22	ILEX GLABRA 'SHAMROCK'	INKBERRY	7 GAL	3' O.C. SPACING	36" HT MIN		MIN. 3 CANES
	MP2	9	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	7 GAL	6' O.C. SPACING	36" HT MIN		MIN. 3 CANES; 1 MALE PER
	VA2	6	VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'	ALLEGHANY VIBURNUM	B 4 B	6' O.C. SPACING	36" HT MIN		MIN. 3 CANES
SCREENING BUFFER SHRUBS									
	IS	116	ILEX GLABRA 'SHAMROCK'	INKBERRY	7 GAL	3' O.C. SPACING	36" HT MIN		MIN. 3 CANES
	KL	50	KALMIA LATIFOLIA	MOUNTAIN LAUREL	7 GAL	6' O.C. SPACING	36" HT MIN		MIN. 5 CANES
	MP	47	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	7 GAL	6' O.C. SPACING	36" HT MIN		MIN. 3 CANES; 1 MALE PER


Plug Plant Schedule

Botanical Name	Common Name	Minimum Plant Spacing (FT)	Size Specifications	Plant Count
Plugs*				
Carex pensylvanica	Pennsylvania Sedge	12" - 18" O.C	LP50	1000
Carex vulpinoidea	Fox Sedge	12" - 18" O.C	LP50	1000
Schizachyrium scoparium	Little Bluestem	12" - 18" O.C	LP50	1000
Elymus hystrix	Bottlebrush Grass	12" - 18" O.C	LP50	1000
Sorghastrum nutans	Indiangrass	12" - 18" O.C	LP50	1000
* Plug species to be evenly distributed throughout basin bottom				5000

LANDSCAPE REQUIREMENTS

No.	Section		Requirement	Proposed	Variance/Waiver
1	130-28G (4) (b)	Street Trees: Along primary streets, street trees are to be placed 50 feet O.C.	Germantown Pike: 439 LF / 50 = 9 Street trees N Trooper Road: 938 LF / 50 = 19 Street trees Lot 2 Main Access Driveway : 185 LF / 50 = 4 x 2 (both sides) =8 Street trees (LF excludes access drive widths)	Germantown Pike: 7 Street trees + Ex. Wooded Area to remain N Trooper Road: 19 Street trees Lot 2 Main Access Driveway: 8 Street trees	NO
2	130-28G (5) (f)	Screening Buffer: Where under applicable sections of Chapter 150 (\$150-89E (6), Zoning, screen buffers are required for the entire length of all common boundaries abutting adjacent districts, such sections are hereby amended, and the following landscape requirements shall be adhered to: \$130-28G (5) (f) [1] \$130-28G (5) (f) [2] \$130-28G (5) (f) [3]	Screening buffer along rear and side yards where existing vegetation is insufficient At minimum, 1 Evergreen tree and 3 shrubs per 12 LF 850 LF / 12 = 71 evergreen trees and 213 shrubs	850 LF Screening buffer in accordance with 130-28G(5)(f)(3) provided along side yard to Northwest 71 Evergreen Trees 213 Shrubs Existing woods along rear and side yards to the North to remain and provide sufficient softening buffer to adjacent properties	NO
3	130-28G (7) (f)	Basin Perimeter Plantings: Plantings shall be at least 10 feet from the toe of berm. 1 shade tree for every 50 LF of basin perimeter	770 LF basin perimeter / 50 = 15 shade trees.	15 shade trees around basin perimeters	NO
4	129-18 (24) (c) [1]	Drainage area and detention basin landscaping: The perimeter of the retention/detention basin shall be landscaped with a mixture of deciduous trees, evergreens, and shrubs arranged in an informal manner. Retention basin (wet ponds) and artificial wetland basin landscaping shall be designed to create a "natural" appearance. Minimum plant material shall include the following per 100 linear feet of basin perimeter measured at the 100-year water surface elevation: [a] Three evergreen trees (minimum height five feet) [b] Two deciduous trees (minimum caliper 2 1/2 inches) [c] Five shrubs (minimum height three feet)	770 LF basin perimeter / 100 = 7.70 7.70 x 3 = 23 evergreen trees 7.70 x 2 = 15 deciduous trees 7.70 x 5 = 39 shrubs	23 evergreen trees 15 deciduous trees 39 shrubs	NO
5	130-28F (7) (b)	Tree Replacement: If greater than 25% of the existing trees on a site with a trunk diameter of six inches DBH or greater are destroyed because of street alignment, building placement, parking area location, grading or otherwise, then replacement of those trees over the twenty-five-percent threshold shall be required as follows:	142 total existing trees on site 25% threshold = 36 trees 100 existing trees proposed to be removed 100-36 = 64 trees to be replaced	64 replacement trees refer to Replacement Tree Schedule for species and size	NO
6	130-28G (9) (b)	Individual Lot Landscaping: Each multifamily dwelling unit shall have one deciduous or evergreen tree as listed in Subsection H.	45 dwelling units = 45 trees	45 trees (flowering trees)	NO
7	130-28G (6) (a)	Off-Street parking perimeter Landscaping: The perimeters of off-street parking lots in all districts shall be buffered in accordance with the above regulations by means of screening buffers	Western parking lot: 82LF / 12 = 7 evergreen trees and 21 shrubs Eastern parking lot: 62 LF / 12 = 5 evergreen trees and 16 shrubs	Western parking lot: 7 evergreen trees and 21 shrubs Eastern parking lot: 5 evergreen trees and 16 shrubs	NO
8	130-28G (6) (c)	Off-Street parking interior Landscaping: A minimum of 10% of the parking area shall be devoted to landscaping; Lanscaping shall included a minimum of one tree per 15 parking spaces	15,112 parking lot area x 10% = 1,511 interior landscape area 27 parking spaces / 15 = 2 trees	7,505 SF of parking lot landscaping area 8 parking lot trees	NO

BASIN SEEDING MIXTURE



Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Date: December 17, 2024

Botanical Name	Common Name	Price/Lb
20.00 % <i>Panicum clandestinum</i> , Tioga	Deertongue, Tioga	22.27
20.00 % <i>Puccinellia distans</i> , Fults	Alkalgrass, Fults	3.84
18.00 % <i>Elymus virginicus</i> , Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype	10.46
15.00 % <i>Agrostis stolonifera</i> , 'PC 2.0'	Creeping Bentgrass, 'PC 2.0'	14.40
15.00 % <i>Poa palustris</i>	Fowl Bluegrass	21.60
10.00 % <i>Carex vulpinoidea</i> , PA Ecotype	Fox Sedge, PA Ecotype	31.20
1.00 % <i>Carex scoparia</i> , PA Ecotype	Blunt Broom Sedge, PA Ecotype	96.00
1.00 % <i>Juncus effusus</i>	Soft Rush	48.00

100.00 % **Mix Price/Lb Bulk: \$17.07**

Seeding Rate: 20-40 lbs per acre, or 0.5-1 lb/1,000 sq ft with a cover crop. For a cover crop use one of the following: grain rye (1 Sep to 30 Apr; 30 lbs/acre), Japanese millet (1 May to 31 Aug; 10 lbs/acre), or barnyard grass (1 May to 31 Aug; 10 lbs/acre)

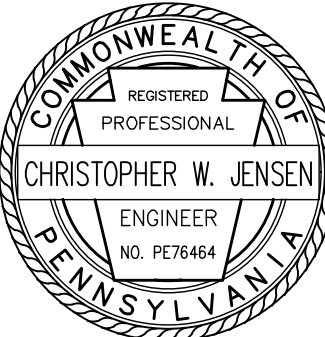
Grasses & Grass-like Species - Herbaceous Perennial; Stormwater Management

The hardy inexpensive grass and grass-like species are ideal for retention basins that may have high salt inflows and where mowing may be required. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.



DESIGNED BY	CHECKED BY	DATE	BY
JPK/CKS/CMR/RDP/ZHR	BGS	03/26/25	JPK
REVISED PER TOWNSHIP COMMENTS		02/26/25	JPK
UPDATES FOR 44 NPDES SUBMISSION		01/24/25	ZHR
UPDATES FOR NPDES PRE-SUBMISSION			NO

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

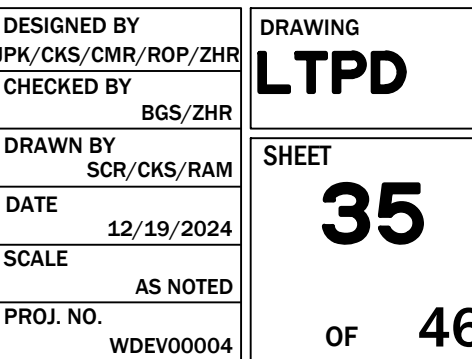
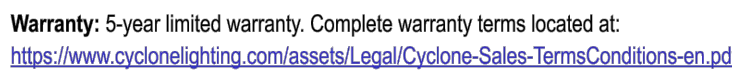
COMMERCE PURSUIT CAPITAL
TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA
LANDSCAPE SCHEDULE

AND
YOUR GOALS. OUR MISSION.
1700 MARKET STREET, SUITE 3110
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

OFFICES LOCATED IN:
CALIFORNIA, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

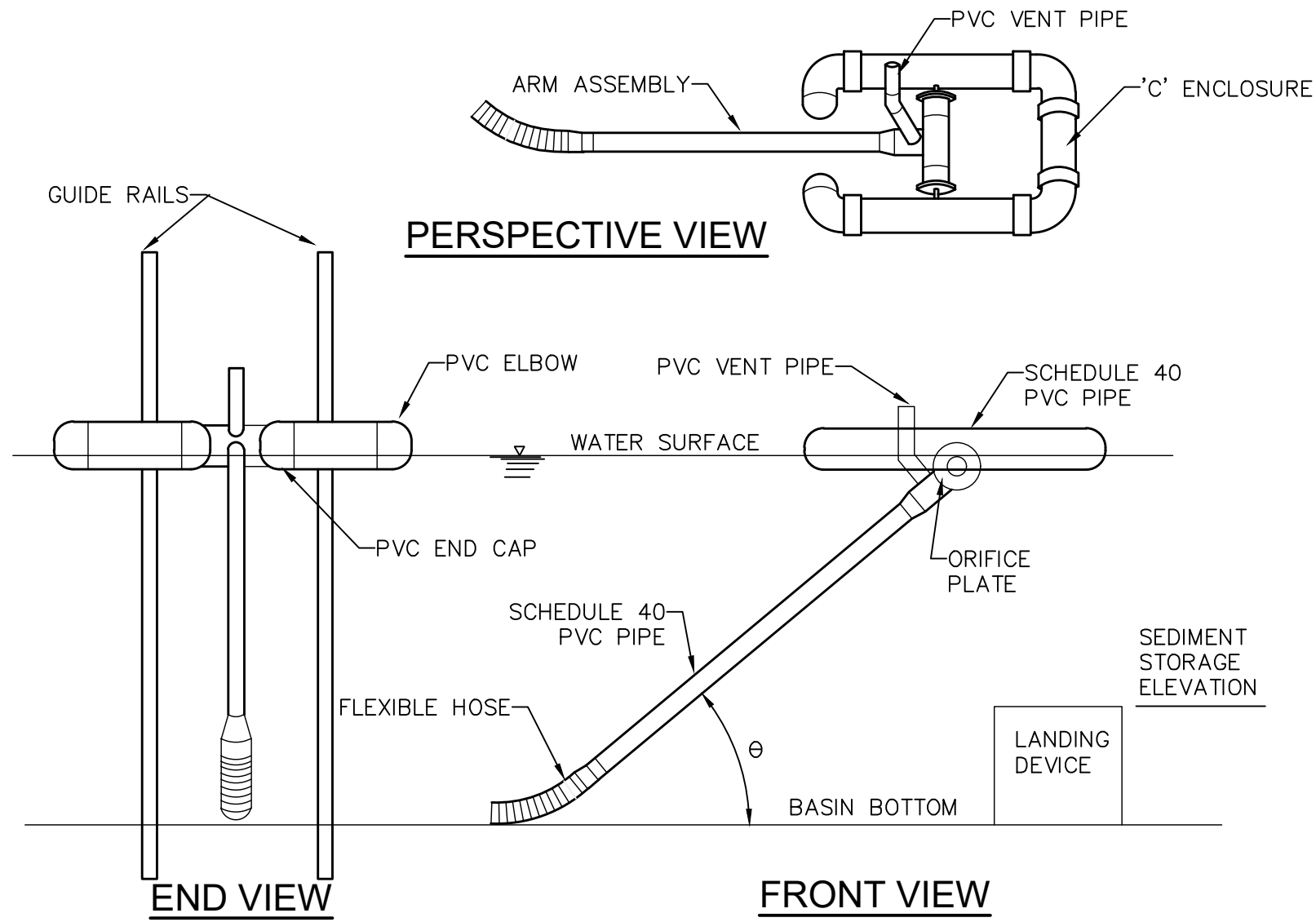
DESIGNED BY JPK/CKS/CMR/RDP/ZHR	DRAWING CHECKED BY BGS/ZHR
DRAWN BY SCR/CKS/RAM	SHEET
DATE 12/19/2024	34
SCALE AS NOTED	OF 46
PROJ. NO. WDEV00004	

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PROJECT INFORMATION:
FILE PATH: C:\Projects\WDEV\00004\Plans\
FILE NAME: WDEV00004-DTL.dwg
DATE: 03 Apr 2025, 5:03PM
LAST SAVE BY: Czarzelewski

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BASIN NO.	WATER SURFACE ELEVATION (FT)	ARM LENGTH (FT)	ARM DIA. (IN)	ORIFICE DIA. (IN)	TOP OF LANDING DEVICE ELEVATION (FT)	FLEXIBLE HOSE LENGTH (IN)	FLEXIBLE HOSE ATTACHMENT ELEVATION (FT)
A	360.80	10	3.0	2.40	357.90	48	357.00

NOTES:

ORIFICE DIAMETER MUST BE EQUAL TO OR LESS THAN ARM DIAMETER

A ROPE SHALL BE ATTACHED TO THE SKIMMER ARM TO FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.

SKIMMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.

ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED SO AS TO ALLOW THE SKIMMER TO RESPOND TO FLUCTUATING WATER ELEVATIONS.

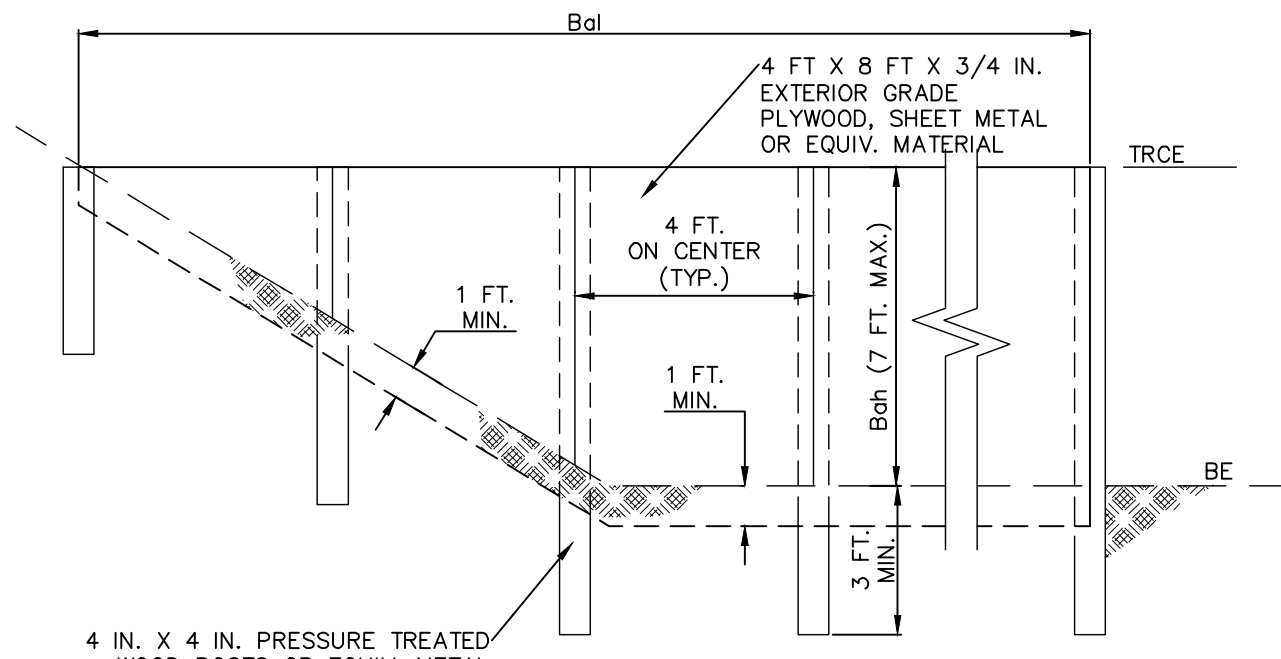
SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE LANDING DEVICE.

A SEMI-CIRCULAR LANDING ZONE MAY BE SUBSTITUTED FOR THE GUIDE RAILS (STANDARD CONSTRUCTION DETAIL # 7-3).

STANDARD CONSTRUCTION DETAIL #7-1

SKIMMER

NOT TO SCALE



BASIN OR TRAP NO.	BAFFLE LENGTH Bsl (FT)	BAFFLE HEIGHT Bbh (FT)	TEMPORARY RISER CREST ELEV. TRCE (FT)	BOTTOM ELEV. BE (FT)
1	200	3.80	360.80	357.00

NOTES:

SEE APPROPRIATE BASIN DETAIL FOR PROPER LOCATION AND ORIENTATION.

AN ACCEPTABLE ALTERNATIVE IS TO INSTALL A SUPER SILT FENCE AT THE BAFFLE LOCATION

IN POOLS WITH DEPTHS EXCEEDING 7', THE TOP OF THE PLYWOOD BAFFLE DOES NOT NEED TO EXTEND TO THE TEMPORARY RISER CREST. SUPER SILT FENCE BAFFLES NEED NOT EXTEND TO TRCE ELEVATION.

BAFFLES SHALL BE TIED INTO ONE SIDE OF THE BASIN UNLESS OTHERWISE SHOWN ON THE PLAN DRAWINGS.

SUBSTITUTION OF MATERIALS NOT SPECIFIED IN THIS DETAIL SHALL BE APPROVED BY THE DEPARTMENT OR THE LOCAL CONSERVATION DISTRICT BEFORE INSTALLATION.

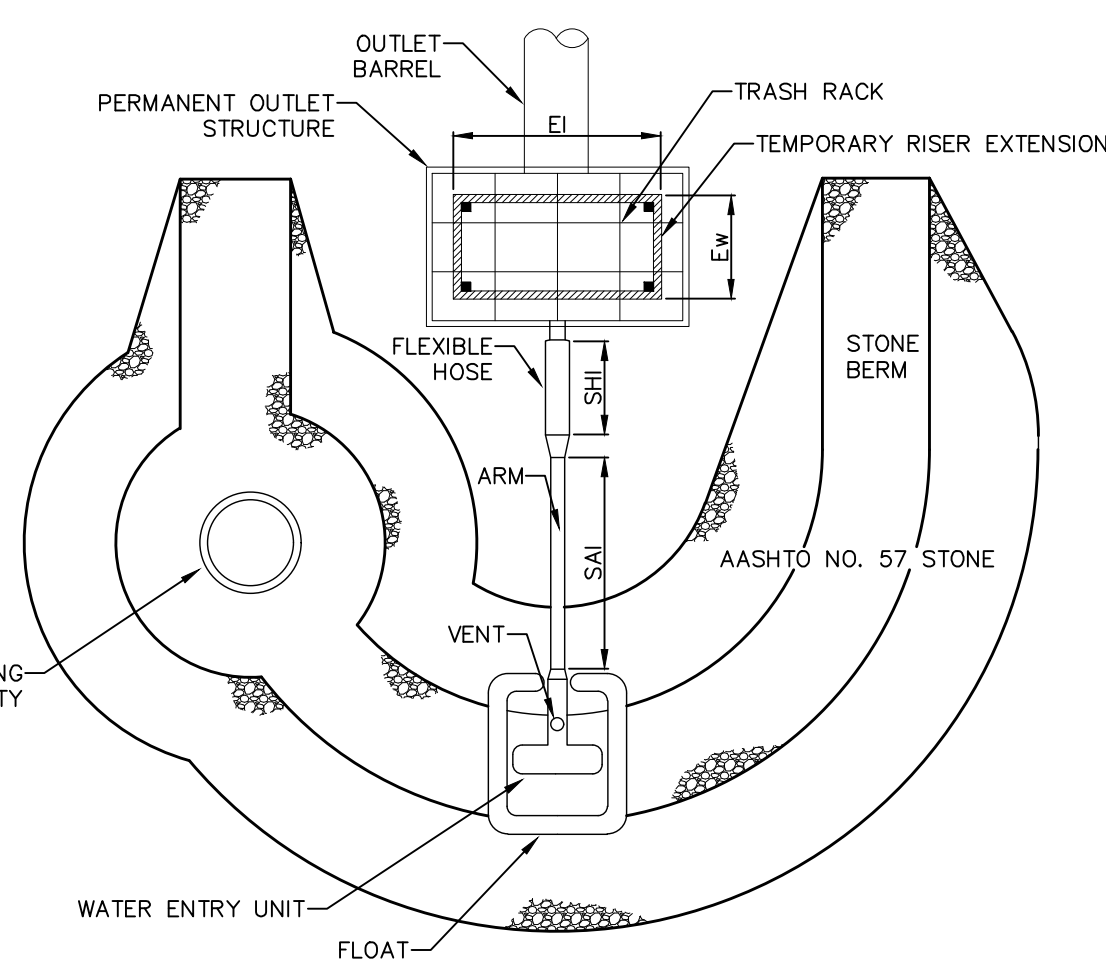
DAMAGED OR WARPED BAFFLES SHALL BE REPLACED WITHIN 7 DAYS OF INSPECTION.

BAFFLES REQUIRING SUPPORT POSTS SHALL NOT BE INSTALLED IN BASINS REQUIRING IMPERVIOUS LINERS.

STANDARD CONSTRUCTION DETAIL #7-14

BAFFLE

NOT TO SCALE



NOTES:

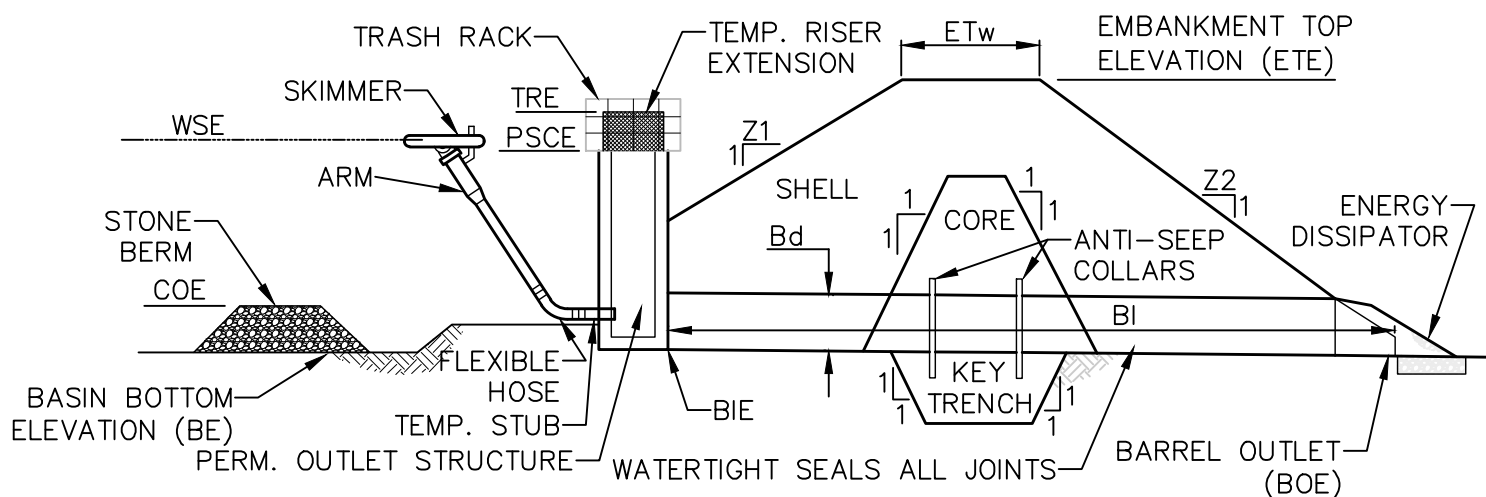
NO GUIDE RAILS SHALL BE REQUIRED FOR THIS INSTALLATION.

THIS DETAIL SHALL BE USED IN CONJUNCTION WITH STANDARD CONSTRUCTION DETAILS #7-2 AND #7-4.

STANDARD CONSTRUCTION DETAIL #7-3

SKIMMER WITH STONE LANDING BERM

NOT TO SCALE



BASIN NO.	Z1 (FT)	Z2 (FT)	TEMP RISER EXT. ELEV. TRE (FT)	TOP ELEV. ETE (FT)	EMBANKMENT TOP WIDTH Etw (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)	CLEAN OUT ELEV. COE (FT)	BOTTOM ELEV. BE (FT)
1	4	4	360.80	365.00	10	2	4	357.90	357.00

SKIMMER			OUTLET BARREL			
DIA SAd (IN)	LENGTH SAI (FT)	MAT'L	DIA Bd (IN)	INLET ELEV BIE (FT)	LENGTH BI (FT)	OUTLET ELEV BOE (FT)
3	10	PVC	24	351	RCP	346.50

NOTES:

SEDIMENT BASINS, INCLUDING ALL APPURTENANT WORKS, SHALL BE CONSTRUCTED TO THE DETAIL AND DIMENSIONS SHOWN ON THE E&S PLAN DRAWINGS.

AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL. IN ORDER TO FACILITATE MAINTENANCE AND RESTORATION, THE POOL AREA SHALL BE CLEARED OF ALL BRUSH, TREES, AND OBJECTIONABLE MATERIAL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS.

UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED, MULCHED, BLANKETED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.

INSPECT ALL SEDIMENT BASINS ON AT LEAST A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. PROVIDE ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES. A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH BASIN. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE BASIN IN THE MANNER DESCRIBED IN THE E&S PLAN.

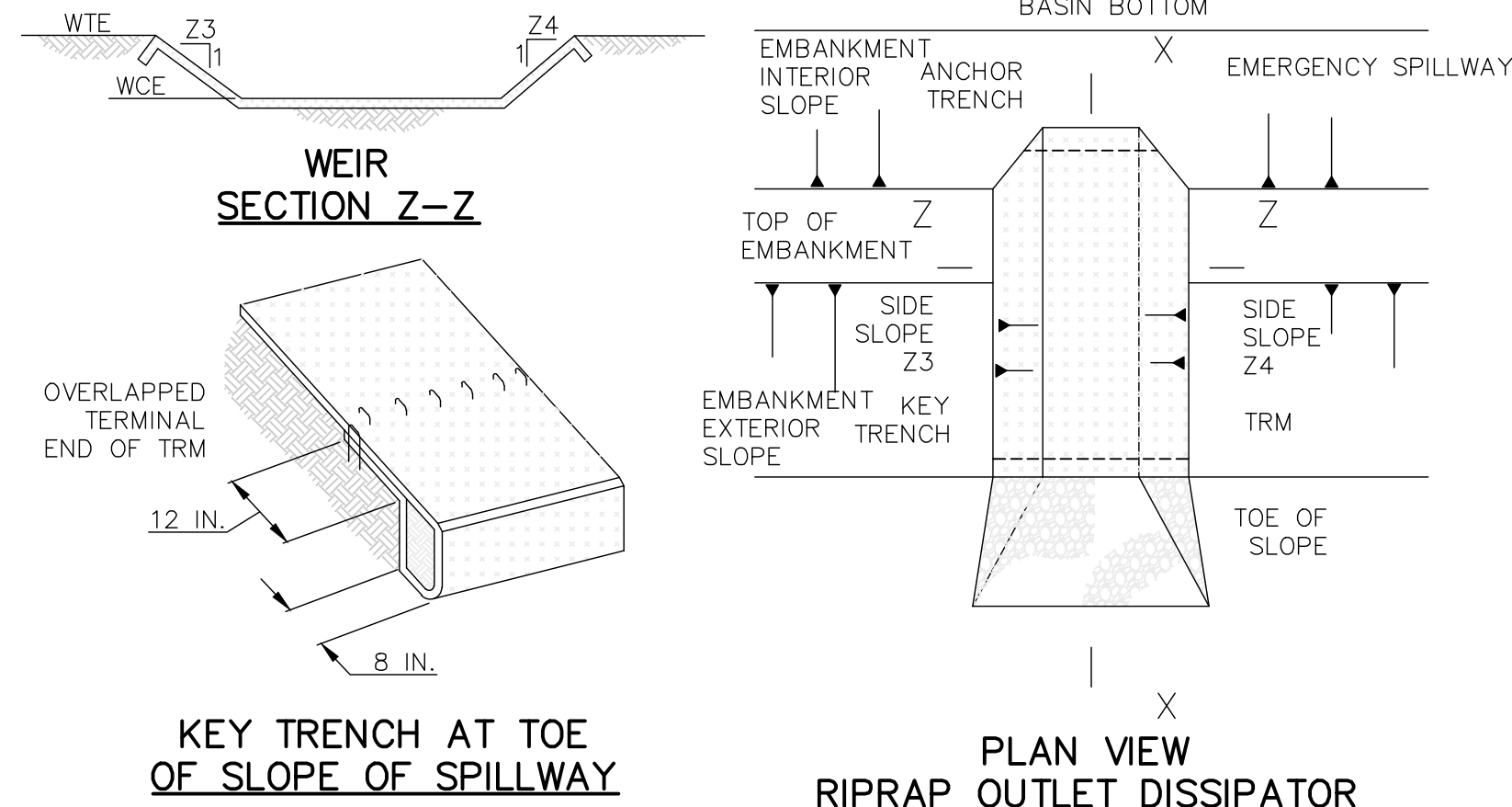
BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS SHALL BE INSPECTED FOR EROSION, PIPING AND SETTLEMENT. NECESSARY REPAIRS SHALL BE IMMEDIATELY. DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIPATOR SHALL BE REPLACED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE STABILIZED INSIDE THE BASIN BEFORE CONVERSION TO A STORMWATER MANAGEMENT FACILITY. THE DEVICE SHOWN IN STANDARD CONSTRUCTION DETAIL #7-16 MAY BE USED TO DEWATER SATURATED SEDIMENT PRIOR TO ITS REMOVAL. ROCK FILTERS SHALL BE ADDED AS NECESSARY.

STANDARD CONSTRUCTION DETAIL #7-4

SEDIMENT BASIN EMBANKMENT AND SPILLWAY DETAILS - SKIMMER

NOT TO SCALE



EMBANKMENT SECTION ALONG EMERGENCY SPILLWAY

SECTION X-X

BASIN NO.	Z3 (FT)	Z4 (FT)	TOP ELEV WTE (FT)	CREST ELEV WCE (FT)	WIDTH Ww (FT)	TRM TYPE	STAPLE PATTERN	Z5 (FT)	DEPTH Cd (FT)	LENGTH Dl (FT)	WIDTH Dw (FT)	RIPRAP SIZE (R-...)	RIPRAP THICK. DRT (IN)
1	4	4	365.00	363.75	155	C350	E	4	N/A	N/A	N/A	N/A	N/A
1	4	4	365.00	363.50	20	C350	E	4	N/A	N/A	N/A	N/A	N/A

NOTES:

HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.

DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

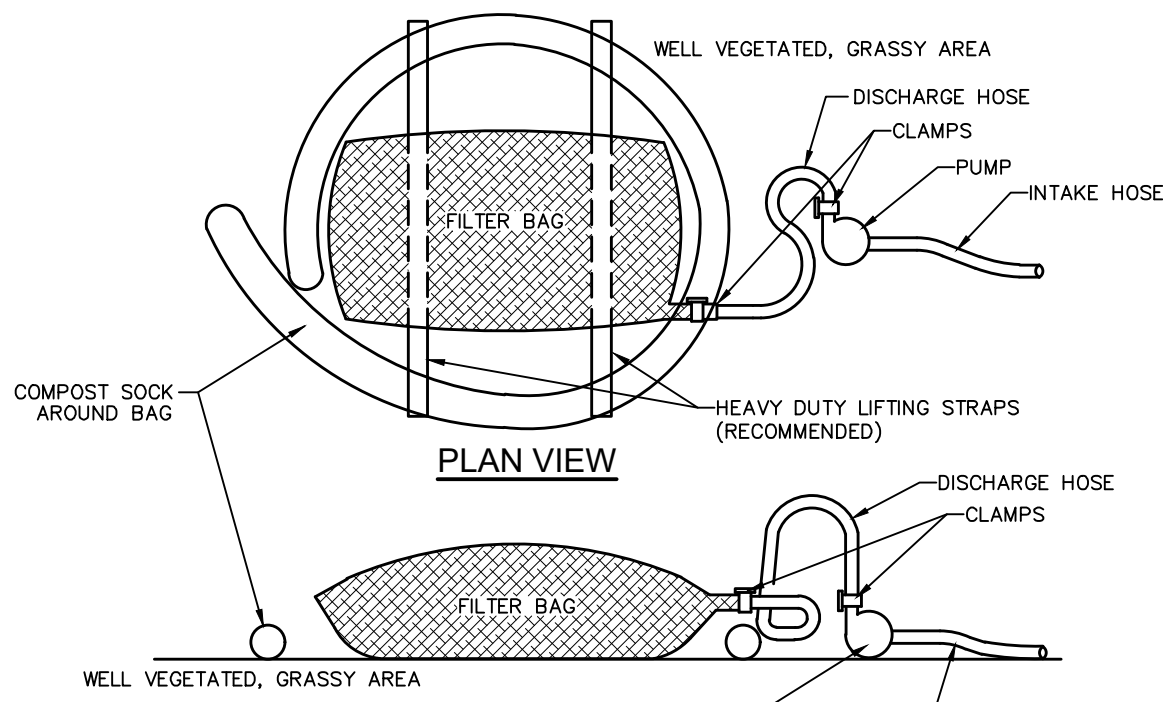
RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.

THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

STANDARD CONSTRUCTION DETAIL #7-13

SEDIMENT BASIN EMERGENCY SPILLWAY WITH TRM LINING

NOT TO SCALE



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4896	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ASS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16

PUMPED WATER FILTER BAG W/ COMPOST SOCK

NOT TO SCALE

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER

12/19/2024

LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076404

COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

EROSION AND SEDIMENT CONTROL DETAILS-1

DESIGNED BY
JPK/CKS/CMR/ROP/ZHR

CHECKED BY
BGS/ZHR

DRAWN BY
SCR/CKS/RAM

DATE
12/19/2024

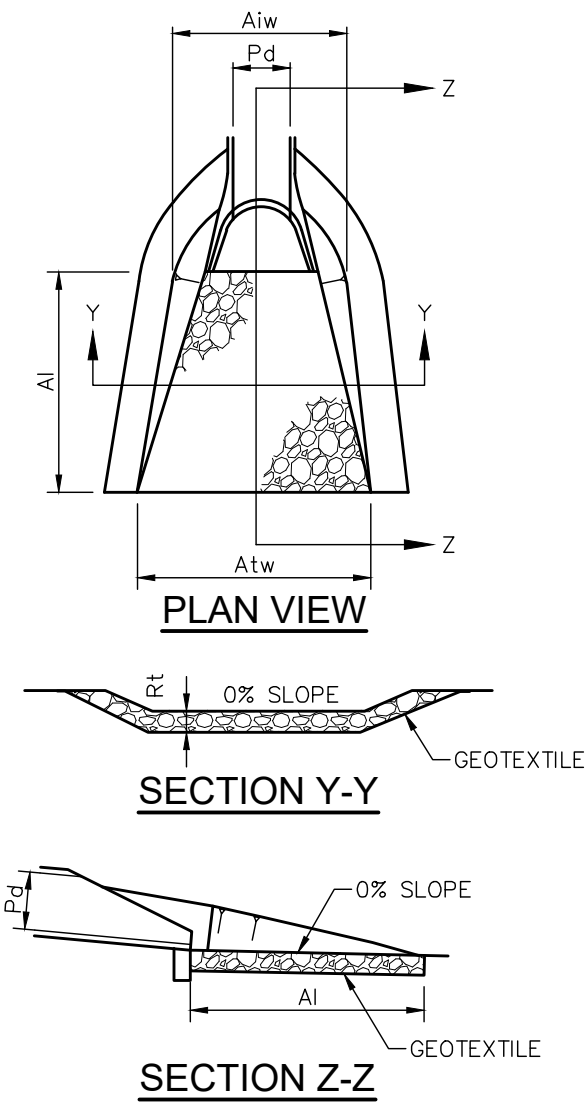
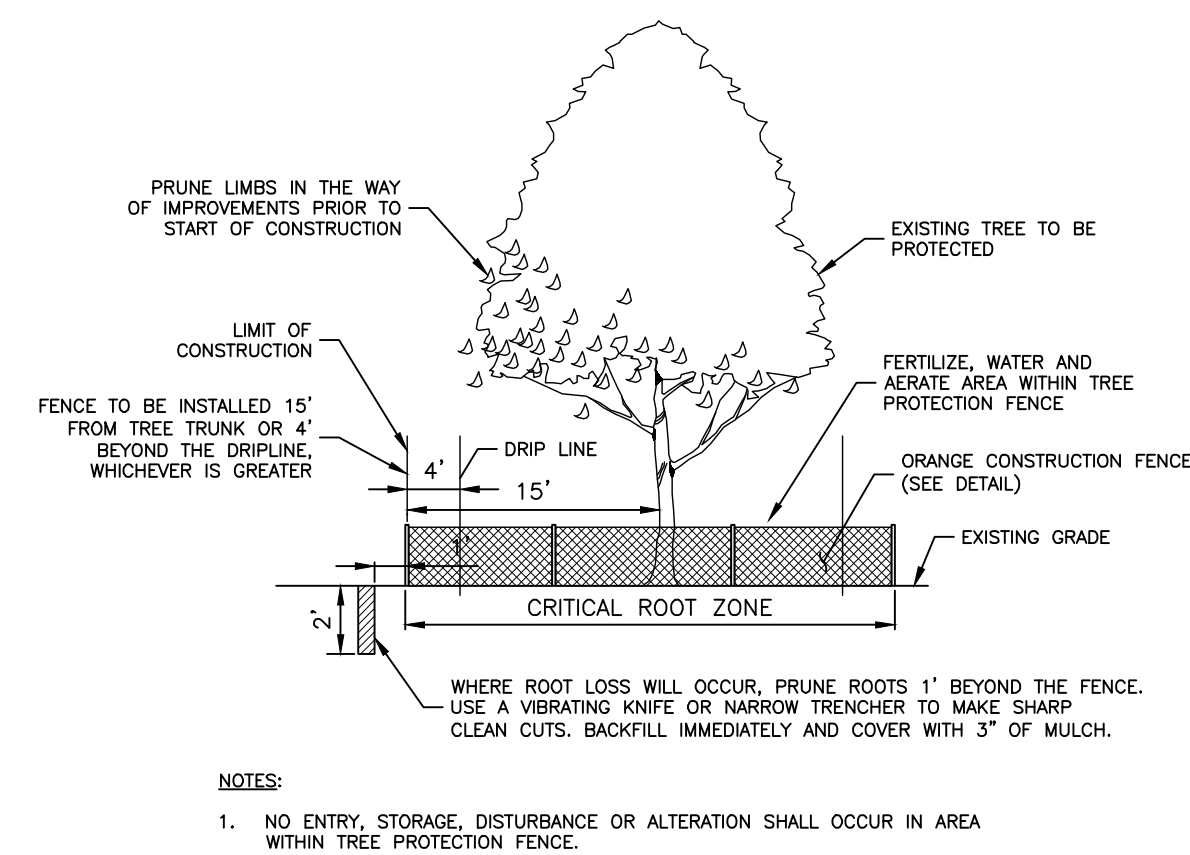
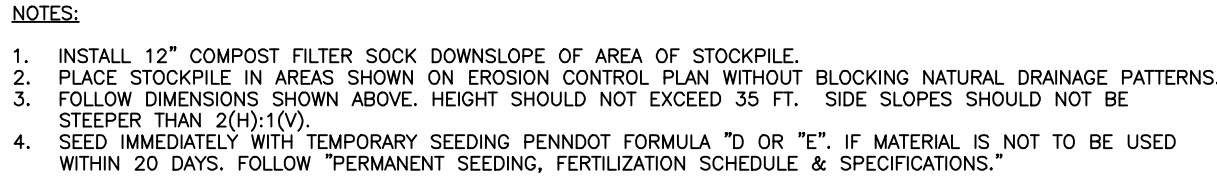
SCALE
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PROJ. NO.
WDEV00004

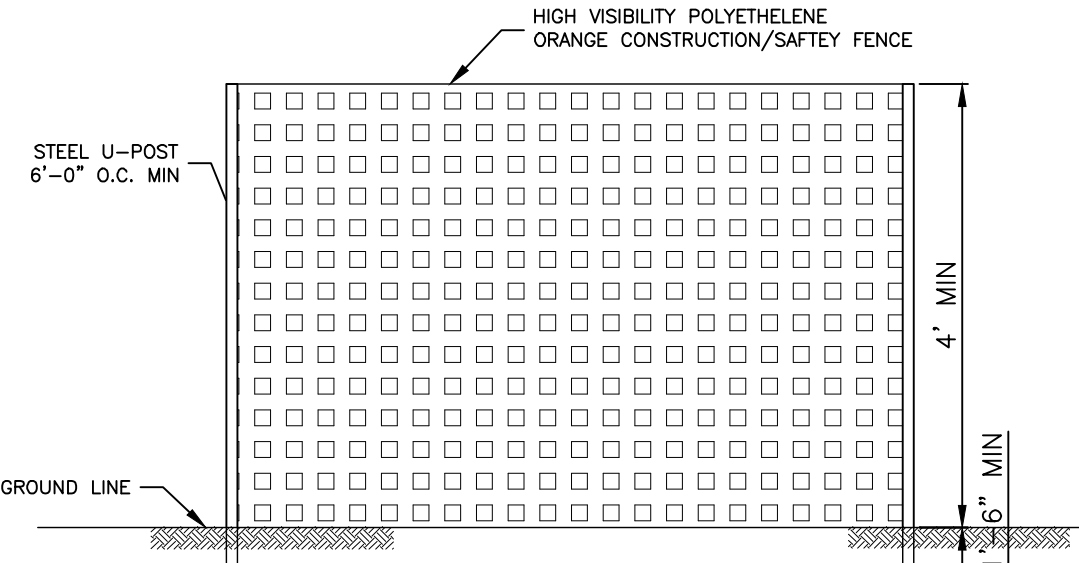
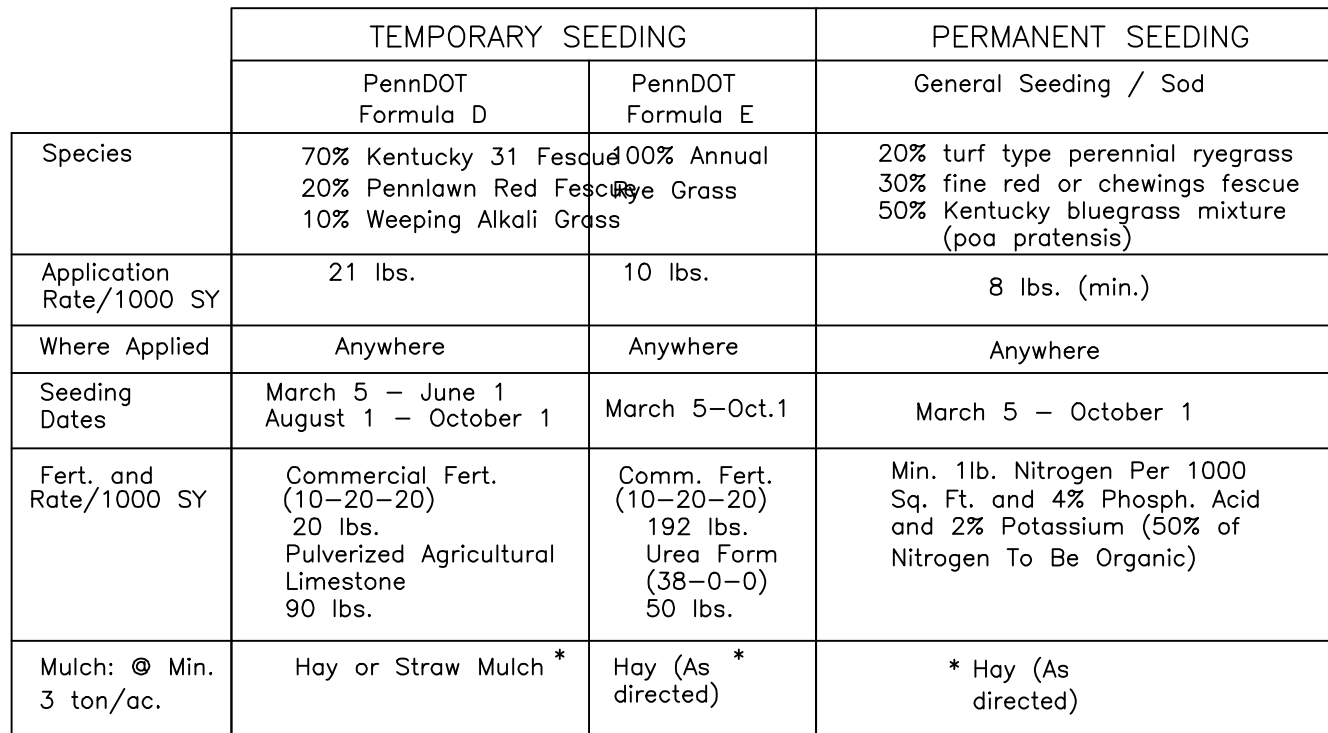
DRAWING
ENSD-1

SHEET
36

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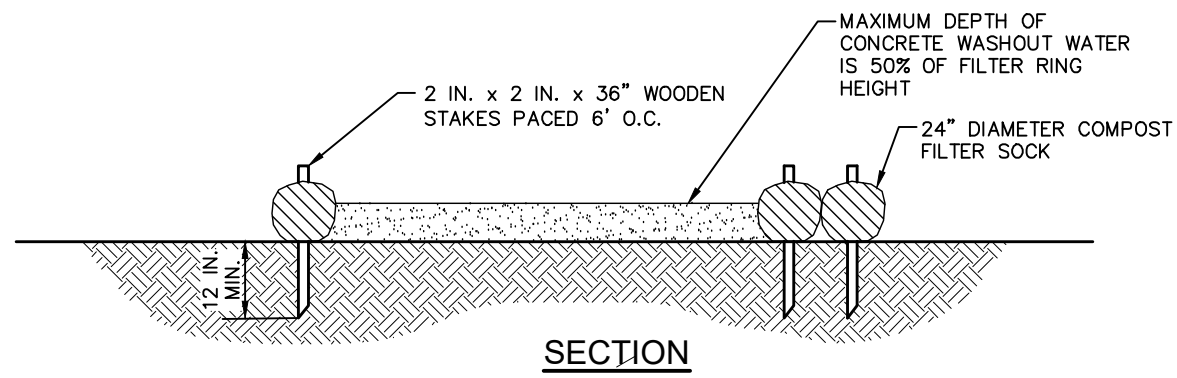


OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE R—	THICK, Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
A1	24	R-5	27	16	6	13
B1	24	R-5	27	8	6	10
S2	30	R-5	27	12	8	13
A2	24	R-5	27	8	6	10

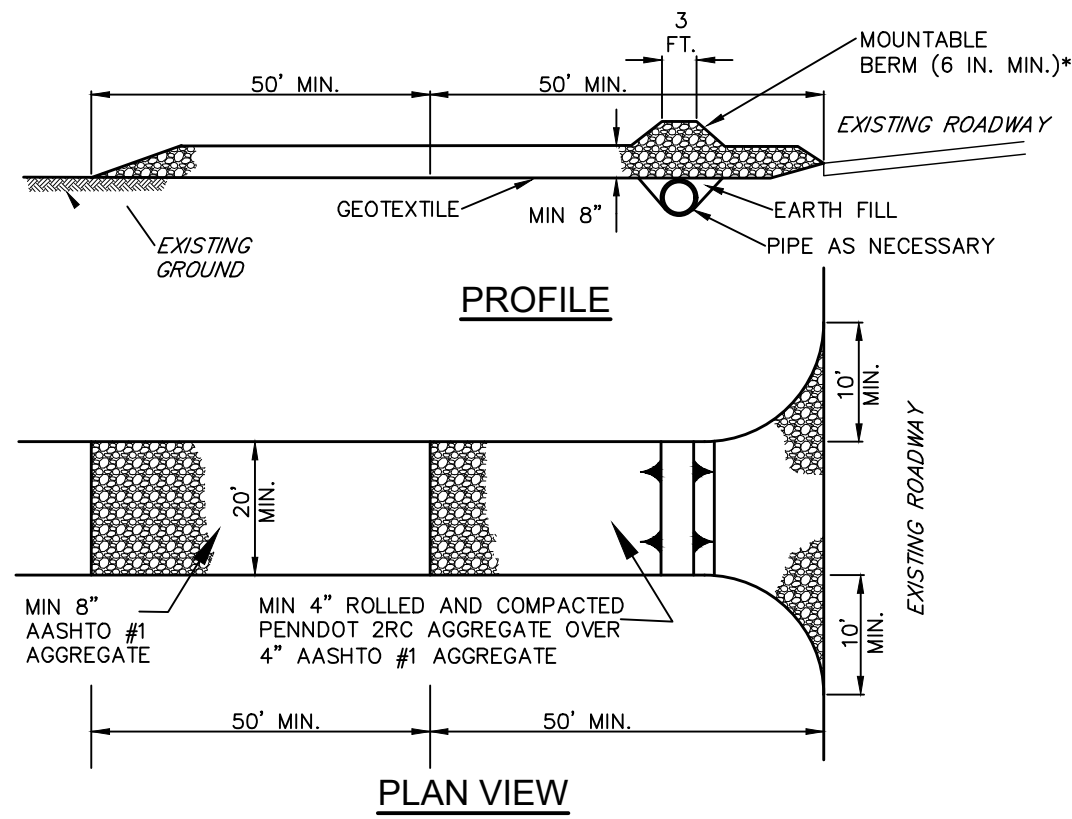
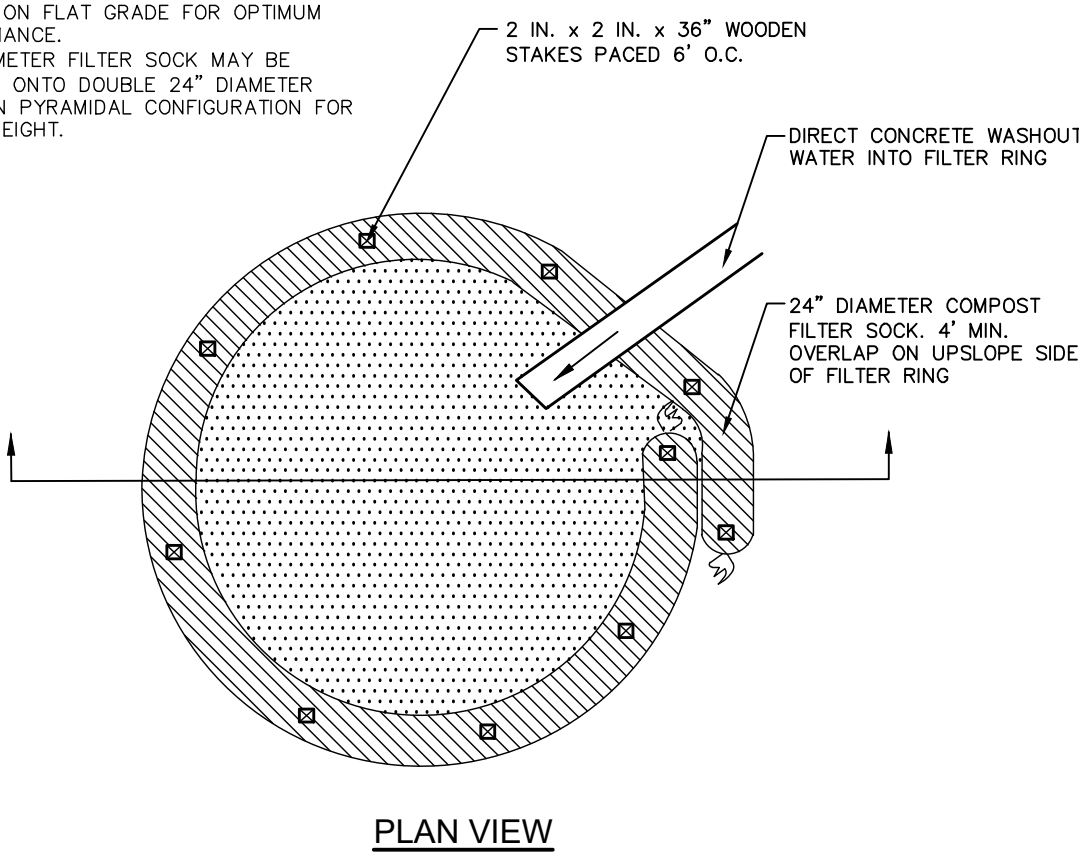


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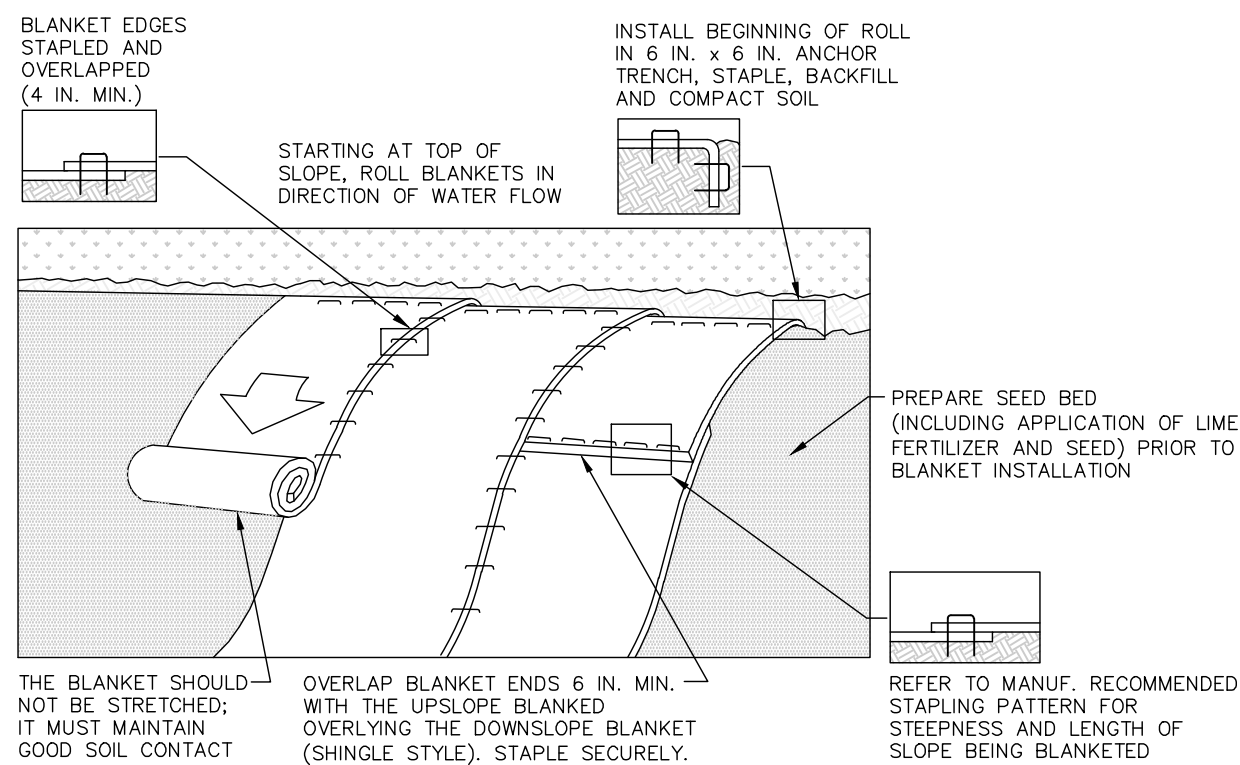
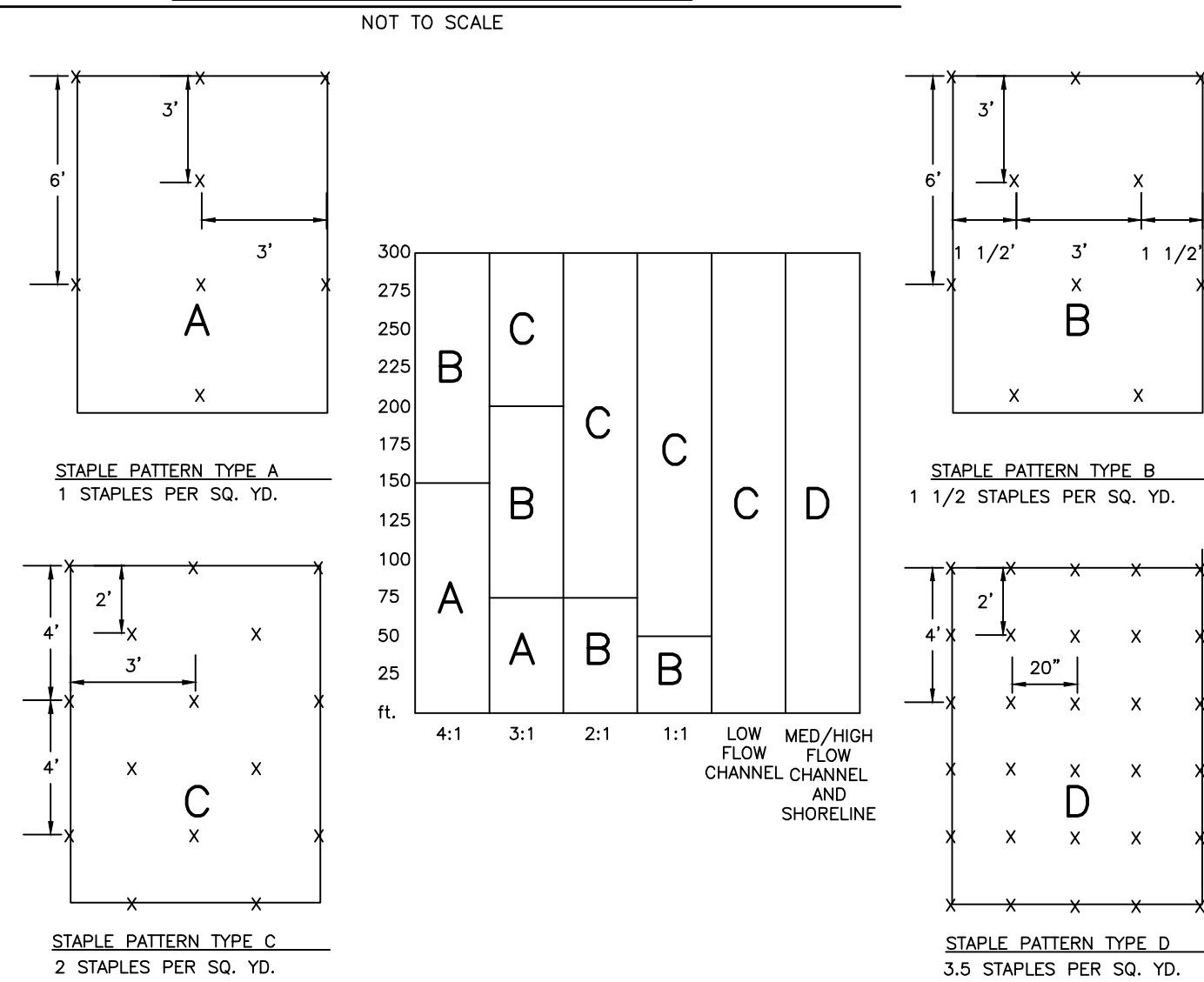
1. CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCE ALONG LIMIT OF DISTURBANCE BOUNDARY PRIOR TO THE START OF ANY EARTHMOVING.
2. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN FENCE THROUGHOUT ENTIRE DURATION OF THE PROJECT.



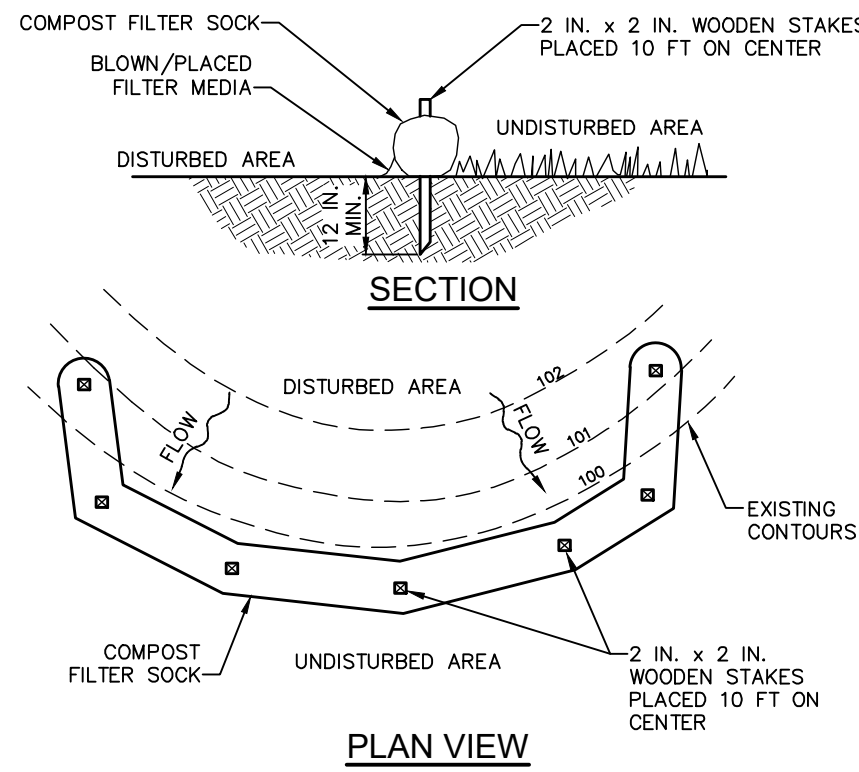
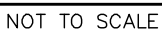
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.



MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

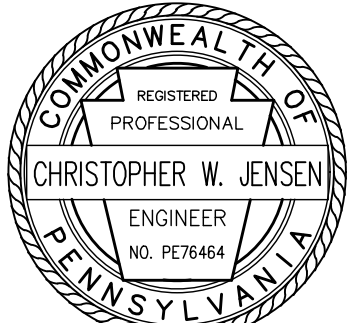


NOT TO SCALE



UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

SOCK NO.	DIAMETER (in.)	LOCATION	SLOPE (%)	SLOPE LENGTH ABOVE BARRIER (ft.)
GP1	24	SEE ESC PLANS	8.0	415
GP2	24		8.0	400
GP3	24		8.0	375
GP4	18		8.0	350
GP5	18		8.0	325
GP6	18		8.0	300
GP7	18		8.0	275
GP8	18		8.0	250
GP9	18		8.0	250
GP10	18		8.0	250
SC1	12		33.0	25
SC2	12		33.0	25
SC3	18		8.0	50
SC4	18		8.0	50
SC5	18		8.0	50
TR1	32		8.0	450
TR2	32		8.0	450
TR3	32		8.0	450
TR4	32		8.0	450
TR5	32		8.0	450
TR6	32		8.0	450
TR7	32		8.0	420
TR8	24		8.0	320
TR9	24		8.0	300
TR10	24		8.0	280
TR11	18		8.0	255



COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP,
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

EROSION AND SEDIMENT CONTROL DETAILS--2

DESIGNED BY PK/CKS/CMR/ROP/ZHR	DRAWING ENSD-2
CHECKED BY BGS/ZHR	SHEET 37 46
DRAWN BY SCR/CKS/RAM	
DATE 12/19/2024	
SCALE AS NOTED	
PROJ. NO. WDEW00004	OF

1. ALL EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS THAT SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PCSM PLAN PREPARED BY THE LOCAL CONSERVATION DISTRICT. THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY SHALL BE WRITTEN SUBRE A SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST SEVEN (7) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS INCLUDING THE TOWNSHIP ENGINEER, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST THREE (3) DAYS PRIOR TO THE START OF ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY DISTURBED, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL TAKE PLACE IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED PRIOR TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY BE COMPLETED IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OF E&S. THE LIMIT OF AREAS SHOWN ON THE PLAN MAPS UNLESS REQUIRED TO MINIMIZE DISTURBANCE.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN IN THE AMOUNTS NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. TOPSOIL SHOULD CONTAIN ABOUT 45% GENERAL MATERIAL, 50% OPEN SPACE, AND 5% ORGANIC MATERIAL. TABLE 11.1 (CONTIGUOUS SHEET) GIVES THE QUANTITIES OF TOPSOIL FOR VARIOUS DEPTHS. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND RECYCLED OR DISPOSED IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE CHAPTER 102, 271 ET SEQ. AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THIS SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON TO SITE IS CERTIFIED CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A LIQUID OR SOLID OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN. UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT THE CONSTRUCTION WASTE ONTO ANY PUBLIC ROAD. VEHICLES AND EQUIPMENT MAY ENTER AND EXIT THE CONSTRUCTION SITE ONLY VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE.
15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AT LEAST EACH RUNOFF EVENT AND ON A WEEKLY BASIS. THE CONTRACTOR WILL MAINTAIN A KICK-AVAILABLE TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT. WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REPAIRING, REPAIRING, REPAIRING, REPAIRING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
16. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
17. SEDIMENT TRACKED ON ANY ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND AS NEEDED THROUGHOUT THE WORKDAY OR AS DIRECTED BY CONSERVATION DISTRICT OR MUNICIPALITY AND DISPOSED AS A MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE CONSTRUCTION OF SATISFACTORY, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
18. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN A MANNER DERIVED ON PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
19. UPON FINAL GRADING, AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON SLOPED AREAS) PRIOR TO PLACING TOPSOIL. TOPSOIL AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR (4) INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL.
20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, ETC., ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD ANY SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OF THE PROJECT, THE CONTRACTOR AND UPON RECEIPT OF CLEAN TEST RESULTS, THE OPERATOR SHALL STABILIZE THOSE AREAS DISTURBED BY THE ACTIVITIES DURING NON-GERMINATING PERIODS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AT THE RECOMMENDED RATES AND METHODS. DISTURBED AREAS WHICH ARE NOT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR SHALL BE SEEDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. DISTURBED AREAS, WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE RE-DISTURBED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION, CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
28. EROSION AND SEDIMENT CONTROLS (BMP'S) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS. EROSION AND SEDIMENT BMPs SHALL REMAIN IN PLACE UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL OR CONVERSION OF THE E&S BMPs. TEMPORARY CONTROLS MAY BE REMOVED ONLY UPON APPROVAL OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING CONSTRUCTION PRIOR TO REMOVAL OF THE E&S BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVALS/CONVERSIONS ARE TO BE DONE ONLY DURING GERMINATING SEASON.
31. FAILURE TO CORRECTLY INSTALL SEDIMENT CONTROL FACILITIES OR FAILURE TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTIONS TO RESOLVE FAILURES OF SEDIMENT CONTROL FACILITIES MAY RESULT IN ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE CLEAN WATER ACT OF PENNSYLVANIA. AS CLEANUP OF THE E&S BMPs FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
32. IN THE EVENT OF SINKHOLE DISCOVERY OR OCCURRENCE, A PROFESSIONAL GEOLOGIST OR ENGINEER SHALL BE CONTACTED CONCERNING MITIGATION. ADDITIONALLY, THE MONTGOMERY COUNTY CONSERVATION DISTRICT SHALL BE IMMEDIATELY MADE AWARE OF THE SINKHOLE DISCOVERY.
33. THE CONTRACTOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
34. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25 PA. CODE CHAPTER 102, ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE II, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
35. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROWN.
36. THE OPERATOR / PERMITTEE SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS (BMPs) AND RELATED ITEMS INCLUDED WITHIN THIS PLAN AND NARRATIVE.
37. EROSION AND SEDIMENT BMP CONTROLS MUST BE CONSISTENT WITH STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL" DATED MARCH 2012.
38. ALL EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE MAINTAINED IN THE APPROVED DESIGN CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL THE DESIGN AREA IS STABILIZED.
39. SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE OPERATOR TO ELIMINATE ALL SUCH PROBLEMS.
40. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE CONTRACTOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT.
41. THE CONTRACTOR SHALL NOTIFY THE MONTGOMERY COUNTY CONSERVATION DISTRICT PRIOR TO ANY CESSATION IN EARTHMOVING ACTIVITIES OF MORE THAN TWENTY (20) DAYS.
42. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE APPLICABLE COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
43. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
44. HAY OR STRAW MULCH MUST BE APPLIED TO ALL SEEDED AREAS AT 3.0 TONS PER ACRE (SEE TABLE 11.6 ON THIS SHEET).
45. CLEAN FILL AND TOPSOIL STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
46. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.
47. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER, WITHIN 50 FEET OF A SURFACE WATER, AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE

VISUAL INSPECTIONS

1. THE PERMITEE AND CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE RAINFALL EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND/OR DEMOLITION. THE PERMITEE SHALL ACKNOWLEDGE THE NOTICE OF TERMINATION (NOT BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL. THE REQUESTOR SHALL BE WRITTEN IN ERROR OF THE NOTICE TO ASCERTAIN THAT E&S BMPs AND PCSM BMPs ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THIS COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE LOGGED ONTO DEP FORM 150-FIM-BWE0083 DATED 2/2012 AND KEPT ON SITE AT ALL TIMES.

NONCOMPLIANCE REPORTING

WHEN E&S PCSM OR PCS BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION OR ANY OTHER TIME, THE PERMITEE AND CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, AND FOLD OUT THE REQUESTOR'S ADDRESS AND PHONE NUMBER. WITHIN 10 DAYS OF THE INITIAL CONTACT, NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:

- 1) ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION;
- 2) THE PERIOD OF NONCOMPLIANCE, INCLUDING THE EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE;
- 3) STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE; AND
- 4) THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

REDUCTION, LOSS, OR FAILURE OF THE BMPs

UPON REDUCTION, LOSS, OR FAILURE OF THE BMPs, THE PERMITEE AND CO-PERMITTEE(S) SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPs OR PROVIDE AN ALTERNATE METHOD OF TREATMENT. SUCH RESTORED BMPs OR ALTERNATE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMPs.

RECYCLING OR DISPOSAL METHODS

1. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL MATERIALS THAT ARE NOT PERMITTED BY THE DEPARTMENT AND ALL APPLICABLE MUNICIPAL OR OTHER GOVERNMENT AGENCY CURRENT REGULATIONS INCLUDING BUT NOT LIMITED TO: THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 282.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
2. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN ON THE PROPERTY, DEMOLISHED OR EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE. MATERIALS SLATED FOR REMOVAL FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ANY AND ALL APPLICABLE MUNICIPAL OR OTHER GOVERNMENTAL AGENCY CURRENT REGULATIONS.
3. DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE ON THE JOB-SITE. DUST AND DIRT SHALL BE HELD TO A MINIMUM DURING DEMOLITION, BY WETTING DOWN, AS REQUIRED, ON SITE. BURNING OF MATERIALS WILL NOT BE PERMITTED. AT THE COMPLETION OF WORK, THE ENTIRE AREA INVOLVED SHALL BE CLEAN AND LEFT IN A NEAT CONDITION, FREE OF RUBBISH AND DEBRIS.
4. RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE SHALL BE UNDERTAKEN IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
5. SEDIMENT REMOVED FROM CONTROL FACILITIES AS A PART OF REGULAR MAINTENANCE SHALL BE DISPOSED OF UPSLOPE OF CONTROL FACILITIES IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
6. REFER TO THE SITE / RECORD PLAN FOR ADDITIONAL NOTES.

RESPONSIBILITIES FOR FILL MATERIALS

1. THE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ANY NECESSARY FILL MATERIAL ASSOCIATED WITH THIS PROJECT SHALL BE OBTAINED FROM A REGULATED SUBSTANCE. THE OPERATOR, IN ACCORDANCE WITH PADEP'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258-2182-773, A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.DEFWEB.STATE.PA.US.
2. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSED, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, GRAVEL, CLAY, LIME, DIRT, CRUSHED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM THE WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIAL PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
3. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST BE MANAGED IN ACCORDANCE WITH THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN PADEP'S POLICY "MANAGEMENT OF FILL".
4. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE PADEP FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE OBTAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT WWW.DEFWEB.STATE.PA.US.
5. ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY RECORDS, SALES RECORDS, ENVIRONMENTAL RECORDS, ENVIRONMENTAL TRANSACTION SCREEN, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
6. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF PADEP'S POLICY "MANAGEMENT OF FILL".
7. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. FILL THAT IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE MUNICIPAL OR RESIDUAL WASTE REGULATIONS IN 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
8. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SIPPING, EROSION OR EXCESS SATURATION.
9. REFER TO SITE / RECORD PLAN FOR ADDITIONAL NOTES.

1. THE OPERATOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES. THE OPERATOR SHALL BE RESPONSIBLE FOR THE PLAN HEREWITH. THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS OPERATIONS TO MINIMIZE EROSION OF SOILS AND TO PREVENT SILTING AND MUDDING OF STREAMS, RIVERS AND DRAINAGE SYSTEMS.
2. EROSION AND SEDIMENTATION POLLUTION CONTROL SPECIALISTS' CONTACTS:
MONTGOMERY COUNTY CONSERVATION DISTRICT: (610) 925-4920
PADEP SOUTHEAST REGIONAL OFFICE (484) 250-5900
3. ALL EROSION AND SEDIMENTATION POLLUTION CONTROL MEASURES MUST REMAIN IN PLACE UNTIL THE SITE IS STABILIZED, REGARDLESS IF CONSTRUCTION IS TAKING PLACE OR NOT.
4. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT POLLUTION CONTROL MEASURES (BMPs) MUST BE PROPERLY MAINTAINED. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. A WRITTEN REPORT OF EACH INSPECTION SHALL BE LOGGED INTO DEP FORM 3150-FM-BWE0083 DATED 12/1/94. THE REPORT MUST BE KEPT ON THE SITE. ADDITION TO THE REQUIRED MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RETAINMENT, MUST BE PERFORMED IMMEDIATELY IF EROSION CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT CONTROLS OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
5. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPE AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
6. SEEDED AREAS THAT WASH OUT MUST BE FILLED AND GRADED AS NECESSARY, AND THEN RESEEDED, AN ANCHORING METHOD SHOULD THEN BE USED TO HOLD SEED AND MULCH IN PLACE, THIS IS ESPECIALLY PORTANT AROUND WATER COURSES, IN SWALES, AND AREAS OF CONCENTRATED FLOWS, AND ON SLOPES.
7. IN THE EVENT OWNERS OF THE PROPERTY OR THE OPERATOR FAILS TO PROPERLY MAINTAIN THE CONTROL FACILITIES, THE TOWNSHIP SHALL HAVE THE RIGHT TO ENTER SAID AREA AND PERFORM THE REQUIRED MAINTENANCE AFTER PROPER NOTIFICATION OF THE OWNERS.
8. IN THE EVENT THAT THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE MONTGOMERY COUNTY CONSERVATION DISTRICT, THE MUNICIPALITY OR THE TOWNSHIP DETERMINE THAT THE EROSION CONTROL MEASURES OR PROCEDURES BEYOND THOSE SHOWN OR DESCRIBED ARE NECESSARY TO CONTROL OR CORRECT CONDITIONS WHICH WERE UNFORESEEN OR UNANTICIPATED, THE OPERATOR SHALL BE RESPONSIBLE TO IMPLEMENT ADDITIONAL CONTROLS, MEASURES OR PROCEDURES AS IS DEEMED REASONABLY NECESSARY AND WARRANTED.
9. NO SEDIMENT, STONES OR DEBRIS SHALL BE TRACKED ON TO SURROUNDING ROADS. ANY SEDIMENT THAT IS TRACKED ONTO THE SURROUNDING ROADS MUST BE CLEANED OFF BEFORE THE END OF THE DAY. EXCESSIVE MECHANICAL WEAR AND TEAR TO THE FILTER SHALL BE RESPONSIBLE TO THE TOWNSHIP OF THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND TOWNSHIP ENGINEER.
10. ANY FILTER FABRIC FENCE, WHICH HAS BEEN UNDERMINED OR TOPPED, MUST BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLETS.
11. ANY SOIL BORROW OR SPOIL SITES, ON OR OFFSITE SHALL HAVE AN APPROVED AND IMPLEMENTED EROSION CONTROL PLAN BY THE MONTGOMERY COUNTY CONSERVATION DISTRICT. TRANSPORTATION OF ANY EXCESS MATERIALS TO ANY OTHER SITE, OR THE DUMPING OF SOILS OFF SITE AND OTHER DISTURBANCES ARE KEPT TO A MINIMUM.
12. THE TOWNSHIP SHALL PERIODICALLY AND ESPECIALLY AFTER HEAVY RAINFALL, INSPECT CONTROL FACILITIES FOR PROPER FUNCTION. FACILITIES SHALL BE REPAIRED IF DAMAGES OR MALFUNCTIONING OR REPLACED AS NECESSARY. MAINTENANCE OF ALL CONTROL FACILITIES SHALL CONTINUE UNTIL THE ENTIRE AREA TRIBUTARY TO THE FACILITY IS STABILIZED.
13. THE MONTGOMERY COUNTY CONSERVATION DISTRICT MUST BE CONTACTED PRIOR TO REMOVAL OF ANY EROSION AND SEDIMENTATION CONTROL DEVICE SUCH AS: FILTER FABRIC, ROCK FILTER OUTLETS, SLOTTED PIPE, INLET PROTECTION, TEMPORARY CHANNELS, ETC. TEMPORARY CONTROLS MAY BE REMOVED ONLY AFTER A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A MINIMUM DEPTH OF 12 INCHES, HAS BEEN ESTABLISHED AND SEDIMENTATION HAS BEEN ACHIEVED ACROSS THE UPSLOPE AREAS.

TO THE START OF THE YEARLY DISTURBANCE ACTIVITIES, PLEASE NOTE THE FOLLOWING AVOIDANCE MEASURE:

THE PROJECT IS LOCATED IN THE VICINITY OF THE NORTHERN LONG-EARNE BAT SPRING STAGING/FALL SWARMING HABITAT. TO ENSURE TAKE IS NOT REASONABLY CERTAIN TO OCCUR, DO NOT CONDUCT TREE REMOVAL FROM MAY 15 TO AUGUST 15.

SEQUENCE OF CONSTRUCTION

1. INSTALL GP AND TR SERIES PERIMETER COMPOST FILTER SOCK SEGMENTS.

CRITICAL STAGE – INSPECT PERIMETER COMPOST SOCK

2. INSTALL ROCK CONSTRUCTION ENTRANCES 1 AND 2. CUT IN CONSTRUCTION ENTRANCES AT PROPOSED GRADE, STOCKPILE EXCAVATION AT LOCATIONS INDICATED.

3. CONSTRUCT TROOPER ROAD CURBING AND STORM SEWER FROM EXISTING INLET T1 UP TO PROPOSED INLET TR. DISTURB NO MORE EARTH IN A DAY WHICH CAN BE STABILIZED AT END OF EACH DAY WITH TOPSOIL, SEED AND EROSION BLANKETS FOR PERMANENTLY VEGETATED AREAS. CONSTRUCT BACKFILL FOR ROADWAY AREAS. INSTALL AND MAINTAIN INLET PROTECTION AS INLETS ARE PLACED. INSTALL CURBING.

CRITICAL STAGE – INSPECTION OF TROOPER ROAD IMPROVEMENTS

4. CONSTRUCT STORMWATER COLLECTION AREA AT G22-T11-S1-A1 NEXUS. MAKE STORM SEWER CONNECTION TO G1 AND T1. EXCAVATE AREA, INSTALL RETAINING WALL AND PIPE STUBS THROUGH WALL AT S1 AND A1, AND HEADWALLS T11 AND G2. STABILIZE SURROUNDING SURFACES EXTERNAL TO THE COLLECTION AREA WITH EROSION BLANKETS AS INDICATED. INSTALL RIP-RAP WITHIN THE COLLECTION AREA. INSTALL COMPOST FILTER SOCK BERM IN FRONT OF HEADWALLS G2 AND T11.

CRITICAL STAGE – INSPECT STORMWATER COLLECTION AREA THAT IT IS STABILIZED AND ONLINE.

5. INSTALL STORM SEWER FROM S1 UP TO S3 AND HEADWALL S3.1.

6. CRITICAL STAGE – INSPECT STORM SEWER RUN FROM S3.1 TO S1 THAT IT IS ONLINE AND CAN RECEIVE RUNOFF FROM THE S-SERIES DIVERSION SYSTEM.

7. CONSTRUCT THE S4 TO S9 STORM SEWER AND DIVERSION SWALE FROM DOWNSTREAM TO UPSTREAM. SIMULTANEOUSLY CUT IN EMBANKMENT TO CONSTRUCT RETAINING WALL BETWEEN S4-S9 STORM SEWER AND INLET BLOCKS AND SIMILARLY AND SIMULTANEOUSLY INSTALL STORM SEWER AND DIVERSION SWALES FROM T9 TO T12 AROUND THE NORTH, BEHIND UNIT BLOCK 5. CONSTRUCT STORM SEWER INCREMENTALLY FROM STRUCTURE TO STRUCTURE WORKING FROM DOWNSTREAM TO UPSTREAM. DAILY STABILIZE SWALES WITH BOTH RIP-RAP BOTTOM LINING, AND TOPSOIL, SEED AND EROSION CONTROL BLANKETS ON SIDE SLOPES. EVERY EFFORT SHALL BE MADE TO WORK IN CONDITIONS WHERE THERE IS NO RAIN OR FLOOD FOR AT LEAST 48 HOURS. SWALES SHOULD BE EXCEEDED WHAT CAN BE STABILIZED DAILY. AS SWALES ARE CONSTRUCTED, THEY WILL RECEIVE AND MUST BE STABLE AND ABLE TO CONVEY RUNOFF FROM OFFSITE. INSTALL TRASH RACKS ON INLETS AND HEADWALLS UPON PLACEMENT.

CRITICAL STAGE – INSPECT SWALE S3.1 TO S9 SYSTEM AND T12 TO TR SYSTEM., THAT THEY ARE STABLE AND IN PERMANENT CONFIGURATION, AND ASSOCIATED RETAINING WALL SYSTEMS BELOW ARE PROPERLY CONSTRUCTED.

8. GERMANTOWN PIKE WIDENING MAY OCCUR AT THIS STAGE, OR AT ANY STAGE HEREAFTER. BOX CUT WIDENING FROM TROOPER INTERSECTION UPHILL, DO NOT DISTURB GRASS WHEN PRECIPITATION IS FORECAST. DAILY STABILIZE TOPSOIL, SEED AND EROSION BLANKETS FOR PERMANENTLY VEGETATED AREAS, AND AT A MINIMUM, STONE OR BITUMINOUS BINDER COURSE FOR ROADWAYS. CONSTRUCT STORM SEWER FROM TROOPER INTERSECTION TO T12. INSTALL INLET PROTECTION ON STORM SEWER STUBS UPON INLET PLACEMENT.

9. BEGIN CONSTRUCTION OF SEDIMENT BASIN 1 OVER FOOTPRINT OF PERMANENT STORMWATER MANAGEMENT BASIN SYSTEM 001. REMOVE TOPSOIL AND STOCKPILE SEPARATELY. EXCAVATE TO CREATE BASIN VOLUME INCLUDING TEMPORARY EROSION CONTROL GRADING WITHIN SEDIMENT BASIN. CONSTRUCT BERM, BASIN SLOPE, INLET, DRAIN, DRIVES UP FROM CONSTRUCTION ENTRANCES SIMULTANEOUSLY, SKIMMER AND LANDING PAD AND BAFFLE. BEGIN PERMANENT STABILIZATION PROCESS ON OUTSIDE BASIN BERMS WITH TOPSOIL, SEED AND EROSION CONTROL BLANKETS WHERE INDICATED ON BASIN SLOPES. STABILIZE INTERNAL SEDASIN SLOPES WITH TOPSOIL, SEED AND EROSION CONTROL BLANKETS WHERE INDICATED.

CRITICAL STAGE INSPECT SEDIMENT BASIN 1 INCLUDING TEMPORARY OPENING CONFIGURATION IN PERMANENT INLET STRUCTURE THAT IT IS ONLINE AND READY TO RECEIVE RUNOFF FROM DEVELOPMENT SITE.

10. BEGIN MASS GRADING OF SITE IN FOLLOWING ORDER: ESTABLISH DRAINAGE PATTERN INTERNAL TO SITE (FROM WALLS TO SEDIMENT BASIN) TO CONVEY RUNOFF TO SEDIMENT BASIN, TEMPORARY COMPOST SOCK DIVERSIONS SHALL BE UTILIZED TO ACHIEVE DRAINAGE PATTERNS UNTIL FINAL GRADES ACHIEVED. BOX CUT INLET, DRAIN, DRIVES UP FROM CONSTRUCTION ENTRANCES SIMULTANEOUSLY. INSTALLING STORM SEWER FROM A13 TO A5 AND B3.1 TO B1. CONTINUE INTERNAL DRIVE CONSTRUCTION INSTALLING STORM SEWER, BALANCE OF UTILITIES, AND PERMANENTLY VEGETATED AREAS. CONSTRUCT SKIMMER, BAFFLE, EXCAVATE INITIALLY SANDBAGS THEN ASPHALT BERMS AT A11-A12 AND B2-B3 TO CAPTURE RUNOFF DOWN DRIVES BEFORE IT ENTERS ROADWAYS. GRADE SWALES SURROUNDING UNITS, INSTALL SWALE LININGS. PAD OUT UNIT BLOCKS, RESERVING STORMWATER AREAS LAST. INSTALL FOUNDATIONS. BEGIN UNIT CONSTRUCTION.

11. PERFORM FINAL GRADING AND LANDSCAPING WHENEVER AND WHEREVER POSSIBLE, STABILIZE WITH TOPSOIL, SEED AND MULCH.

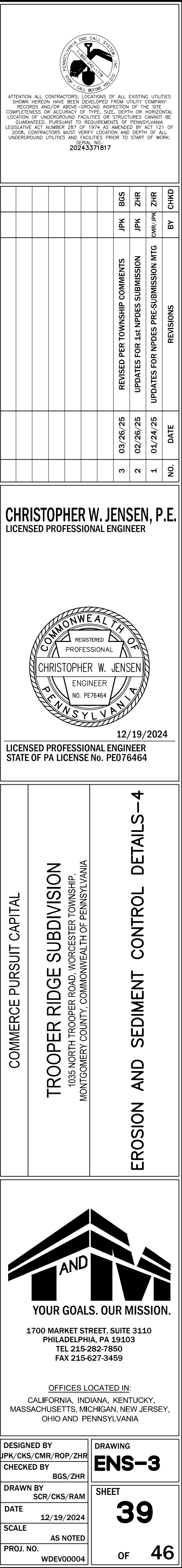
CRITICAL STAGE – INSPECT FOR 70% STABILIZATION (UNIFORM PERENNIAL GROWTH). UPON INSPECTION INCLUDING INSPECTION BY CONSERVATION DISTRICT, WITH APPROVAL, PROCEED TO BASIN CONVERSION.

12. CONVERT SEDIMENT BASIN TO PERMANENT STORMWATER MANAGEMENT FACILITY. WORK SHALL BE SCHEDULED AT TIMES OF NO FORECAST PRECIPITATION AND SHALL OCCUR INCREMENTALLY SO THAT SYSTEM IS PROTECTED AT END OF EACH DAY. FLUSH ALL STORM SEWER OF SEDIMENT AND/OR INSPECT THAT STORM SEWER IS CLEAR. CONSTRUCT PERMANENT FOUNDATIONS FOR UNIT BLOCKS. EXCAVATE FOR UNDERGROUND DETENTION INSTALLATION. INSTALL UNDERGROUND DETENTION SYSTEM INCLUDING IMPERMEABLE LINER SURROUNDING. INSTALL MRC SURFACE RAINFALL OVER UNDERGROUND DETENTION SYSTEM. CONSTRUCT IMPERMEABLE LINER. SEAL TEMPORARY OPENINGS IN OUTLET STRUCTURED FOR EROSION CONTROL WITH PERMANENT WATERTIGHT FITTINGS – SILICONE (OR APPROVED EQUAL) SEALED BOLTED METAL PLATES. INSTALL UNDERDRAIN AND MEDIA INFILL. INSTALL RAINGARDEN PLANTINGS.

CRITICAL STAGE – INSPECT PERMANENT STORMWATER BASIN CONFIGURATION, OPENING SEALS AND FUNCTION

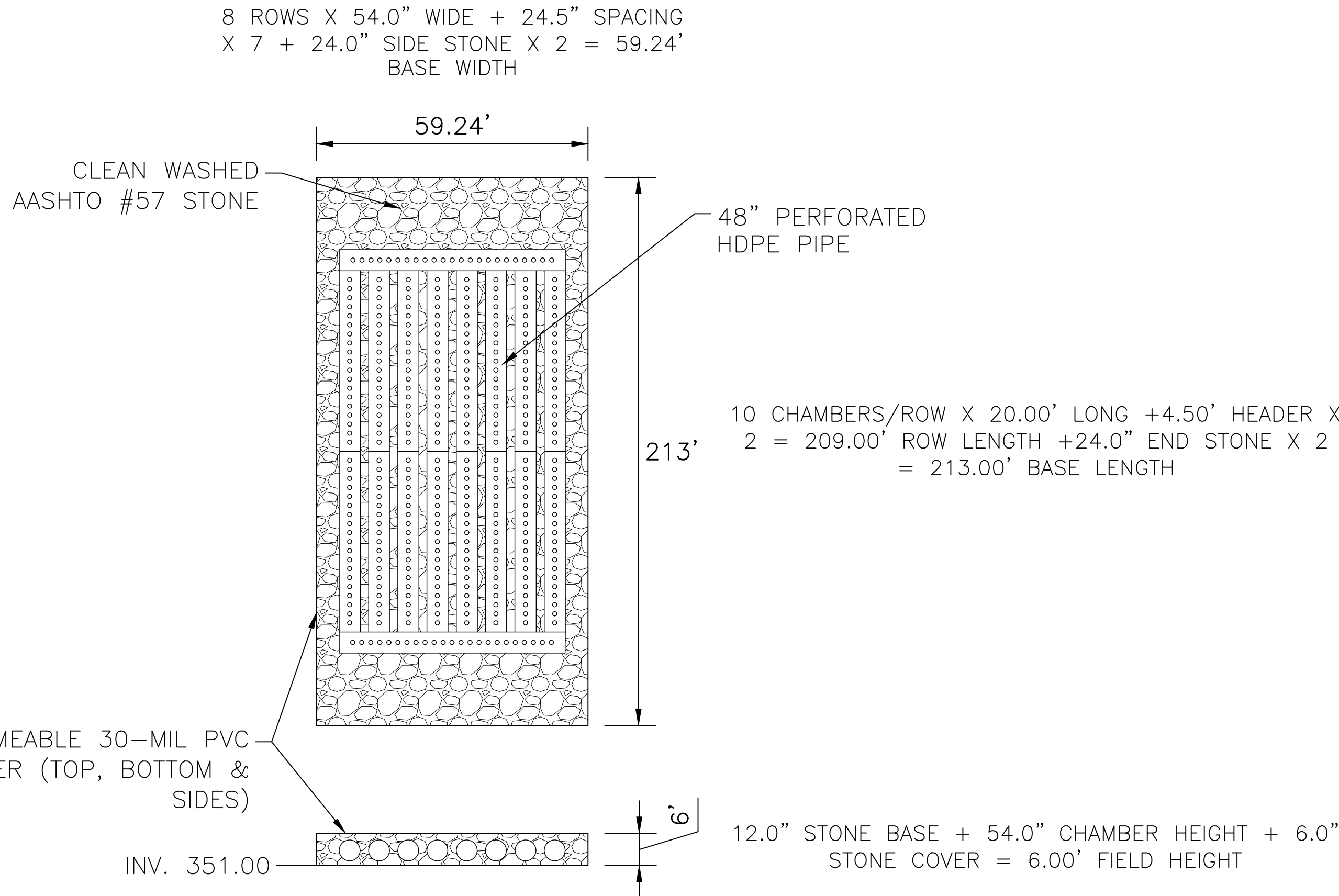
13. WHEN PERMANENT STABILIZATION IS ACHIEVED (90% UNIFORM PERENNIAL GROWTH), REMOVE REMAINING COMPOST SOCK BARRIER CONTROLS.

14. FILE NOTICE OF TERMINATION FOR NPDES PERMIT

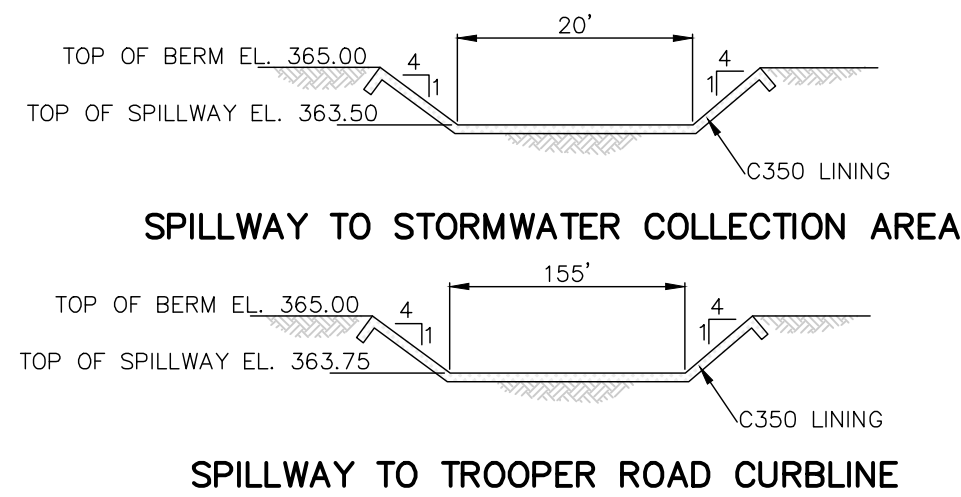


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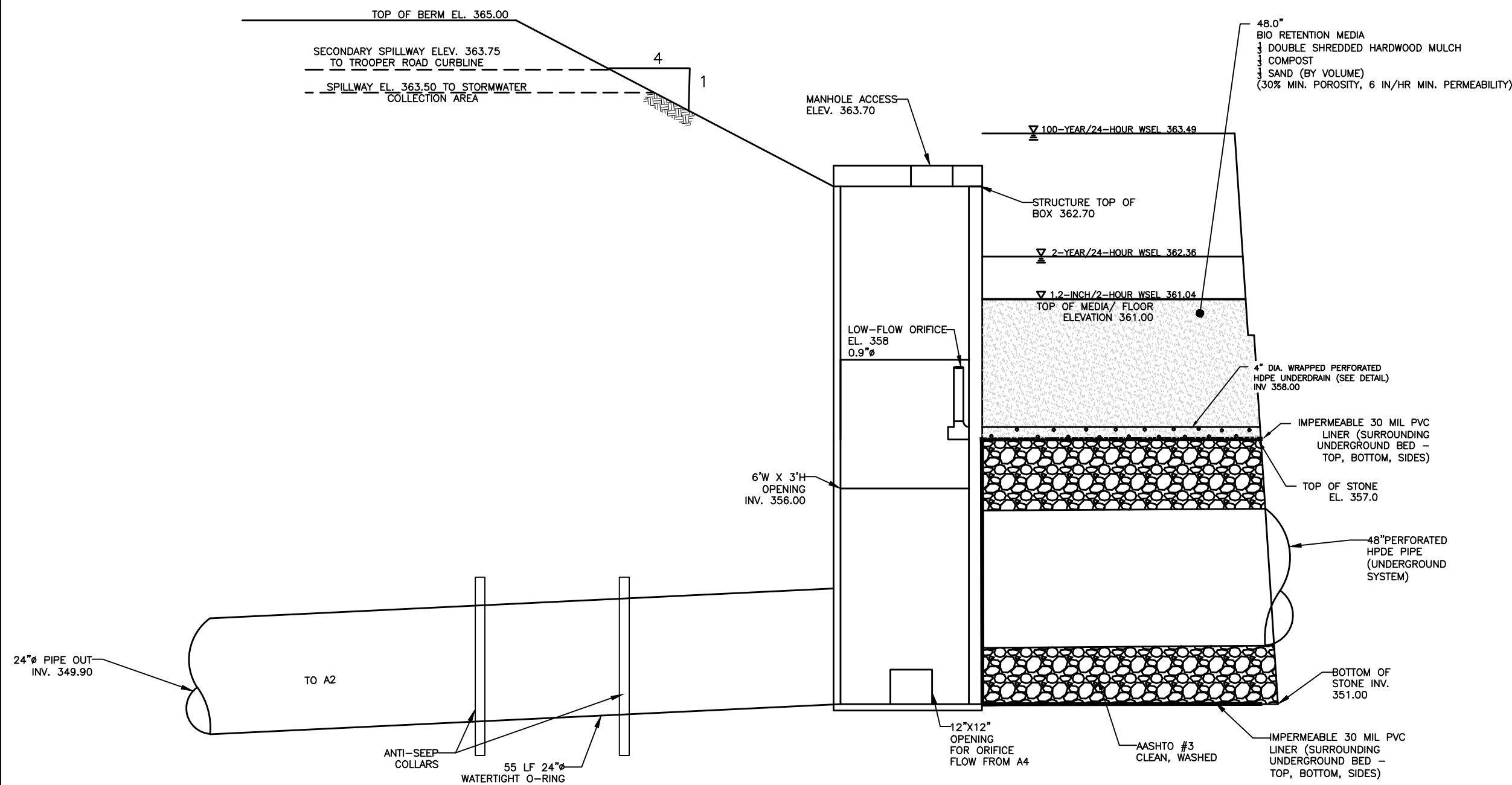
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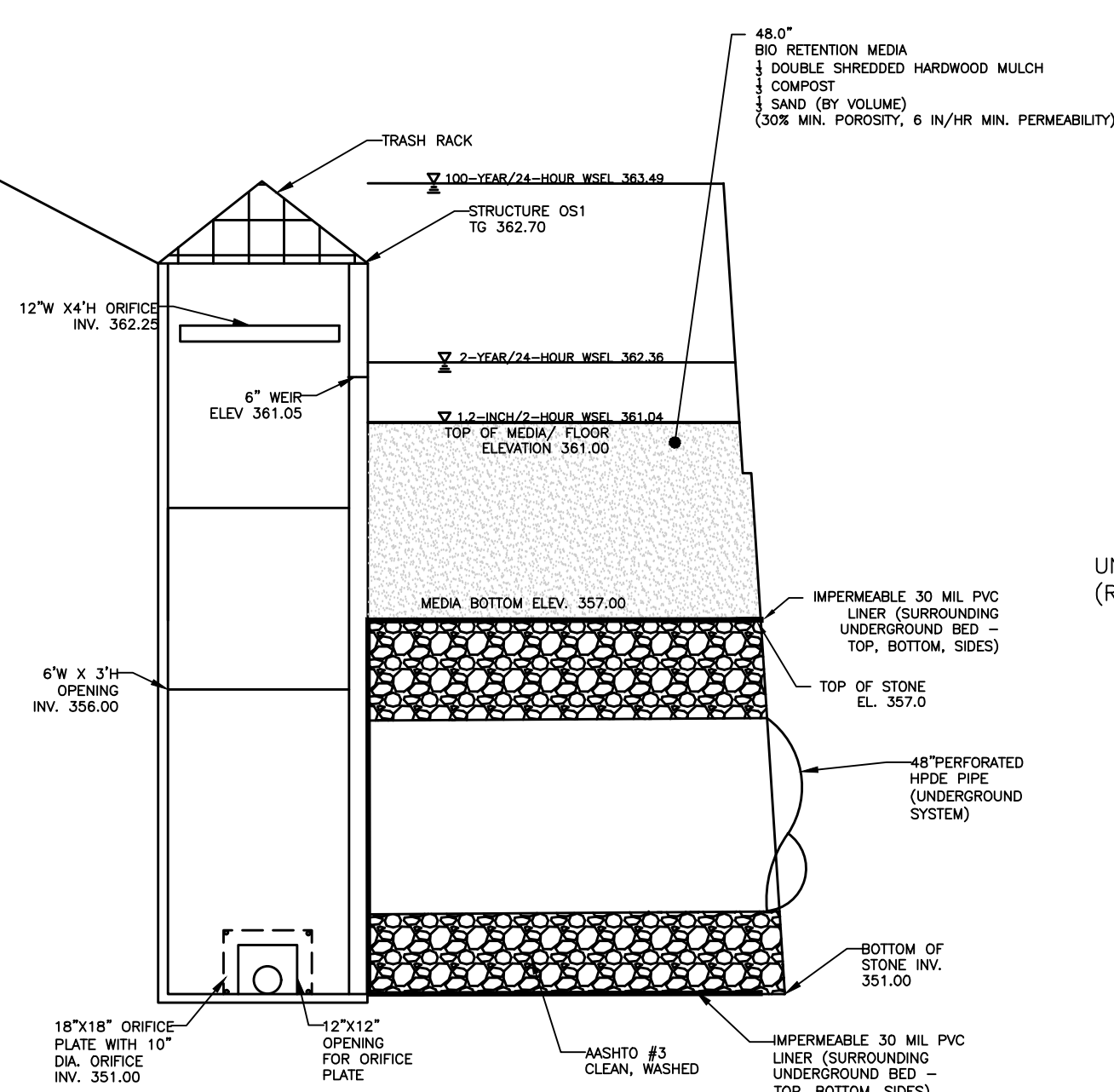
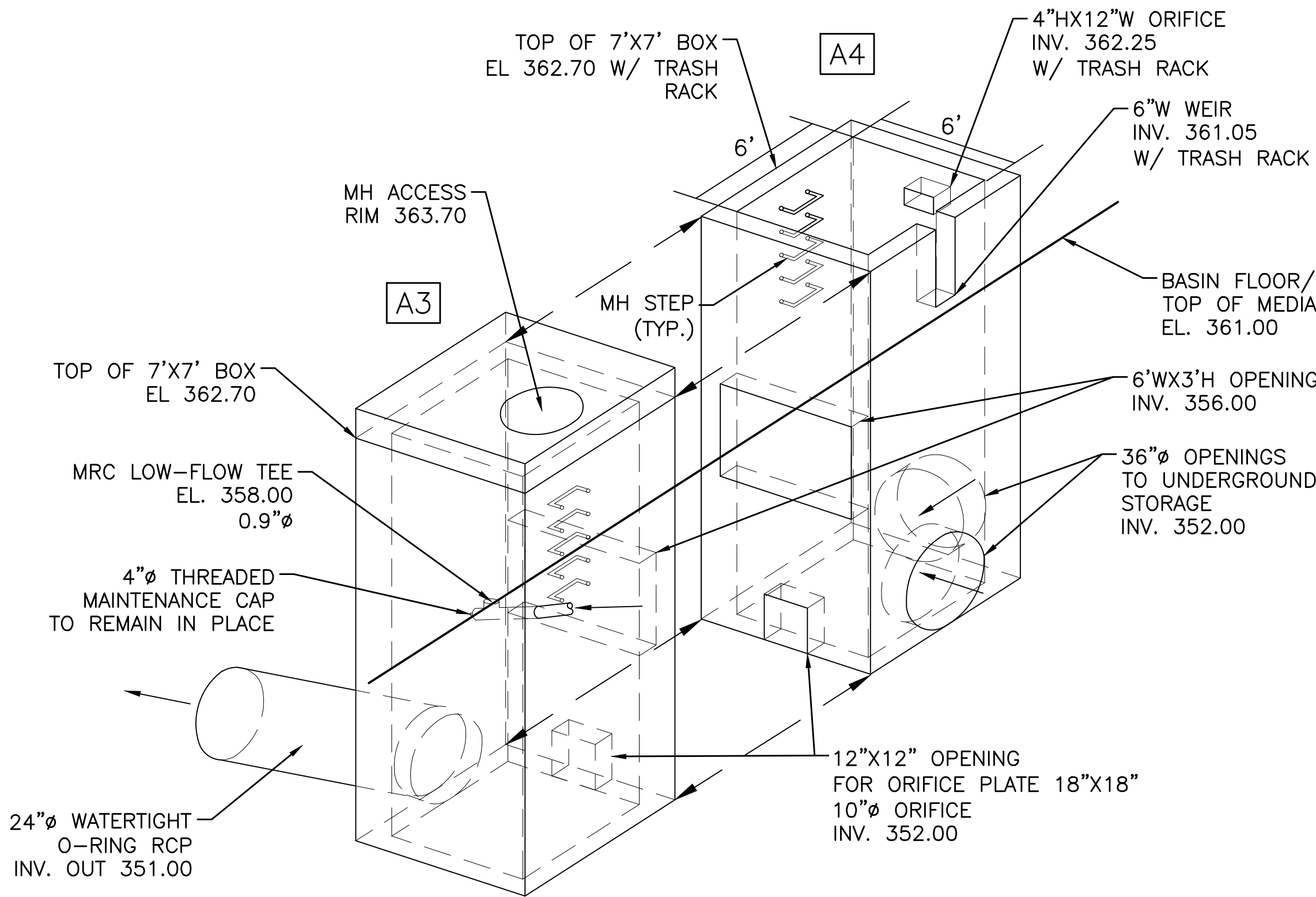
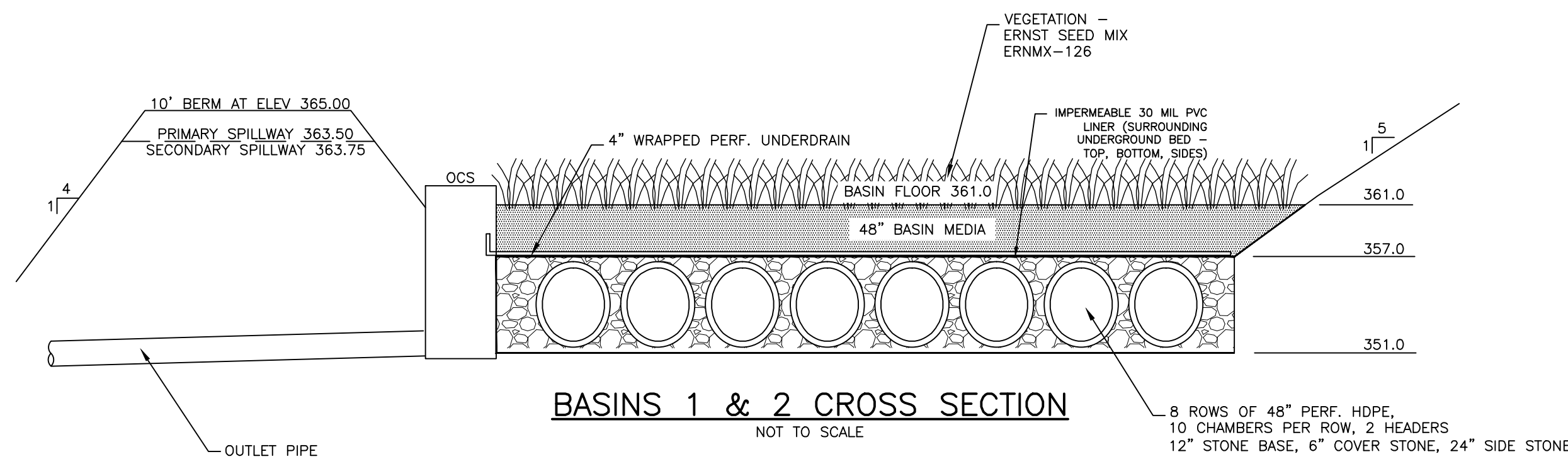
ADS N-12 PIPE & STONE BED
NOT TO SCALE



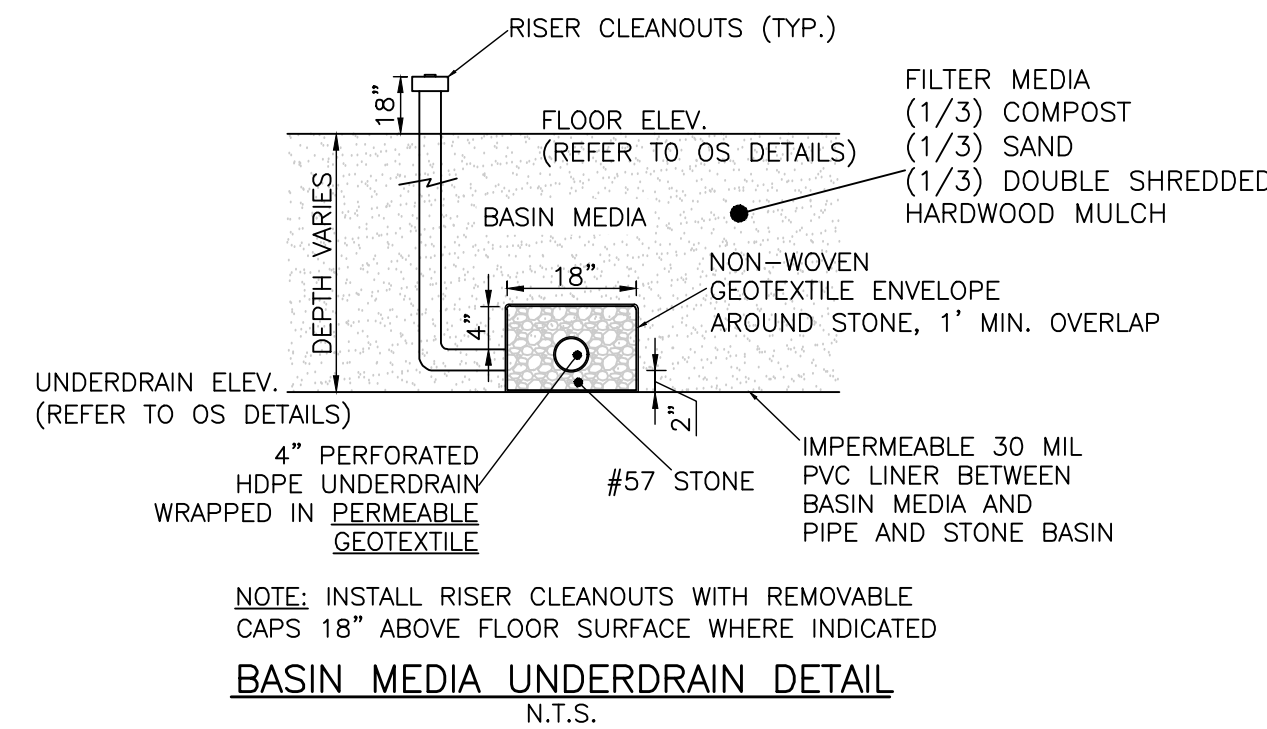
A3 OCS DETAIL - SIDE VIEW

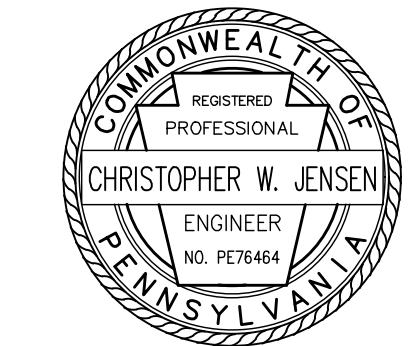


A3 OCS DETAIL - SIDE VIEW
NOT TO SCALE



A4 OCS DETAIL - SIDE VIEW
NOT TO SCALE





CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER

12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE No. PE076464

COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS-1

DESIGNED BY
JPK/CKS/CMR/RDP/ZHR

CHECKED BY
BGS/ZHR

DRAWN BY
SCR/CKS/RAH

DATE
12/19/2024

SCALE
AS NOTED

PROJ. NO.
WDEV00004

DRAWING
PCSM-D-1

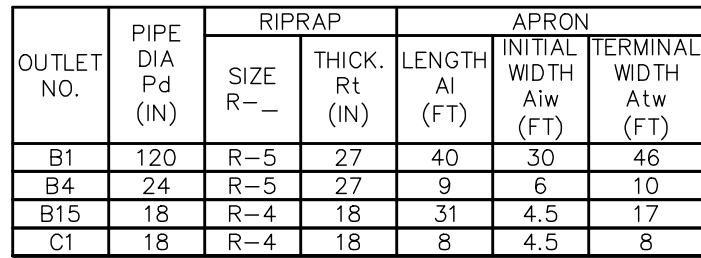
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OF 46

YOUR GOALS. OUR MISSION.

1700 MARKET STREET, SUITE 3110
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TEL 215-282-7850
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OFFICES LOCATED IN:
CALIFORNIA, INDIANA, KENTUCKY,
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CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING *
S3.1	ALL	5	1.00	11.0	3	3	R-5 RIP-RAP
S4	ALL	5	1.00	11.0	3	3	R-5 RIP-RAP
S5	ALL	5	1.00	11.0	3	3	R-5 RIP-RAP
S6	ALL	5	1.00	11.0	3	3	R-5 RIP-RAP
S7	ALL	5	1.00	11.0	3	3	R-5 RIP-RAP
S8	ALL	5	1.00	11.0	3	3	R-5 RIP-RAP
S9	ALL	5	1.25	12.5	3	3	R-5 RIP-RAP

Technical drawing of a rectangular box with the following specifications:

- Top width: 2'-0"
- Front height: 2'-0"
- Bottom width: 1'-5"
- Material: 2" x 1/4" STEEL STOCK ALL AROUND
- Holes: 1/2" DIAMETER HOLES @ 24" O/C MAX. (TYP.)
- Interior: 3 LB/FT² EXPANDED STEEL GRATE ON TOP, BOTTOM, AND SIDES
- Welds: WELD (TYP.) and WELD 1" x 1" x 1/8" ANGLE OVER ALL EDGES (TYP.)

BMP 6.4.5 BIORETENTION (MRC):
VEGETATION - SEE APPENDIX B OF PA BMP MANUAL
EXECUTION

1. INITIAL EXCAVATION CAN BE PERFORMED DURING ROUGH SITE GRADING BUT SHALL NOT BE DEEPER TO WITHIN ONE FEET OF THE FINAL BOTTOM ELEVATION. FINAL ELEVATION SHOULD NOT TAKE PLACE UNTIL ALL DISTURBED AREAS IN THE DRAINAGE AREA HAVE BEEN STABILIZED.
2. WHERE EROSION OF SUB-GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING IN THE GRADED BOTTOM, THIS MATERIAL SHALL BE REMOVED.
3. BRING SUB-GRADE OF MRC AREA TO LINE, GRADE, AND ELEVATIONS INDICATED. INSTALL IMPERMEABLE LINER PER MANUFACTURER'S RECOMMENDATIONS. FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSION, PONDING, OR TRAFFIC.
4. BRING ALL MRC AREAS TO THE SAME LEVEL AS THE EXISTING SUB-GRADE.
5. HALF EXCAVATION AND NOTIFY ENGINEER IMMEDIATELY IF EVIDENCE OF SINKHOLE ACTIVITY OR PINNACLES OF CARBONATE BEDROCK ARE ENCOUNTERED IN THE MRC AREA.
6. MRC INSTALLATION.
7. UPON COMPLETION OF SUB-GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS/HER DISCRETION BEFORE PROCEEDING WITH MRC INSTALLATION.
8. FOR THE SUBSURFACE STORAGE BED INSTALLATION, UNDERDRAIN AND FILTER MEDIA SHOULD BE PLACED ON THE BOTTOM TO THE SPECIFIED DEPTH.
9. PLANTING SOIL SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB-GRADE PREPARATION. BED INSTALLATION, UNDERDRAIN ACCUMULATION OF DEBRIS, OR SEDIMENT THAT TAKES PLACE BEFORE APPROVAL OF SUB-GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF PLANTING SOIL AT NO EXTRA COST TO THE OWNER.
10. INSTALL PLANTING SOIL (EXCEEDING ALL CRITERIA) IN 18-INCH MAXIMUM LIFTS AN LIGHTLY COMPACT (TAMP WITH BACKHOE BUCKET OR BY HAND). KEEP EQUIPMENT OFF OF PLANTING SOIL UNTIL AFTER PLANTING IS COMPLETE. DO NOT OVER COMPACT.
11. INSTALL PLANTING SOIL TO GRADES INDICATED ON THE DRAWINGS.
12. PLANT TREES AND SHRUBS ACCORDING TO SUPPLIER'S RECOMMENDATIONS AND THROUGH MID-MARCH THROUGH THE END OF JUNE OR FROM MID-SEPTEMBER THROUGH MID-NOVEMBER.
13. INSTALL 2" - 3" SHREDDED HAYSHOWN MULCH (MINIMUM AGE 6 MONTHS) OR COMPOST MULCH EXCEPT AS SHOWN ON PLANS. DO NOT APPLY MULCH IN AREAS WHERE GROUND COVER IS TO BE GRASS OR WHERE COVER WILL BE ESTABLISHED BY SEEDING.
14. PROTECT MRC AREAS FROM SEDIMENT AT ALL TIMES DURING CONSTRUCTION. HAY BALE DIVERSION, BERMS AND/OR OTHER APPROPRIATE MEASURES SHALL BE USED AT THE TOE OF THE SLOPES THAT ARE ADJACENT TO MRC AREAS TO PREVENT SEDIMENT FROM WASHING INTO THESE AREAS DURING SITE DEVELOPMENT.
15. WHEN THE SITE IS FULLY VEGETATED AND THE SOIL MANTLE STABILIZED THE PLANTING CONTRACTOR SHALL EVALUATE AND SHALL INSPECT THE MRC DRAINAGE AREA AT HIS/HER DISCRETION BEFORE THE AREA IS BROUGHT ONLINE AND SEDIMENT CONTROL DEVICES REMOVED.
16. WATER VEGETATION AT THE END OF EACH DAY FOR TWO WEEKS AFTER PLANTING IS COMPLETED. CONTRACTOR SHOULD PROVIDE A ONE-YEAR, 80% CARE AND REPAIR GUARANTEE. WATER SHALL BE APPLIED BEGINNING AFTER INSTALLATION AND INSPECTION OF ALL PLANTS.

1. SITE PREPARATION
 - A. THE AREA IMMEDIATELY ADJACENT TO THE BASIN MUST BE STABILIZED IN ACCORDANCE WITH THE PADEP'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (2012 OR LATEST EDITION) PRIOR TO BASIN CONSTRUCTION.
2. INSTALLATION
 - A. INSTALL UNDERGROUND CRATE SYSTEM PER MANUFACTURER'S SPECIFICATIONS. INSTALL SURROUNDING INLET AND OUTLET CONTROL STRUCTURES.
3. OPERATION AND MAINTENANCE
 - A. AN OPERATION AND MAINTENANCE PLAN IN ACCORDANCE WITH LOCAL OR STATE REGULATIONS WILL BE PREPARED. AT A MINIMUM, AN INSPECTION CHECKLIST SHOULD BE INCLUDED AS PART OF THE OPERATION AND MAINTENANCE PLAN AND PERFORMED AT LEAST ANNUALLY.

1. AS PART OF THE ROUTINE MAINTENANCE OF POST CONSTRUCTION BMPs, THE RESPONSIBLE ENTITY SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ANY DEBRIS OR OTHER MATERIALS THAT ACCUMULATE, OVERTIME, IN ACCORDANCE WITH ANY AND ALL APPLICABLE MUNICIPAL OR OTHER GOVERNMENTAL AGENCY CURRENT REGULATIONS INCLUDING BUT NOT LIMITED TO: THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 2601.101, 271.1 ET SEQ., AND 287.1 ET SEQ. THE RESPONSIBLE ENTITY SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY MATERIAL OR DEBRIS AT THE SITE.
2. TRASH OR OTHER WASTE SHALL NOT BE PERMITTED TO ACCUMULATE IN THE BMPs. MATERIALS SLATED FOR REMOVAL FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ANY AND ALL APPLICABLE MUNICIPAL OR OTHER GOVERNMENTAL AGENCY CURRENT REGULATIONS. THESE MATERIALS SHOULD BE RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE REGULATIONS LISTED ABOVE AND/OR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
3. FOLLOW THE OPERATIONS AND MAINTENANCE PROCEDURES AS SPECIFIED FOR THIS SITE STORMWATER BEST MANAGEMENT PRACTICE (BMP)/STORMWATER CONTROL MEASURES (SCM'S). DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE WITHIN THE BMP/SCM. DEBRIS SHALL BE REMOVED AND EITHER COLLECTED IN PRETREATMENT FACILITIES (INLET FIELDS, FOREBAYS, ETC), SHALL BE DISPOSED OF IN ORDINARY SITE REFUSE CONTAINER (DUMPSTER), OR DEPENDING ON QUANTITY, DISPOSED OF IN LANDFILL.
4. REFER TO THE PCSM / RECORD PLAN FOR ADDITIONAL NOTES.

1. THIS PCSM PLAN PRESERVES THE INTEGRITY OF STREAM CHANNELS AND MAINTAINS AND PROTECTS THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM BY PROTECTING THE EXISTING NATURAL DRAINAGE FEATURES.
2. THIS PCSM PLAN PREVENTS AN INCREASE IN THE RATE OF STORMWATER RUNOFF AND MINIMIZES ANY INCREASE IN STORMWATER RUNOFF VOLUME BY USING STRATEGIES AND DEVICES TO FACILITATE STORAGE AND MANAGED RELEASE OF STORMWATER.
3. THIS PCSM PLAN MINIMIZES THE EXTENT OF THE PROJECT AREA, IMPROVED AREAS, LAND CLEARING AND GRADING BY CAREFUL SELECTION OF THE USEABLE SITE AREA AND MAINTAINING THE MAJORITY OF THE NATURAL AREA.
4. THE PCSM PLAN MINIMIZES THE DURATION OF EARTH DISTURBANCE BY COMPLETING WORK UNDER THE THE CONSTRUCTION SEQUENCE IN ONE PHASE AND WORKING UNDER AN ACCELERATED CONSTRUCTION SCHEDULE.

5. THE PCSM PLAN MAXIMIZES THE PROTECTION OF THE EXISTING DOWNSTREAM DRAINAGE FEATURES AND VEGETATION BY AVOIDING THE STREAM CHANNEL AND UTILIZING PERIMETER CONTROL BMPs (COMPOST FILTER SOCKS) AROUND THE PROJECT AREA.
6. THE PCSM PLAN MINIMIZES SOIL COMPACTION BY A CAREFUL SELECTION OF THE USABLE SITE AREA REQUIRED FOR THE IMPROVEMENTS AND NEARBY EXISTING AND NEWLY PLANTED SOILS. IT ALSO UTILIZES STRUCTURAL OR NONSTRUCTURAL BMPs THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF AND MAINTAIN STREAM BASEFLOW.
7. POST-CONSTRUCTION THERMAL IMPACTS WILL BE MINIMIZED BY THE INSTALLATION OF THE PROPOSED VEGETATED SWALE AND BIO-RETENTION FACILITIES, WHICH WILL ALLOW MIXING AND COOLING OF RUNOFF. DURING CONSTRUCTION, THERMAL IMPACTS ARE MINIMIZED BY RUNOFF FILTERING THROUGH COMPOST FILTER SOCKS.
8. THERE ARE NO EXISTING WETLANDS ON THE SITE.
9. WATERS OF THE U.S. ARE DESIGNATED AS TSF, MF; THEREFORE, NO SPECIAL CONSIDERATION IS REQUIRED AND RIPARIAN BUFFERS ARE NOT APPLICABLE. PROTECTION OF WETLANDS WITHIN FOREST BUFFER AND RIPARIAN BUFFER OFFSET IS NOT SHOWN ON THE PLANS AS THESE FEATURES DO NOT EXIST WITHIN THE LIMIT OF DISTURBANCE OR PERMIT AREA.
10. AREAS PROPOSED FOR INFILTRATION BMPs SHALL BE PROTECTED FROM SOIL STABILIZATION AND IS REQUIRED AND RIPARIAN BUFFERS ARE NOT APPLICABLE. PROTECTION OF WETLANDS WITHIN FOREST BUFFER AND RIPARIAN BUFFER OFFSET IS NOT SHOWN ON THE PLANS AS THESE FEATURES DO NOT EXIST WITHIN THE LIMIT OF DISTURBANCE OR PERMIT AREA.
11. INFILTRATION BMPs SHALL NOT BE CONSTRUCTED NOR RECEIVE RUNOFF UNTIL THE ENTIRE CONTRIBUTORY DRAINAGE AREA TO THE INFILTRATION BMP HAS RECEIVED FINAL STABILIZATION.
12. THE STORMWATER MANAGEMENT SYSTEM IS A PERMANENT FEATURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY, WHICH SHALL BE RECORDED WITH THE RECORD PLAN AND WHICH SHALL BE APPLICABLE TO ALL FUTURE LANDOWNERS.

BMP 6.4.5 BIO-RETENTION (MRC):

PROPERLY DESIGNED AND INSTALLED MRC AREAS REQUIRE SOME REGULAR MAINTENANCE.

- WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED.
- DETRITUS MAY ALSO NEED TO BE REMOVED EVERY YEAR. PERENNIAL PLANTINGS MAY BE REMOVED AT THE END OF THE GROWING SEASON.
- MULCH SHOULD BE RE-SPREAD WHEN EROSION IS EVIDENT AND BE REPLISHED AS NEEDED. ONCE EVERY 2 TO 3 YEARS THE ENTIRE AREA MAY REQUIRE MULCH REPLACEMENT.
- MRC AREAS SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS, ETC.
- DURING PERIODS OF EXTENDED DROUGHT, MRC AREAS MAY REQUIRE WATERING.
- TREES AND SHRUBS SHOULD BE INSPECTED TWICE PER YEAR TO EVALUATE HEALTH.

SWALES SHALL BE KEPT FREE OF ANY BLOCKAGE AT ALL TIMES.
MAINTENANCE ACTIVITIES TO BE DONE ANNUALLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENT.

- INSPECT AND CORRECT EROSION PROBLEMS, DAMAGE TO VEGETATION, AND SEDIMENT AND DEBRIS ACCUMULATION IN DRAINAGE AREAS (INCLUDING COVERING VEGEATION).
- INSPECT VEGETATION ON SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES. CORRECT AS NEEDED PER AMENDED SOIL SEEDING/MULCHING SPECIFICATION).
- INSPECT POOLS OF STANDING WATER; Dewater and DISCHARGE TO AN APPROVED LOCATION AND RESTORE TO DESIGN GRADE.
- INSPECT FOR UNIFORMITY IN CROSS-SECTION AND LONGITUDINAL SLOPE. CORRECT AS NEEDED.
- INSPECT FOR UNDESIRABLE INLETS, CUTS, PIPES, ETC.) AND OUTLET FOR SIGNS OF EROSION OR BLOCKAGE. CORRECT AS NEEDED.

MAINTENANCE ACTIVITIES TO BE DONE AS NEEDED:

- PLANT ALTERNATIVE GRASS SPECIES IN THE EVENT OF UNSUCCESSFUL ESTABLISHMENT
- RESEED BARE AREAS; INSTALL APPROPRIATE EROSION CONTROL MEASURES WHEN NATIVE SOIL IS EXPOSED OR EROSION CHANNELS ARE FORMING
- WATER DURING DRY PERIODS, FERTILIZE, AND APPLY PESTICIDE ONLY WHEN ABSOLUTELY NECESSARY

WINTER CONDITIONS ALSO NECESSITATE ADDITIONAL MAINTENANCE CONCERNS, WHICH INCLUDE THE FOLLOWING:

- INSPECT SWALE IMMEDIATELY AFTER THE SPRING MELT, REMOVE RESIDUALS (E.G. SAND) AND REPLACE DAMAGED VEGETATION WITHOUT DISTURBING REMAINING VEGETATION.
- IF ROADSIDE RUNOFF IS DIRECTED TO THE SWALE, MULCHING AND/OR SOIL AERATION/MANIPULATION MAY BE REQUIRED IN THE SPRING TO RESTORE SOIL STRUCTURE AND MOISTURE CAPACITY AND TO REDUCE THE IMPACTS OF DEICING AGENTS.

ALL BASIN STRUCTURES EXPECTED TO RECEIVE AND/OR TRAP DEBRIS AND SEDIMENT SHOULD BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR TIMES PER YEAR, AS WELL AS AFTER EVERY STORM GREATER THAN 1 INCH.

STRUCTURES INCLUDE BASIN BOTTOMS, OUTLETS STRUCTURES AND INLETS.

SEDIMENT REMOVAL SHOULD BE CONDUCTED WHEN THE BASIN IS COMPLETELY DRY. SEDIMENT SHOULD BE DISPOSED OF PROPERLY.

1. THE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ANY NECESSARY FILL MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. FILL MATERIAL MUST BE USED IN ACCORDANCE WITH PADEP'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258-2182-773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.DEFWEB.STATE.PA.US.
2. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSED, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DRESSED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE. MATERIALS OF CONSTRUCTION AND DEMOLITION WHICH IS SEPARATE FROM THE WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE SPECIFIED. USED ASPHALT THAT DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
3. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIAL IMPACTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE WITHIN THE RESIDUAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN PADEP'S POLICY "MANAGEMENT OF FILL".
4. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE PADEP FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE SIGNED BY THE OWNER OF THE FILL MATERIAL. A COPY OF FILL, A COPY OF FORM FP-001 CAN BE FOUND AT WWW.DEFWEB.STATE.PA.US.
5. ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO: VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREEN, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
6. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING OF PROPERTY RESIDUALS IN ACCORDANCE WITH APPENDIX A OF PADEP'S POLICY "MANAGEMENT OF FILL".
7. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE MUNICIPAL OR RESIDUAL WASTE REGULATIONS IN 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
8. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SIPPING, EROSION OR EXCESS SATURATION.
9. REFER TO SITE / RECORD PLAN FOR ADDITIONAL NOTES.

THE FOLLOWING IS A TYPICAL CONSTRUCTION SEQUENCE; HOWEVER, ALTERATIONS MIGHT BE NECESSARY DEPENDING ON DESIGN VARIATIONS:

1. INSTALL TEMPORARY SEDIMENT CONTROL BMP AS SHOWN ON THE PLANS. PROVIDE EROSION CONTROL SITE PROTECTION TO PREVENT CONSTRUCT CUTS OR OTHER INFLOW ENTRANCE BUT PROVIDE PROTECTION SO THAT DRAINAGE IS PROHIBITED FROM ENTERING THE BASIN.
2. EXCAVATE BIOTRETMENT/MRC BASIN TO PROPOSED INVERT DEPTH. INSTALL LINER AS SHOWN ON BASIN DETAILS.
3. INSTALL BIOTRETMENT/MRC BASIN WITH FILTER MEDIA AS SHOWN ON PLANS AND SPECIFICATIONS. OVERLAYING IS RECOMMENDED TO ACCOUNT FOR SETTLEMENT. LIGHT HAND TAMPING IS ACCEPTABLE IF NECESSARY.
4. PROTECT THE PLANTING AREA WITH PLASTIC OR PLANTING VEGETATION TO AID IN SETTLEMENT.
5. COMPLETION OF FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS, LEAVING SPACE FOR UPPER LAYER OF COMPOST, MULCH OR TOPSOIL AS SPECIFIED ON PLANS.
6. PLANT VEGETATION ACCORDING TO PLANTING PLAN. MULCH AND STABIL EROSION. PROTECT THE PLANTING AREA WITH PLASTIC OR PLANTING VEGETATION TO AID IN SETTLEMENT.

1. BEGIN VEGETATED SWALE CONSTRUCTION ONLY WHEN THE UP-GRADIENT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE. VEGETATED SWALES SHOULD BE CONSTRUCTED WITH A MINIMUM OF 18" OF TOPSOIL. TOPSOIL SHOULD BE PLACED BEFORE MASS EARTHWORK AND PAVING INCREASES THE RATE AND VOLUME OF RUNOFF. EROSION AND SEDIMENT CONTROL METHODS SHALL ADHERE TO THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, MARCH 2012 (OR LATEST EDITION).

2. ROUGH GRADE THE VEGETATED SWALE. EQUIPMENT SHALL AVOID EXCESSIVE COMPACTION AND/OR LAND DISTURBANCE. EXCAVATING EQUIPMENT SHOULD OPERATE IN THE CENTER OF THE SWALE TO MINIMIZE THE RISK OF DISTURBANCE. DUE TO THE SUBSTANTIAL COMPACTION OF THE SUBGRADE (WHERE AN INFILTRATION TRENCH IS NOT PROPOSED), 18 INCHES SHALL BE REMOVED AND REPLACED WITH A BLEND OF TOPSOIL. TOPSOIL SHALL BE PLACED IN 4" LAYERS. TOPSOIL SHALL BE PLACED IN THE CENTER OF THE TOPSOIL SHALL BE THOROUGHLY DEEP PLOWED INTO THE SUBGRADE IN ORDER TO PENETRATE THE COMPACTED ZONE AND PROMOTE AERATION AND THE FORMATION OF HUMUS. FOLLOWING THIS, THE AREA SHOULD BE DISKED PRIOR TO FINAL GRADING OF TOPSOIL.

4. FINE GRADE THE VEGETATED SWALE. ACCURATE GRADING IS CRUCIAL FOR SWALES. EVEN THE SMALLEST NONCONFORMITIES MAY COMPROMISE FLOW CONDITIONS.
5. SEED, VEGETATE AND INSTALL PROTECTIVE LINING AS PER APPROVED PLANS AND ACCORDING TO FINAL PLANTING LIST. PLANT THE SWALE AT A TIME OF THE YEAR WHEN SUCCESSFUL ESTABLISHMENT WITHOUT IRRIGATION IS MOST LIKELY. HOWEVER, TEMPORARY IRRIGATION MAY BE NEEDED IN PERIODS OF LITTLE RAIN OR DROUGHT. VEGETATION SHOULD BE MAINTAINED AS LONG AS POSSIBLE TO PREVENT EROSION AND SCOUR.
6. ONCE ALL TRIBUTARY AREAS ARE SUFFICIENTLY STABILIZED, REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS. IT IS VERY IMPORTANT THAT THE SWALE BE STABILIZED BEFORE RECEIVING UPONLINE STORMWATER FLOW.
7. FOLLOW MAINTENANCE GUIDELINES, AS DISCUSSED BELOW.

NOTE: IF A VEGETATED SWALE IS USED FOR RUNOFF CONVEYANCE DURING CONSTRUCTION, IT SHOULD BE RE-GRADED AND RESEEDED IMMEDIATELY AFTER CONSTRUCTION AND STABILIZATION HAS OCCURRED. ANY DAMAGED AREAS SHOULD BE FULLY RESTORED TO ENSURE FUTURE FUNCTIONALITY OF THE SWALE.

1. EXCAVATE AND INSTALL SYSTEM PER MANUFACTURERS SPECIFICATIONS.
2. INSTALL ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS.
 - 1.1. IF BASIN IS NOT INTENDED TO RECEIVE FLOWS DURING CONSTRUCTION, INSTALL APPROPRIATE DIVERSION MEASURES.
3. BRING BASIN ON-LINE ONCE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

1. ALL CONSTRUCTION ACTIVITIES FOR THE BMP AREAS SHALL OCCUR WITHIN A SHORT TIME PERIOD TO ENSURE THAT SILT AND SEDIMENT DO NOT ENTER THEM.
2. APPROPRIATE MEASURES ARE TO BE TAKEN IN THE EVENT OF SEDIMENT ENTERING AND CLOGGING THE BMP AREAS. SHOULD UNFAVORABLE CONDITIONS (I.E. GROUNDWATER AND/OR BEDROCK, ETC.) BE ENCOUNTERED DURING THE CONSTRUCTION PROCESS OF THE BMP AREAS, THE DESIGN ENGINEER SHALL BE CONTACTED TO ADDRESS SUCH ISSUES.
3. IF INSPECTION INDICATES THAT SOIL OR SEDIMENT HAS ENTERED ANY OF THE BMP AREAS, APPROPRIATE MEASURES (I.E. CLEARING THE SOIL/SEDIMENT FROM BMP AREAS) SHALL BE ADDRESSED.

PRIOR TO THE START OF EARTH DISTURBANCE ACTIVITIES, PLEASE NOTE THE FOLLOWING AVOIDANCE MEASURE:

THE PROJECT IS LOCATED IN THE VICINITY OF THE NORTHERN LONG-EARED BAT SPRING STAGING/FALL SWARMING HABITAT. TO ENSURE TAKE IS NOT REASONABLY CERTAIN TO OCCUR, DO NOT CONDUCT TREE REMOVAL FROM MAY 15 TO AUGUST 15.

1. INSTALL GP AND TR SERIES PERIMETER COMPOST FILTER SOCK SEGMENTS.

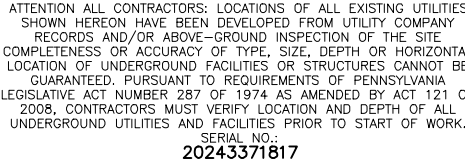
CRITICAL STAGE - INSPECT PERIMETER COMPOST SOCK
2. INSTALL ROCK CONSTRUCTION ENTRANCES 1 AND 2. CUT IN CONSTRUCTION ENTRANCES AT PROPOSED GRADE, STOCKPILE EXCAVATION AT LOCATIONS INDICATED.
3. CONSTRUCT TROOPER ROAD CURBING AND STORM SEWER FROM EXISTING INLET T1 UP TO PROPOSED INLET T9. DISTURB NO MORE EARTH IN A DAY WHICH WILL BE STABILIZED AT END OF EACH DAY WITH TOPSOIL, SEED AND EROSION BLANKETS FOR AREAS TO BE PERMANENTLY VEGETATED, OR STONE BACKFILL FOR ROADWAY AREAS. INSTALL AND MAINTAIN INLET PROTECTION AS INLETS ARE PLACED. INSTALL CURBING.

CRITICAL STAGE - INSPECTION OF TROOPER ROAD IMPROVEMENTS
4. CONSTRUCT STORMWATER COLLECTION AREA AT G2-T11-S1-31 A1 NEXUS. MAKE STORM SEWER CONNECTION TO G1 AND T1. EXCAVATE AREA, INSTALL RETAINING WALL AND PIPE STUBS THROUGH WALL AT S1 AND A1, AND HEADWALLS T11 AND G2. STABILIZE SURROUNDING SURFACES EXTERNAL TO THE COLLECTION AREA WITH STONE OR CONCRETE BANKETS AS USED FOR RETENTION RIGID WITHIN THE COLLECTION AREA. INSTALL COMPOST FILTER SOCK BERM IN FRONT OF HEADWALLS G2 AND T11.

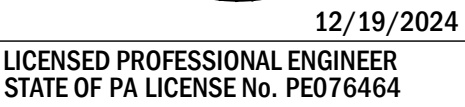
CRITICAL STAGE - INSPECT STORMWATER COLLECTION AREA THAT IT IS STABILIZED AND ONLINE.
5. INSTALL STORM SEWER FROM S1 UP TO S3 AND HEADWALL S3.1.
6. CRITICAL STAGE - INSPECT STORM SEWER RUN FROM S3.1 TO S1 THAT IT IS ONLINE AND CAN RECEIVE RUNOFF FROM THE S-SERIES DIVERSION SWALE SYSTEM.
7. CONSTRUCT THE S4 TO S9 STORM SEWER AND DIVERSION SWALE FROM DOWNSTREAM TO UPSTREAM. SIMULTANEOUSLY CUT IN EMBANKMENT TO CONSTRUCT RETAINING WALLS BETWEEN S4-S9 STORM SEWER AND UNIT BLOCKS. CONSTRUCT DAILY STABILIZE SWALES WITH TOPSOIL, SEED AND DIVERSION SWALES FROM T9 TO T12 ALONG THE NORTH, BEHIND UNIT BLOCK 5. CONSTRUCT STORM SEWER INCREMENTALLY FROM STRUCTURE TO STRUCTURE WORKING FROM DOWNSTREAM TO UPSTREAM. DAILY STABILIZE SWALES WITH BOTH RIP-RAP EROSION LOGGING, AND TOPSOIL, SEED AND EROSION CONTROL BLANKETS ON SIDE SLOPES. EVERY EFFORT SHALL BE MADE TO WORK IN CONDITIONS WHERE PRECIPITATION IS NOT FORECAST. DISTURBANCE SHALL NOT PRACTICALLY EXCEED WHAT CAN BE STABILIZED DAILY. SWALES SHALL BE CONSTRUCTED THE WILL RECEIVE AND MUST BE STABLE AND CAPABLE TO CONVEY RUNOFF FROM OFFSITE. INSTALL TRASH RACKS ON INLETS AND HEADWALLS UPON PLACEMENT.

CRITICAL STAGE - INSPECT SWALE S3.1 TO S9 SYSTEM AND T12 TO T9 SYSTEM, THAT THEY ARE STABLE AND IN PERMANENT CONFIGURATION, AND ASSOCIATED RETAINING WALL SYSTEMS BELOW ARE PROPERLY CONSTRUCTED.

9. DETERMINE HOW PIPE WIDENING MAY OCCUR AT THIS STAGE, OR AT ANY STAGE THEREAFTER. BOX OUT WIDENING FROM TROOPER INTERSECTION UPHILL. DO NOT PERFORM WORK WHEN PRECIPITATION IS FORECAST DAILY STARTING WITH TOPSOIL, SEED, EROSION CONTROL, PERMANENT VEGETATED AREAS, AND AT A MINIMUM, STORM OR BITUMINOUS BINDER COURSE FOR ROADWAYS. INSTALL CURBING AND STORM SEWER STUBS. INSTALL INLET PROTECTION ON STORM SEWER STUBS UPON INLET PLACEMENT.
10. BEGIN CONSTRUCTION OF SEDIMENT BASIN 1 OVER FOOTPRINT OF PERMANENT STORMWATER MANAGEMENT BASIN SYSTEM 001. REMOVE TOPSOIL AND STOCKPILE ASIDE TO EXCAVATE TO CREATE BASIN VOLUME INCLUDING TEMPORARY EROSION CONTROL GRADING WITHIN SEDIMENT BASIN. CONSTRUCT BERM, BASIN OUTLET PIPING AND OUTLET STRUCTURES TO A1, SWALE A1, BASIN SPILLWAY, AND LANDSCAPING PAD AT TROOPER INTERSECTION. PERFORM CONSTRUCTION PROCESS ON OUTSIDE BASIN BERMS WITH TOPSOIL, SEED AND EROSION CONTROL BLANKETS WHERE INDICATED ON BASIN SLOPES. STABILIZE INTERNAL SEDASIN SLOPES WITH TOPSOIL, SEED AND EROSION CONTROL BLANKETS WHERE INDICATED.
11. CRITICAL STAGE -- INSPECT SEDIMENT BASIN 1 (INCLUDING TEMPORARY OPENING CONFIGURATION IN PERMANENT OUTLET STRUCTURE) THAT IT IS ONLINE AND READY TO RECEIVE RUNOFF FROM DEVELOPMENT SITE.
12. BEGIN MASS GRADING OF SITE IN FOLLOWING ORDER: ESTABLISH DRAINAGE PATTERN INTERNAL TO SITE (FROM WALLS TO SEDIMENT BASIN) TO CONVEY RUNOFF TO SEDIMENT BASIN. CONSTRUCT STORM SEWER DIVERSIONS SHALL BE UTILIZED TO ACHIEVE DRAINAGE PATTERNS UNTIL FINAL GRADES ACHIEVED. BOX CUT INTERNAL DRIVES UP FROM CONSTRUCTION ENTRANCES SIMULTANEOUSLY. CONSTRUCT STORM SEWER FROM A13 TO A5 AND B31 TO B1. CONTINUE TO CONSTRUCT DRAINAGE STRUCTURES INSTALLING STORM SEWER, BALANCE OF UTILITIES, CURBING, STONE BASE COURSE AND BITUMINOUS BINDER COURSE. INSTALL INTERNAL SANDBAGS THEN ASPHALT REPAIRS AT P11-A12 AND B2-B33 TO CAPTURE RUNOFF FROM DRIVES BEFORE ENTERING ROADWAYS. GRADE SVALES AND SURROUNDING UNITS, INSTALL SWALE LININGS. PAID-OUT UNIT BLOCKS, RESURFING STOCKPILE AREA UNITS LAST. INSTALL FOUNDATIONS. BEGIN UNIT CONSTRUCTION.
13. PERFORM FINAL GRADING AND LANDSCAPING WHENEVER AND WHEREVER POSSIBLE, STABILIZE WITH TOPSOIL, SEED AND MULCH.
14. CRITICAL STAGE -- INSPECT FOR 70% STABILIZATION (UNIFORM PERENNIAL GROWTH). UPON INSPECTION INCLUDING INSPECTION BY CONSERVATION DISTRICT, WITH APPROVAL, PROCEED TO BASIN CONVERSION.
15. CONVERT SEDIMENT BASIN TO PERMANENT STORMWATER MANAGEMENT FACILITY. WORK SHALL BE SCHEDULED AT TIMES OF NO FORECAST PRECIPITATION AND SHALL OCCUR INCREMENTALLY SO THAT SYSTEM IS PROTECTED AT END OF EACH PHASE. FIRST, REMOVE STORM SEWER INLET AND/OR INLET CUT THAT STORM SEWER IS CLEAR. DESILT SEDIMENT BASIN, REMOVE SKIMMER, BAFFLE. EXCAVATE FOR UNDERGROUND DETENTION INSTALLATION. INSTALL UNDERGROUND DETENTION SYSTEM INCLUDING IMPERMEABLE LINER SURROUNDING. INSTALL MUR SURFACE. RECONSTRUCT UNDERGROUND DETENTION WITH ITS RESPECTIVE IMPERMEABLE LINER. SEAL TEMPORARY OPENINGS IN OUTLET STRUCTURED FOR EROSION CONTROL WITH PERMANENT WATER-TIGHT FITTINGS -- SILICONE (OR APPROVED) AND FILL WITH CONCRETE. INSTALL DRAINAGE AND MEDIA INFILL. INSTALL RAINGARDEN PLANTINGS.
16. CRITICAL STAGE INSPECT PERMANENT STORMWATER BASIN CONFIGURATION, OPENING SEALS AND FUNCTION.
17. WHEN PERMANENT STABILIZATION IS ACHIEVED (90% UNIFORM PERENNIAL GROWTH), REMOVE REMAINING COMPOST STOCK BARREL CONTROLS.
18. FILE NOTICE OF TERMINATION FOR NPDES PERMIT

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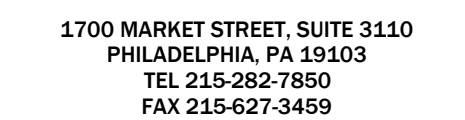
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LICENSED PROFESSIONAL ENGINEER



COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP,
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS-3



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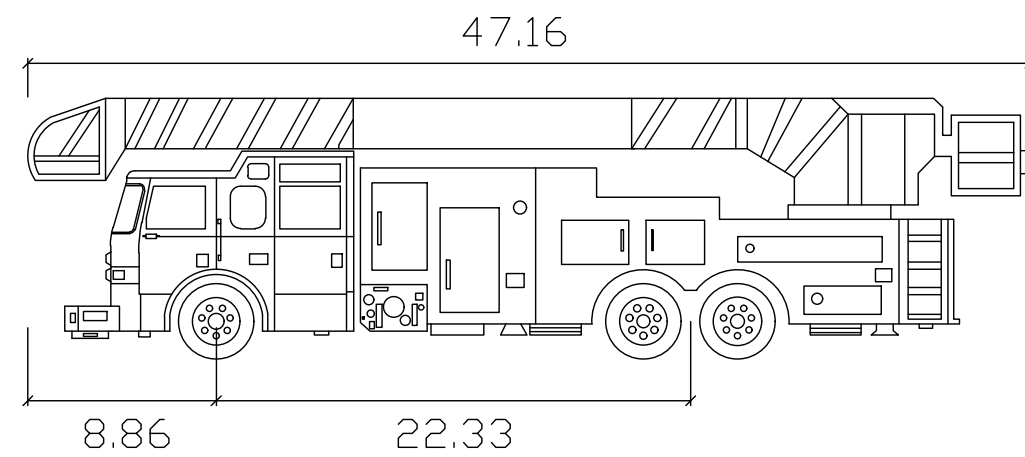
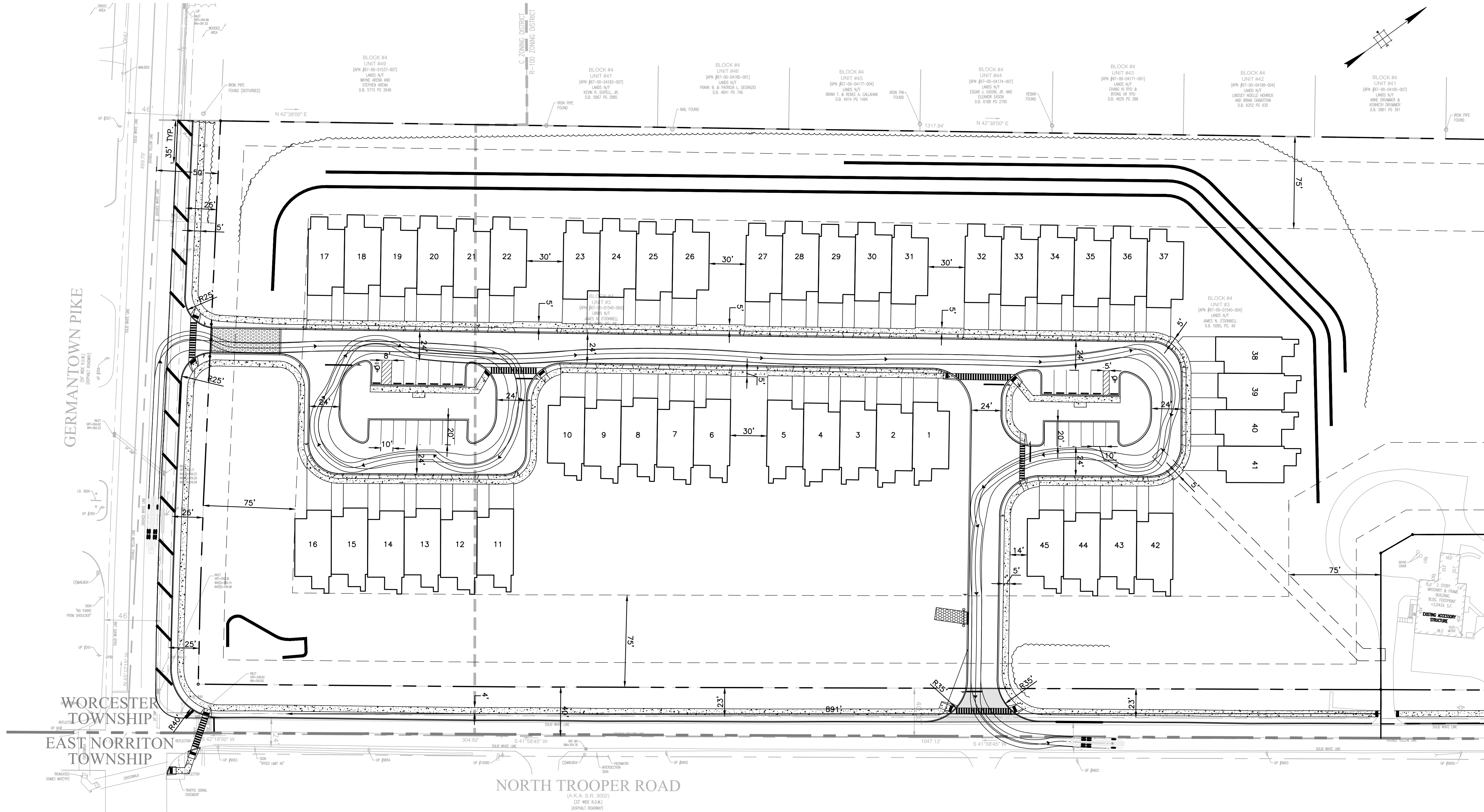
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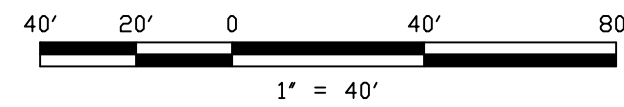
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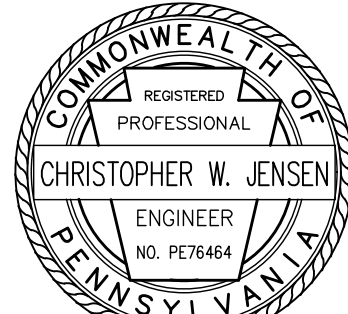
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DATE: 12/19/2024

NO.	DATE	REVISIONS	BY	CHKD
1	01/24/25	UPDATES FOR WIPES PRE-SUBMISSION	JPK	ZHR
2	02/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	ZHR
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	ZHR

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
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STATE OF PA LICENSE NO. PE076464

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FIRETRUCK TURNING TEMPLATE



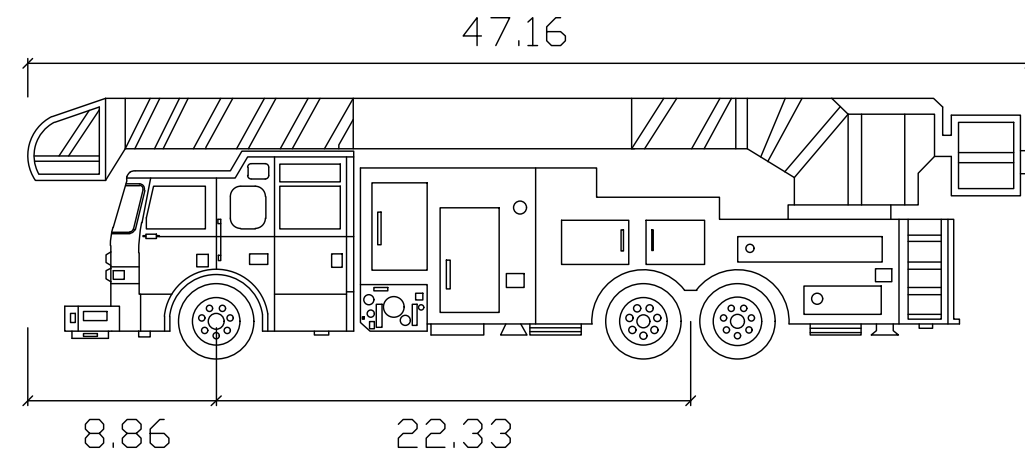
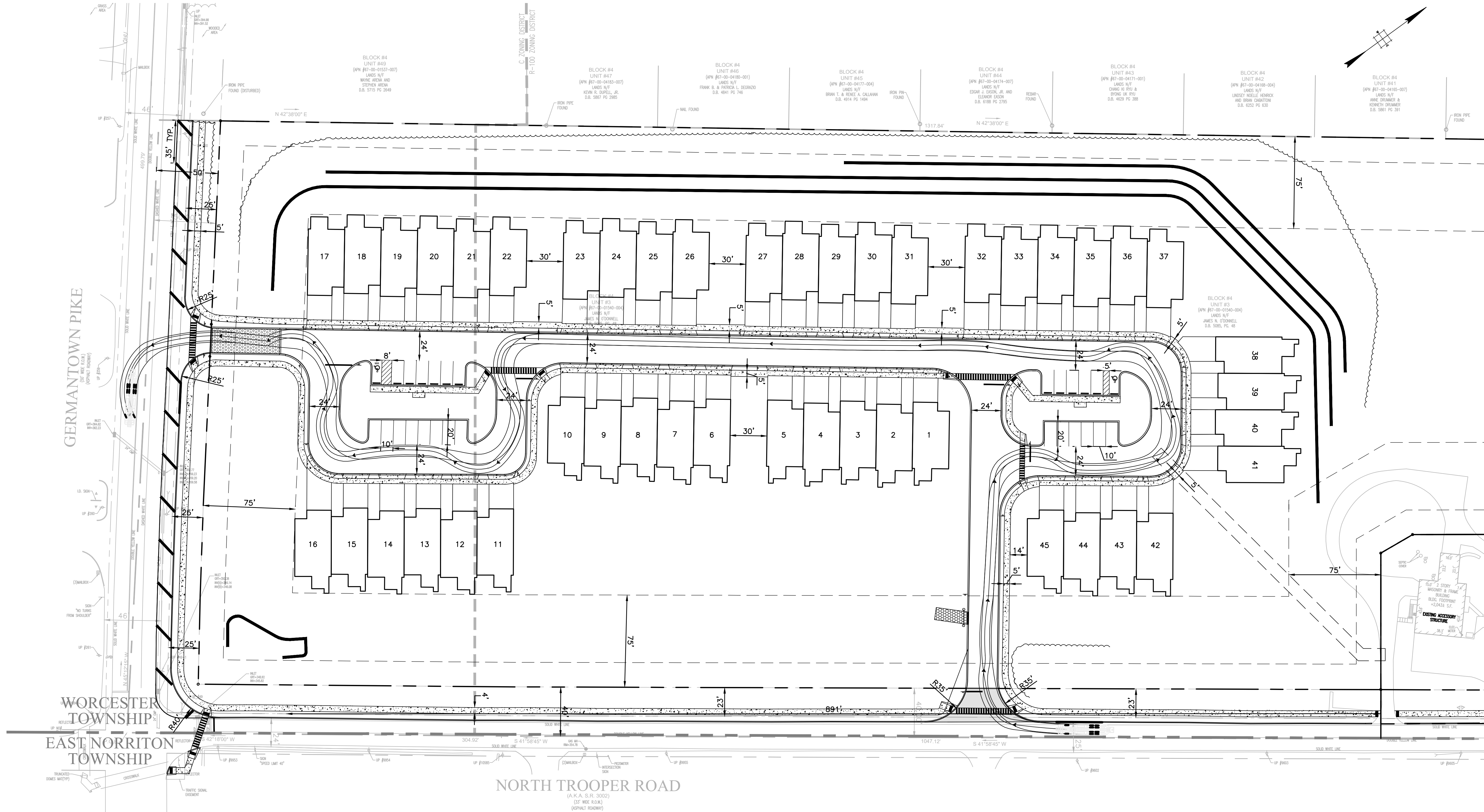
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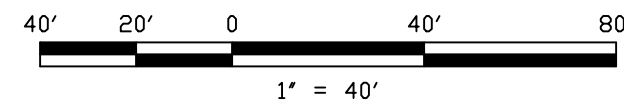
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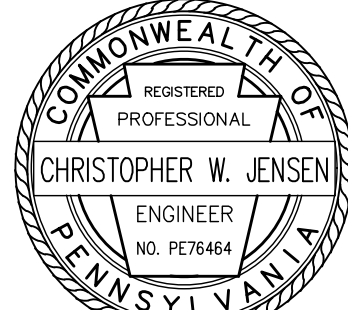
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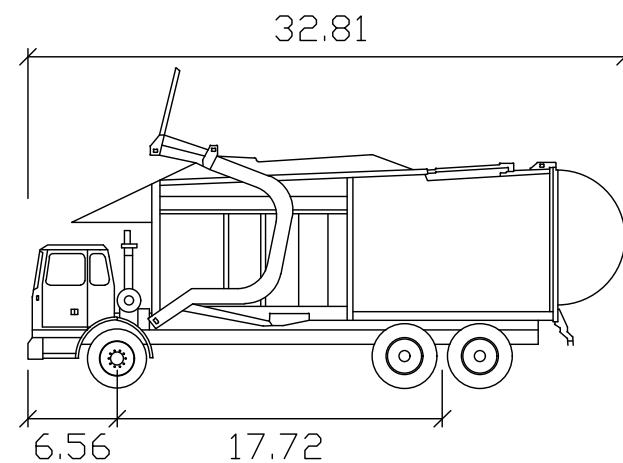
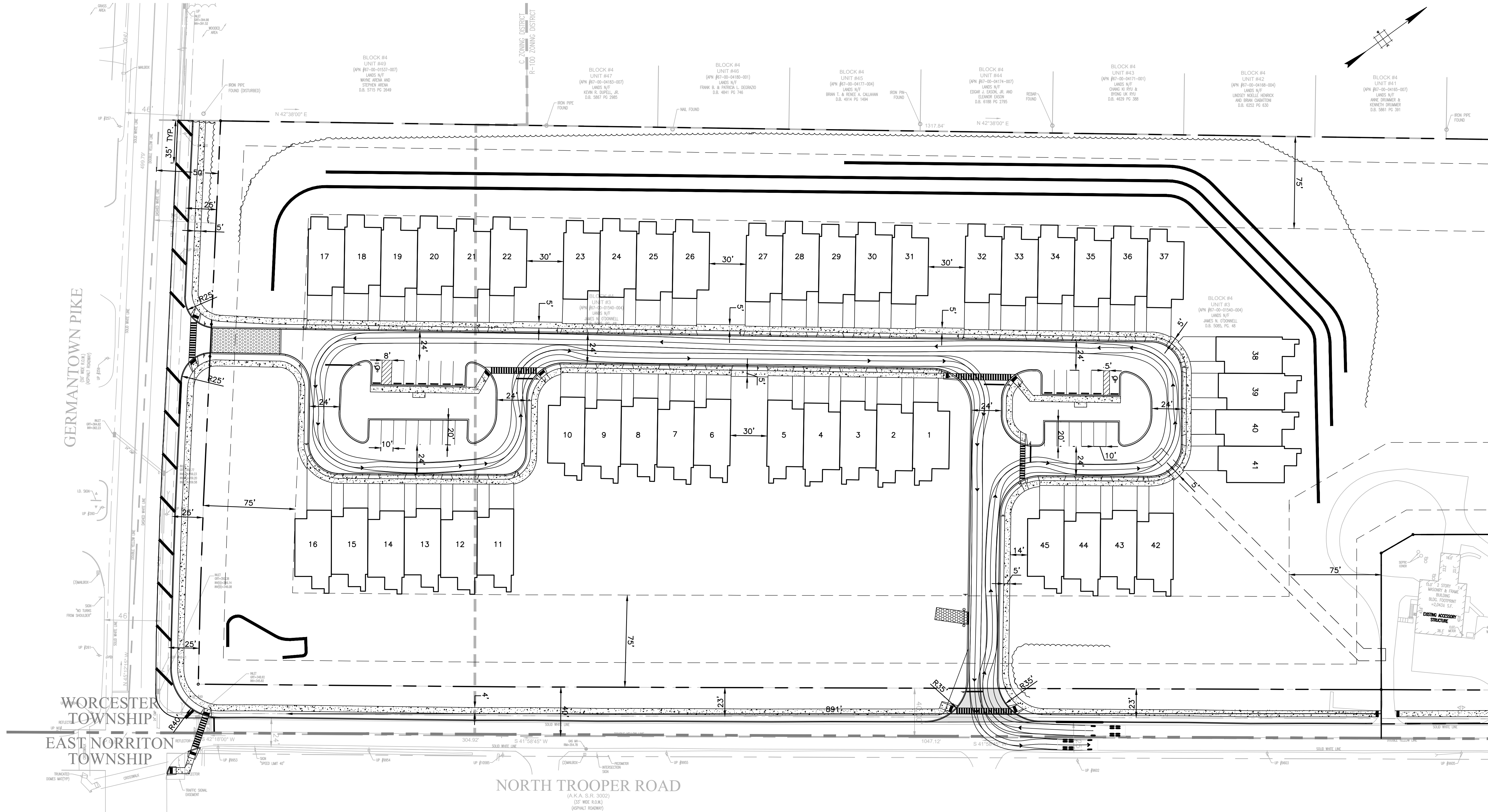
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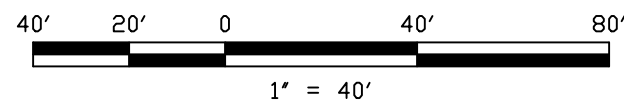
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Waste Collection Truck

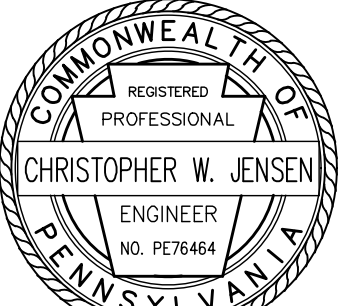
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RECORDS AND/OR AERIAL PHOTOGRAPHS. THE USER OF THIS
COMPLETENESS OR ACCURACY OF THE SIZE, DEPTH OR HORIZONTAL
LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE
GUARANTEED. THE USER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY
LEGISLATIVE ACT NUMBER 287 OF 1974 AS AMENDED BY ACT 121 OF
2004. CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL
UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.
20243371817

NO.	DATE	REVISIONS	BY	CHKD
1	01/24/25	UPDATES FOR WIPES PRE-SUBMISSION	JPK	ZHR
2	02/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	ZHR
3	03/26/25	REVISED PER TOWNSHIP COMMENTS	JPK	BGS

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER



12/19/2024
LICENSED PROFESSIONAL ENGINEER
STATE OF PA LICENSE NO. PE076464

COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

TRASH TRUCK TURNING TEMPLATE

AND

YOUR GOALS. OUR MISSION.

1700 MARKET STREET, SUITE 3110
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

OFFICES LOCATED IN:
CALIFORNIA, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

DESIGNED BY JPK/CKS/CMR/ROP/ZHR	CHECKED BY BGS/ZHR	DRAWN BY SCR/CKS/RAM	DATE 12/19/2024	SCALE AS NOTED	PROJ. NO. WDEV00004	DRAWING TT-3	SHEET 45	OF 46
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SU-40	
	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	6.0
Steering Angle	: 31.8

PROJECT INFORMATION:
FILE PATH: C:\Projects\WDEV\00004\Plans\
FILE NAME: WDEV00004_T1.dwg
LAST SAVED DATE AND TIME: 27 Mar 2025,
LAST SAVE BY: JKelley

COPYRIGHT 2025, T&M ASSOCIATES – ALL RIGHTS RESERVED. THE COPYING OR REUSE OF THIS DOCUMENT OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF T&M ASSOCIATES IS PROHIBITED.

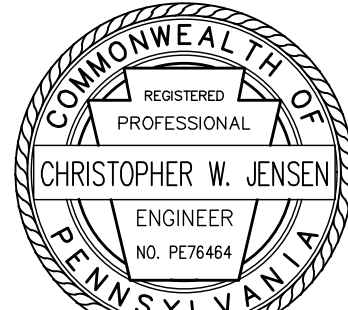


ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES, STRUCTURES, OR BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 287 OF 1974 AS AMENDED BY ACT 121 OF 2008, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.

SERIAL NO:
2024337817

DATE	PREPARED BY	DATE	REVISIONS
03/26/25	3	03/26/25	BGS
02/26/25	2	02/26/25	JPK
01/24/25	1	01/24/25	JPK

CHRISTOPHER W. JENSEN, P.E.
LICENSED PROFESSIONAL ENGINEER

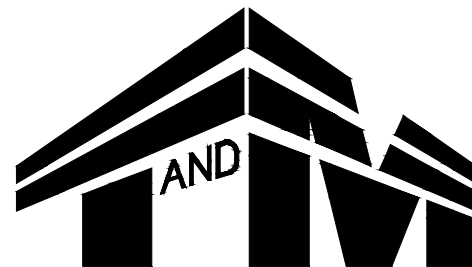


12/19/2024
 LICENSED PROFESSIONAL ENGINEER
 STATE OF PA LICENSE No. PE076464

COMMERCE PURSUIT CAPITAL

TROOPER RIDGE SUBDIVISION
1035 NORTH TROOPER ROAD, WORCESTER TOWNSHIP,
MONTGOMERY COUNTY, COMMONWEALTH OF PENNSYLVANIA

BOX TRUCK TURNING TEMPLATE



YOUR GOALS. OUR MISSION.

1700 MARKET STREET, SUITE 3110
PHILADELPHIA, PA 19103
TEL 215-282-7850
FAX 215-627-3459

OFFICES LOCATED IN:
CALIFORNIA, INDIANA, KENTUCKY,
MASSACHUSETTS, MICHIGAN, NEW JERSEY,
OHIO AND PENNSYLVANIA

DESIGNED BY
BY (C/K/S) (C/M/D) (D/O/B) (T/U/P)

PR/CKS/CMR/RUP/ZHR
CHECKED BY

BGS/ZHR

DRAWN BY
SCR/CKS/RAM

DATE 12/19/2024

SCALE

AS NOTED
PROJ. NO.

DRAWING

TT-4

SHEET
46

10

—

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION _____

**A RESOLUTION TO GRANT PRELIMINARY/FINAL LAND
DEVELOPMENT APPROVAL OF
1038 WINDY HILL ROAD - 2 LOT SUBDIVISION**

WHEREAS, Arden Reserve, LLC (hereinafter referred to as "Applicant") has submitted a Subdivision Plan to Worcester Township and has made application for Preliminary/Final Plan Approval of a plan known as 1038 Windy Hill Road - 2 Lot Subdivision Plan. The Applicant is legal owner of an approximate 5.39 acre tract of land located at 1038 Windy Hill Road, Worcester Township, Montgomery County, Pennsylvania in the R-100 Residential Zoning District of the Township, being Tax Parcel No. 67-00-04162-001 as more fully described in the Deed recorded in the Montgomery County Recorder of Deeds Office; and

WHEREAS, the Applicant proposes the subdivision of the existing 5.39 acre tract to create two lots. Lot 1 will consist of 74,532 square feet and Lot 2 will consist of 160,348 square feet. The proposed dwellings are to be served by private water and private sanitary sewage disposal systems, (the "Development"); and

WHEREAS, said plan received a recommendation for Preliminary/Final Plan Approval by the Worcester Township Planning Commission at their meeting on May 22, 2025; and

WHEREAS, the Preliminary/Final Plan for the proposed subdivision, prepared by Bursich and Associates, titled, "1038 Windy Hill Road - 2-Lot Subdivision" consisting of 12 sheets, dated January 15, 2025, last revised April 15, 2025, and a Post Construction Stormwater Report dated January 2025, last revised April 2025 (the "Plan(s)" or "Preliminary/Final Plan") is now in a form suitable for Preliminary/Final Plan Approval by the Worcester Township Board of Supervisors, subject to certain conditions.

NOW, THEREFORE, IN CONSIDERATION OF THE FOREGOING,

IT IS HEREBY RESOLVED by the Board of Supervisors of Worcester Township, as follows:

1. **Approval of Plan.** The Preliminary/Final Plan as described above, is hereby approved, subject to the conditions set forth below.

2. **Conditions of Approval.** The approval of the Preliminary/Final Plan is subject to strict compliance with the following conditions:

- A. Compliance with all comments and conditions set forth in the CKS Engineers, Inc. letter of May 13, 2025.
- B. Compliance with all comments and conditions set forth in the Montgomery County Planning Commission review letter of May 21, 2025.
- C. Compliance with all comments and conditions set forth in the Bowman letter of May 2, 2025 concerning Land Development Review and Waiver Request Review.
- D. Payment to the Township of a Traffic Impact Fee, in the total amount of \$6,250, which shall be paid on a per lot basis and at the time of submission of a building permit application for each of the dwellings to be built on 2 lots, in the amount of \$3,125 per lot.
- E. Payment to Worcester Township of a voluntary contribution in the amount of \$6,000.00 in-lieu of required plantings, pursuant to the waiver contained in Paragraph 3.E.
- F. The existing storm water basin located on Lot 1 can be used for storage and disposal of plowed snow from Windy Hill Road. This condition shall be disclosed on any building permit or other plot plans for Lot 1; in addition, a seller's disclosure in form satisfactory to the Township Solicitor

shall be included in the Agreement of Sale for Lot 1 and evidence of same shall be provided to the Township prior to issuance of a Use and Occupancy permit for Lot 1.

- G. The existing emergency access and associated Easement on Lot 2 shall be kept free and clear for the purpose of emergency use and not be obstructed or blocked in any manner at any time by the lot owner or visitors to the property, including but not limited to, parking of vehicles, plantings, structures, storage, etc. for a minimum distance of 150 feet from the driveway edge accessing the Windy Hill Road cul-de-sac to a point of the Lot 2 driveway that is fully outside the emergency access easement. This condition shall be disclosed on any building permit or other plot plans for Lot 2; in addition, a seller's disclosure in form satisfactory to the Township Solicitor shall be included in the Agreement of Sale for Lot 2 and evidence of same shall be provided to the Township prior to issuance of a Use and Occupancy permit for Lot 2.
- H. The approval and/or receipt of permits required from any and all outside agencies, including but not limited to, Montgomery County Conservation District, Pennsylvania Department of Environmental Protection, Pennsylvania Department of Transportation, the receipt of will-serve letters from all applicable utilities, and all other authorities, agencies, and duly constituted public bodies having jurisdiction in any way over the development.
- I. Prior to recording the Preliminary/Final Plan, Applicant shall enter into a Land Development and Financial Security Agreement ("Agreement") with the Township. The Agreement shall be in a form satisfactory to the Township Solicitor, and the Applicant shall obligate itself to complete all of the improvements shown on the Plans in accordance with applicable Township criteria and

specifications, as well as to secure the completion of the public improvements by posting financial security in an amount satisfactory to the Township Engineer as required by the Pennsylvania Municipalities Planning Code, and in form satisfactory to the Township Solicitor.

- J. Applicant agrees to provide Township with estimated costs for financial security and establish financial security for all public improvements, to the satisfaction of the Township engineer, prior to Final Plan recording and issuance of any building, grading or other permits. Applicant shall provide financial security, as required by the Township for all work that falls under their responsibility per the approved Plan.
- K. Applicant shall execute a Stormwater Management BMP Operations and Maintenance Agreement and Declaration of Stormwater Easement in favor of the Township, satisfactory to the Township Solicitor, which shall be recorded simultaneously with the Plan.
- L. The Applicant shall provide to the Township for signature that number of Plans required for recording and filing with the various Departments of Montgomery County, plus an additional three (3) Plans to be retained by the Township, and the Applicant shall have all Plans recorded, and the Applicant return the three (3) Plans to the Township within seven (7) days of Plan recording.
- M. The Applicant shall provide a copy of the recorded Plan in an electronic format acceptable to the Township Engineer, within seven (7) days of Plan recording.
- N. The Applicant shall make payment of all outstanding review fees and other charges due to the Township prior to Plan recording.

- O. The Development shall be in strict accordance with the content of the Plans, notes on the Plans and the terms and conditions of this Resolution.
- P. The cost of accomplishing, satisfying and meeting all of the terms and conditions and requirements of the Plans, notes to the Plans, this Resolution, and the Agreement shall be borne entirely by the Applicant, and shall be at no cost to the Township.
- Q. Applicant shall provide the Township Manager and the Township Engineer with at least seventy-two (72) hour notice prior to the initiation of any grading or ground clearing, whether for the construction of public improvements or in connection with any portion of the Development.
- R. Applicant understands that it will not be granted Township building or grading permits until the record plan, financial security, and all appropriate development and financial security agreements, easements, and other required legal documents are approved by the Township and recorded with the Montgomery County Recorder of Deeds and all appropriate approvals and/or permits from Township or other agencies for the above mentioned project are received. Any work performed on this project without the proper permits, approvals, and agreements in place will be stopped.

3. **Waivers.** The Worcester Township Board of Supervisors hereby grants the following waivers requested with respect to this Plan:

- A. Section 130-16.C(1)(a)[4] of the Worcester Township Subdivision and Land Development Ordinance - a waiver from providing a cartway along the Windy Hill Road site frontage to be a minimum of 28 feet;
- B. Section 130-16.C(1)(a)[5][b][v] of the Worcester Township Subdivision and Land Development Ordinance - a waiver to permit the cul-de-sac street to be longer than 500 feet;

- C. Section 130-18.A of the Worcester Township Subdivision and Land Development Ordinance - a waiver from the requirement to provide sidewalks along the site frontage of Windy Hill Road;
- D. Section 130-18.B of the Worcester Township Subdivision and Land Development Ordinance - a waiver from the requirement to provide curbing along the extension of Windy Hill Road;
- E. Section 130-28.F.(7) of the Worcester Township Subdivision and Land Development Ordinance - a waiver for replacement of trees over 6 inch caliper in excess of the permitted 25% removal; and
- F. Section 130-28.G.(5) of the Worcester Township Subdivision and Land Development Ordinance - a waiver to permit the existing woods/vegetation to suffice to satisfy the perimeter landscape buffer requirements.

4. **Acceptance.** The conditions set forth in paragraph 2 above shall be accepted by the Applicant, in writing, within ten (10) days from the date of receipt of this Resolution.

5. **Effective Date.** This Resolution shall become effective on the date upon which the Conditions are accepted by the Applicant in writing.

BE IT FURTHER RESOLVED that the Plans shall be considered to have received Preliminary/Final Approval once staff appointed by the Worcester Township Board of Supervisors determines that any and all conditions attached to said approval have been resolved to the satisfaction of Township staff and appropriate Township officials have signed said Plans and submitted them for recording with the Montgomery County Recorder of Deeds. Applicant shall provide the Township with executed Preliminary/Final Plans, record plans, development agreements, easements, and other associated documentation, according to Township procedures. Any changes to the approved site plan will require the submission of an amended site plan for land development review by all Township review parties.

RESOLVED and **ENACTED** this day of , 2025 by
the Worcester Township Board of Supervisors.

**WORCESTER TOWNSHIP
BOARD OF SUPERVISORS**

By: _____
Rick DeLello, Chair

Attest:

Daniel DeMeno, Secretary

ACCEPTANCE

The undersigned states that he/she is authorized to execute this Acceptance on behalf of the Applicant and owner of the property which is the subject matter of this Resolution, that he/she has reviewed the Conditions imposed by the Board of Supervisors in the foregoing Resolution and that he/she accepts the Conditions on behalf of the Applicant and the owner and agrees to be bound thereto. This Acceptance is made subject to the penalties of 18 Pa. C.S.A. Section 4904 relating to unsworn falsifications to authorities.

ARDEN RESERVE, LLC

Date: _____

By: _____
Michael J. Clement, Member

March 28, 2025

Mr. Dan DeMeno, Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

RE: Waiver (Modification) Requests
1038 Windy Hill Road – 2 Lot Subdivision
Worcester Township, Montgomery Co., PA
Bursich Project No.: MIK-01 / 208161.01

Dear Mr. DeMeno:

On behalf of Arden Reserve, LLC (Applicant) in coordination with the minor subdivision plans filed for the above referenced project, the following are the formal written modifications (i.e. “waiver”) requested from the requirements of the Worcester Township Subdivision and Land Development Ordinance – Chapter 130:

- §130-16.C(1)(a)[4] – a waiver from providing widening of the cartway along the Windy Hill Road site frontage to a minimum of 28-feet. As part of the previously approved “Huganir Property Subdivision”, the cul-de-sac was relocated and improved, maintaining the existing 20’ cartway width for the short (~80’) extension of the cartway from the end of the prior cul-de-sac to the new cul-de-sac. The construction of these roadway improvements has been completed. Also, the majority of this project’s site frontage is along the existing improved cul-de-sac bulb. Applicant respectfully submits that this waiver is of an administrative nature.
- §130-16.C(1)(a)[5][b][v] – a waiver from the cul-de-sac street not being more than 500 feet in length. As part of the previously approved “Huganir Property Subdivision”, the cul-de-sac was extended and improved in order to provide a bulb in compliance with current Township requirements. Th construction of this improvement has been completed. The proposed subdivision does not involve any further extension or improvements to Windy Hill Road. Applicant respectfully submits that this waiver is of an administrative nature.
- §130-18.A. – a waiver from providing sidewalk along the site frontage of Windy Hill Road. There is no sidewalk provided along any portion of Windy Hill Road between the site frontage and West Germantown Pike.

OFFICE LOCATIONSwww.vancleefengineering.com

Hillsborough, NJ
908-359-8291

Mt. Arlington, NJ
862-284-1100

Phillipsburg, NJ
908-454-3080

Doylestown, PA
215-345-1876

Pottstown, PA
610-323-4040

Hamilton, NJ
609-689-1100

Toms River, NJ
732-573-0490

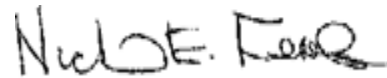
Freehold, NJ
732-303-8700

Bethlehem, PA
610-332-1772

- §130-18.B – a waiver was previously granted from providing curb along the extension of the Windy Hill Road cul-de-sac per Resolution 22-22 (granting Final Land Development Approval of the Hugarir Property Subdivision Plan), which the subject Site was a part of that parent tract. Applicant respectfully submits that this waiver is of an administrative nature.
- §130-28.F.(7) – a waiver for replacement of all trees over 6" caliper in excess of the permitted 25% removal. The site is wooded, much of which will remain, and the disturbed areas provide the area needed to accommodate the dwelling, driveway, septic, well, and usable yard areas for each lot.
- §130-28.G.(5) – a waiver to allow the existing woods/vegetation to suffice to satisfy the perimeter landscape buffer requirements.

Should you have any questions or need further information, please feel free to contact me at 484-941-0427 or nfeola@vancleefengineering.com.

Very Truly Yours,
Van Cleef Engineering Associates, LLC

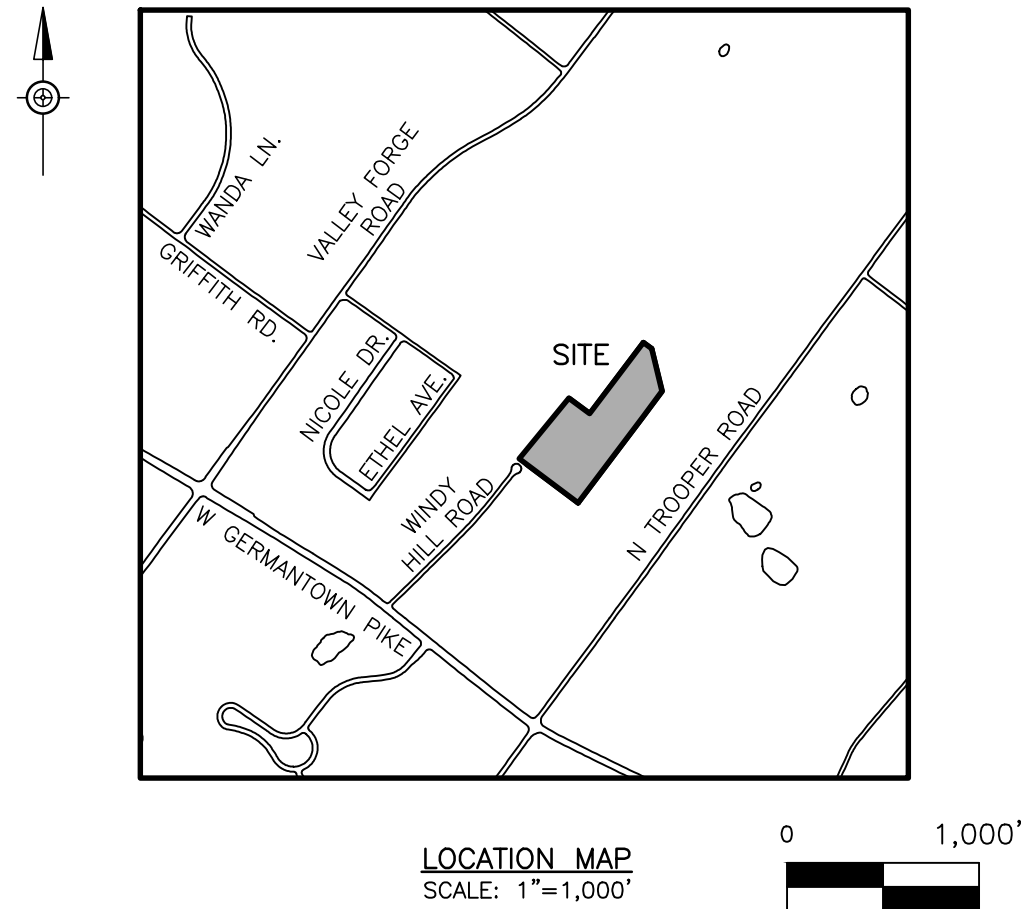


Sr. Project Manager

Cc: Michael Clement, Esq, Arden Reserve, LLC (via email only)

MINOR SUBDIVISION PLAN FOR
1038 WINDY HILL ROAD
2-LOT SUBDIVISION

WORCESTER TOWNSHIP - MONTGOMERY COUNTY
PENNSYLVANIA



SHEET LIST		
SHEET NO.	DRAWING	SHEET DESCRIPTION
01	TS-01	TITLE SHEET
02	SD-01	SUBDIVISION PLAN
03	EC-01	EXISTING RESOURCES & SITE ANALYSIS PLAN
04	PN-01	PROJECT DATA & NOTES
05	IP-01	IMPROVEMENT CONSTRUCTION PLAN
06	ES-01	EROSION AND SEDIMENT CONTROL PLAN
07	ES-02	EROSION AND SEDIMENT CONTROL DETAILS
08	ES-03	EROSION AND SEDIMENT CONTROL DETAILS
09	ES-04	EROSION AND SEDIMENT CONTROL NOTES
10	PC-01	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
11	PC-02	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
12	PC-03	POST CONSTRUCTION STORMWATER MANAGEMENT NOTES

	PLANS TO BE RECORDED
	TO BE RECORDED WITH POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) INSTRUMENT

SUPPORTING DOCUMENTATION SUBMITTED TO WORCESTER TOWNSHIP AS PART OF THIS APPLICATION

1. STORMWATER MANAGEMENT REPORT, PREPARED BY BURSICH ASSOCIATES, INC.	DATE JANUARY, 2025	LAST REV. DATE APRIL, 2025
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WORCESTER TOWNSHIP BOARD OF SUPERVISORS

APPROVED THIS _____ DAY OF _____, 20____, BY THE BOARD OF SUPERVISORS OF WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA.

ATTEST:
SIGNATURE, CHAIRMAN _____

DATE SIGNED _____

SIGNATURE, SECRETARY _____

DATE SIGNED _____

WORCESTER TOWNSHIP PLANNING COMMISSION

REVIEWED THIS _____ DAY OF _____, 20____, BY THE PLANNING COMMISSION OF WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA.

ATTEST:
SIGNATURE _____

DATE SIGNED _____

REVIEWED BY THE TOWNSHIP ENGINEER OF WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA.

TOWNSHIP ENGINEER: _____

DATE: _____

SURVEYOR'S CERTIFICATION

I, DANE K. MOYER, P.L.S., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PLAN AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEY SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION, THAT THE EXISTING PERIMETER MONUMENTS SHOWN HEREON HAVE BEEN LOCATED AS PART OF THE SURVEY, AND ALL OTHER PROPOSED PERIMETER MONUMENTS SHALL BE SET.

PROFESSIONAL SURVEYOR SIGNATURE _____ DATE _____
DANE K. MOYER, P.L.S.
PLS. NO. SU-056988-E

ENGINEER'S CERTIFICATE OF CONFORMANCE

I, NICHOLAS E. FEOLA, P.E., HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS DESCRIBED HEREON, AS WELL AS OTHER DRAWINGS WHICH ARE PART OF THIS PLAN SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND WERE PREPARED BY ME OR UNDER MY DIRECTION FOR WHICH I ACCEPT FULL RESPONSIBILITY.

PROFESSIONAL ENGINEER SIGNATURE _____ DATE _____
NICHOLAS E. FEOLA, P.E.
PE NO. PE046396E

RECORDER OF DEEDS

RECORDED THIS _____ DAY OF _____, 20____, IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PENNSYLVANIA IN PLAN BOOK _____, PAGE _____

SIGNATURE OF RECORDER _____ DATE _____

RECORD OWNER APPLICANT & PARCEL INFORMATION:

PARCEL NO. 67-00-04162-00-1
ARDEN RESERVE, LLC
2965 GERMANTOWN PIKE
NORRISTOWN, PA 19403
(610) 539-8088
DB. 6339 PG. 02063

PURPOSE OF PLAN

THE PLAN PROPOSES TO SUBDIVIDE A 5.39 ACRE PARCEL INTO TWO (2) LOTS. THE PARCEL WAS SHOWN AS LOT #9 ON THE "HUGANIR PROPERTY SUBDIVISION" PREVIOUSLY APPROVED AND RECORDED, IDENTIFIED AS RESIDUAL LANDS TO BE RETAINED BY ARDEN RESERVE, LLC. A NEW SINGLE FAMILY DETACHED DWELLING WILL BE CONSTRUCTED ON EACH LOT.

SITE DATA

AREA TO LEGAL RIGHT OF WAY 5.39 ACRES
NUMBER OF LOTS 2
SANITARY SEWER INDIVIDUAL, ON-LOT
WATER INDIVIDUAL, ON-LOT WELL

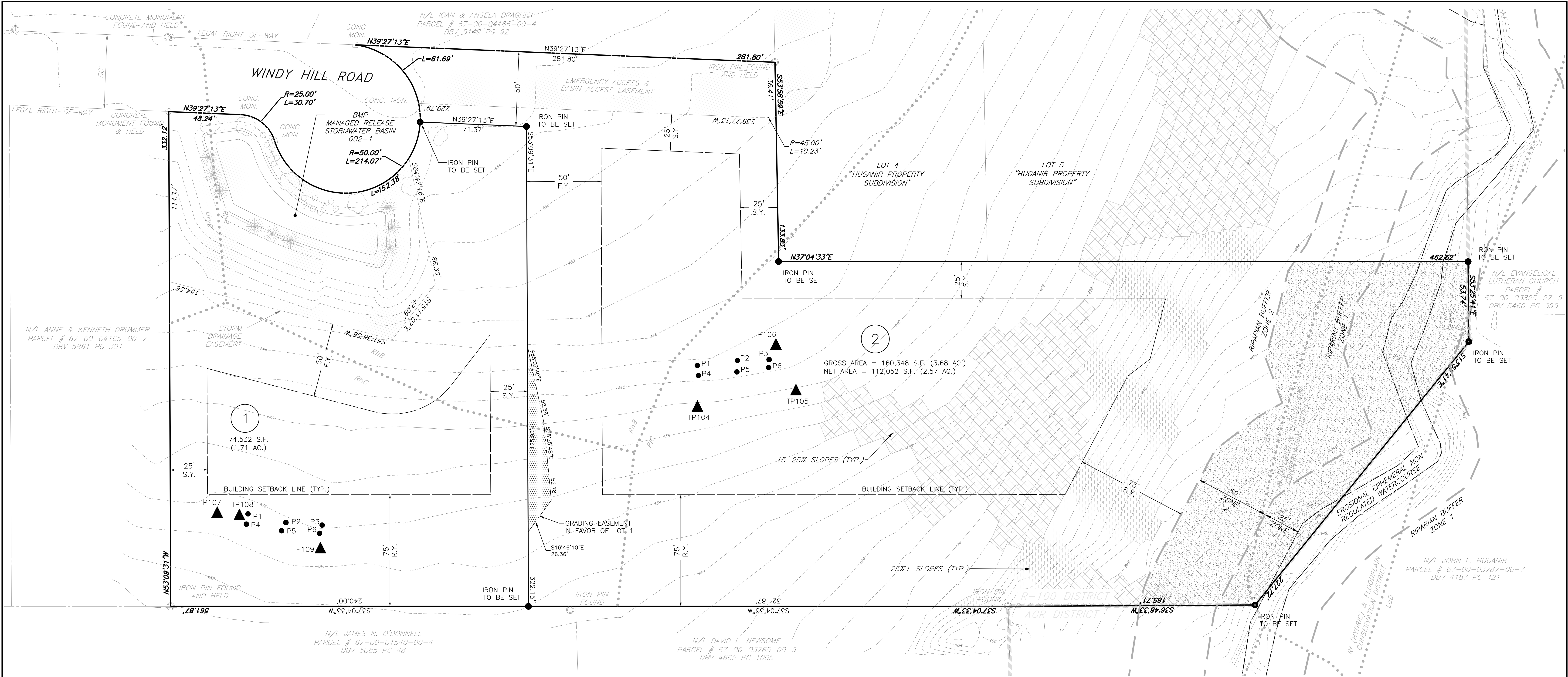
RECORDING NOTE:

SHEETS 1, 2 AND 4 OF THIS PLAN SET WILL BE CONSIDERED A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE MONTGOMERY COUNTY RECORDER OF DEEDS OFFICE.

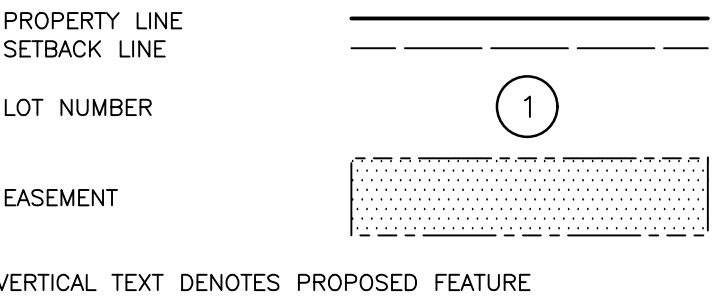


Stop - Call Before You Dig!
Pennsylvania Act 287 of 1974 as amended by Act 50 of 2017 73P.S. §176 et. seq. requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776

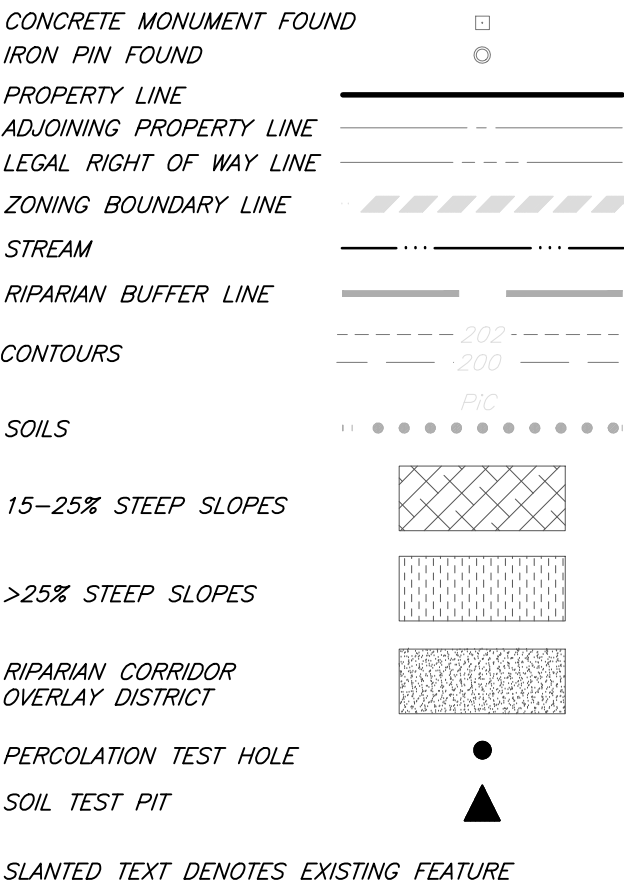
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PROPOSED LEGEND



EXISTING FEATURES LEGEND

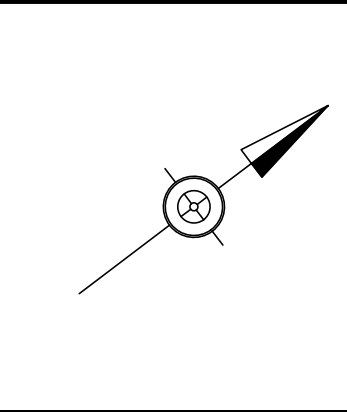


SOILS LEGEND

MAP UNIT SYMBOL	MAP UNIT NAME	SUITABILITY FOR CONSTRUCTION
LaD	LANSDALE LOAM, 15-25 PERCENT SLOPES	VERY LIMITED
PIC	PENN-LANSDALE COMPLEX, 8-15 PERCENT SLOPES	VERY LIMITED
RhB	REAVILLE SILT LOAM, 3-8 PERCENT SLOPES	VERY LIMITED
RhC	REAVILLE SILT LOAM, 8-15 PERCENT SLOPES	VERY LIMITED
Rt	ROWLAND SILT LOAM, TERRACE	VERY LIMITED
UryB	URBAN LAND-READINGTON COMPLEX, 0-8 PERCENT SLOPES	NOT RATED



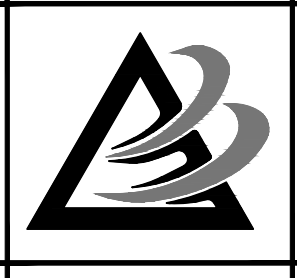
1.	REVISED PER CONSULTANT REVIEW LETTER	4-15-25	DPC		
	REVISION	DATE	BY		



SEAL	SEAL
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MANAGER	NEF
DESIGN	NEF
DRAFT	DPC
FILE	MIK-03
NOTES	

CHKD. BY	
CHKD. BY	
DATE	1/15/25
SCALE	1"=30'



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POTTSTOWN, PA 19464
610.323.4040

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CLIENT

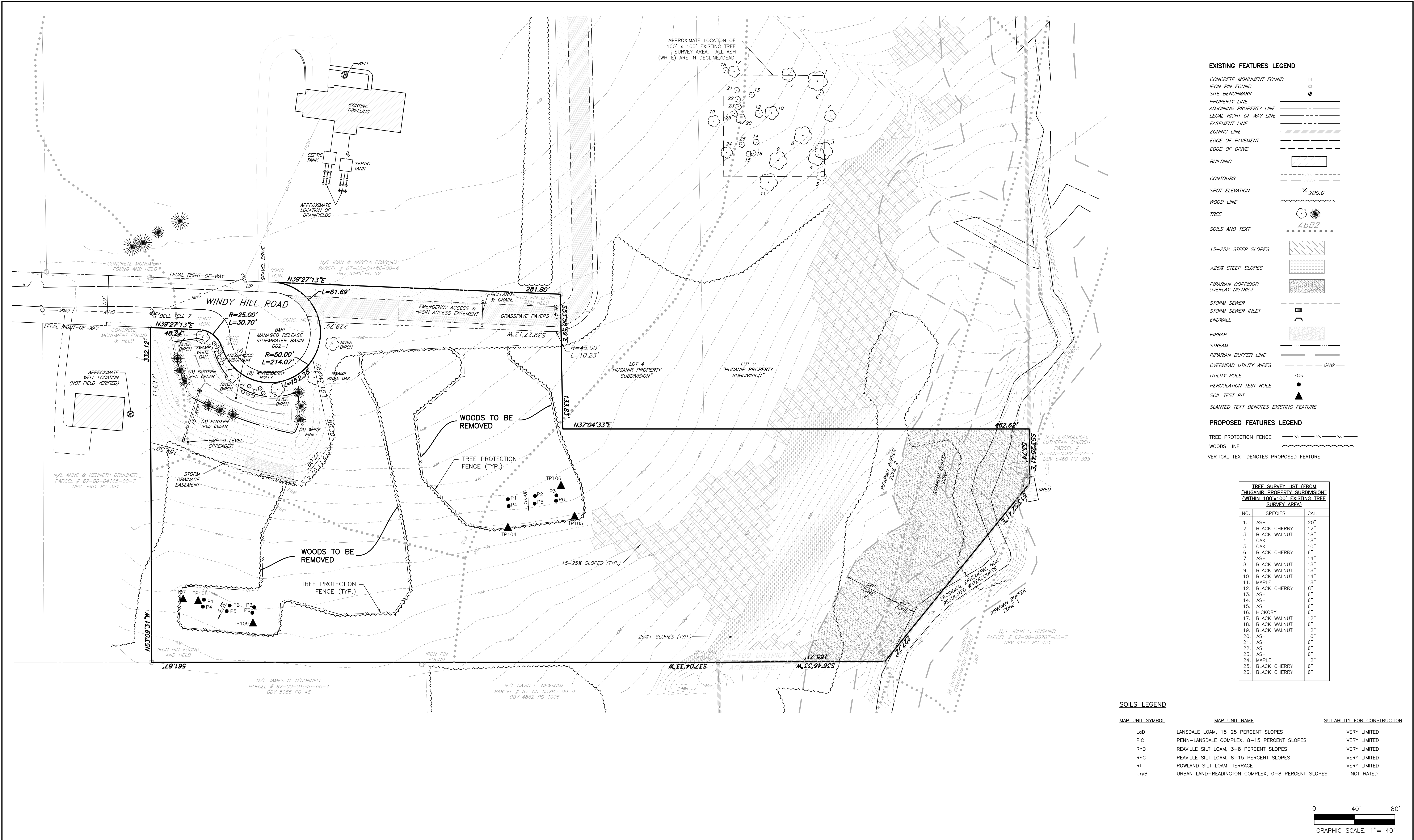
ARDEN RESERVE, LLC
P.O. BOX 243
FAIRVIEW VILLAGE, PA 19409
(610) 539-8088

SUBDIVISION PLAN
RECORD PLAN 2 OF 3

1038 WINDY HILL ROAD
2 LOT SUBDIVISION

WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.	208161-01
SHEET NO.	2 OF 12
DWG. NO.	SD-01



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GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS FROM A FIELD SURVEY PERFORMED BY BURSICH ASSOCIATES, INC. PERFORMED IN JULY, 2021.
2. HORIZONTAL DATUM: NORTH AMERICAN DATUM (NAD) 83 (PA STATE PLANE SOUTH).
3. VERTICAL DATUM: NAVD 88.
4. SITE BENCH MARK: RIM OF SANITARY SEWER MANHOLE LOCATED AT THE SOUTH EAST END OF ARTMAR, AT ITS INTERSECTION WITH ETHEL AVENUE, 32' +/- SW OF PECO POLE #80430, ELEVATION 473.08.
5. REFERENCE PLAN: FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN FOR "HUGANIR PROPERTY SUBDIVISION", PREPARED BY BURSICH ASSOCIATES, INC., SHEETS 1-44 OF 44, DATED 11/30/21, LAST REVISED 4/20/23.
6. THE LOCATION OF ALL EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH, OR HORIZONTAL OR VERTICAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION IN ACCORDANCE WITH PENNSYLVANIA ACT 38 "ONE CALL" SYSTEM. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY THEIR WORKFORCE.
7. A PA ONE CALL WAS PERFORMED FOR DESIGN PURPOSES, SERIAL NUMBERS 20211123249 & 2021123288.
8. BY GRAPHIC PLOTTING ONLY, THE PREMESIS SHOWN HEREON LIES DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA), AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) 42091C0245G, EFFECTIVE DATE: 03/02/2016.
9. IT IS NOT THE INTENT OF THIS PLAN TO ILLUSTRATE ANY SUBSURFACE CONDITIONS SHOULD THEY EXIST, I.E. BURIED TANKS, SEEPAGE BEDS, TILE FIELDS, ETC.
10. A WETLAND/WATERS DETERMINATION FOR THE SUBJECT SITE WAS PERFORMED BY NOVA CONSULTANTS, LTD. NEWTOWN, PA, AND DOCUMENTED IN A REPORT DATED MAY, 2021, CONCLUDING THAT NO WETLANDS OF HYDRIC CLASS SOILS EXIST AND THE UPPER REACH DRAINAGE FEATURES ARE EPHEMERAL, EROSIONAL, ARE NOT MAPPED BY USFWS SERVICE, AND REPRESENT INTERMITTENT STORMWATER RUNOFF FEATURES DUE TO SLOPE POSITION AND SLOPE DECLIVITY.
11. SOILS INFORMATION SHOWN FROM INFORMATION CONTAINED ON THE USDA - NRCS WEB SOIL SURVEY.
12. ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND. INSTALLATION OF ALL UTILITIES SHALL BE STRICT ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP, AUTHORITY, OR OTHER PUBLIC UTILITY CONCERNED.
13. THE RESPECTIVE LOT OWNER SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AND BEST MANAGEMENT PRACTICES (BMPs) LOCATED ON THEIR LOT. NO CHANGES SHALL BE MADE TO THE FACILITIES, PIPES, STRUCTURES, OR FINISHED GRADING WITHOUT PRIOR WRITTEN APPROVAL FROM THE MUNICIPALITY AND ANY APPLICABLE GOVERNMENTAL REGULATORY AGENCIES. REPRESENTATIVES OF THE MUNICIPALITY AND/OR OTHER APPLICABLE GOVERNMENTAL AGENCIES SHALL HAVE THE PERMISSION TO ACCESS THE STORMWATER MANAGEMENT FACILITIES THROUGH A BLANKET EASEMENT OVER THE SUBJECT PROPERTY TO ALLOW ENTRY TO PERFORM INSPECTIONS, AND TO ALLOW ENTRY AND EXECUTION OF ALL NECESSARY REPAIRS TO THE FACILITIES SHOULD THE HOA FAIL TO MAINTAIN THE FACILITIES IN ACCORDANCE WITH THE APPROVED PLAN.
14. THE INDIVIDUAL LOT OWNERS ARE RESPONSIBLE FOR THEIR OWN SOLID WASTE STORAGE AND DISPOSAL.
15. EACH PROPOSED LOT WILL BE SERVED BY A PRIVATE INDIVIDUAL WELL FOR DOMESTIC WATER SUPPLY. WELL PERMITS MUST BE OBTAINED FROM THE MONTGOMERY COUNTY HEALTH DEPARTMENT PRIOR TO COMMENCING DWELLING CONSTRUCTION ON THE RESPECTIVE LOT.
16. EACH PROPOSED LOT WILL BE SERVED BY A PRIVATE, INDIVIDUAL ON-SITE SEWAGE DISPOSAL FACILITY. SOIL TESTING WAS PERFORMED BY PENNS TRAIL ENVIRONMENTAL ON 7/28/2023 & 12/1/2023, AND FIELD LOCATED BY BURSICH ASSOCIATES, INC. APPROVAL AND APPLICABLE PERMITS SHALL BE OBTAINED FROM THE MONTGOMERY COUNTY DEPARTMENT OF HEALTH FOR EACH ON-LOT SEWAGE DISPOSAL FACILITY PRIOR TO CONSTRUCTION OF THE RESPECTIVE LOT.
17. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS OF THE APPLICABLE STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
18. UNLESS NOTED OTHERWISE NO THE PLANS OR IN THE PERMITS GOVERNING THE WORK, ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING APPROPRIATE STANDARDS AND SPECIFICATIONS:
- WORCESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND AMENDMENTS, AND CONSTRUCTION SPECIFICATIONS.
 - PENNDOT PUBLICATION 408 SPECIFICATIONS, LATEST EDITION AND ALL ADDENDA.
19. ALL LOT CORNERS SHALL BE PERMANENTLY MARKED AFTER FINAL GRADING HAS BEEN COMPLETED. MARKERS SHALL BE AT LEAST FIVE-EIGHTHS-INCH METAL PINS WITH A MINIMUM LENGTH OF 24 INCHES, LOCATED IN THE GROUND TO EXISTING GRADE.
20. THIS PLAN IS PREPARED FOR LAND DEVELOPMENT PURPOSES ONLY. ADDITIONAL DATA MAY BE NECESSARY FOR CONSTRUCTION.
21. THE PROPOSED DWELLING UNITS DEPICTED ON THE PLANS ARE SUBJECT TO ALL APPLICABLE TOWNSHIP ORDINANCES AND REGULATION. INDIVIDUAL DWELLING UNIT FOOTPRINTS ARE APPROXIMATE. FINAL DWELLING UNIT FOOTPRINTS AND ELEVATIONS WILL BE SUBMITTED DURING THE BUILDING PERMIT APPLICATION PHASE AS DETERMINED AT THE TIME OF INDIVIDUAL LOT SALES.
22. DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE HAZARDOUS/UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
24. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURE, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF PAVEMENT AND SIDEWALKS TO REMAIN, AND PROVIDE A SAFE WORK AREA.
25. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCIES OF THE BEGINNING DATE OF CONSTRUCTION AND IS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT NO WORK IS DONE WITHOUT THE PROPER INSPECTIONS BY LOCAL AUTHORITY OR GOVERNING AGENCIES.
26. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS /MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS, NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF IDENTIFIED WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.

GRADING & UTILITY GENERAL NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND REFERENCED DOCUMENTS IN THE PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND UNSUITABLE MATERIAL AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE OR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS BEING DONE, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN ANY BUILDING PAD AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
2. ALL SPOT ELEVATIONS SHOWN ON THE PLANS ARE BOTTOM FACE OF CURB OR TOP OF FINISHED PAVING UNLESS OTHERWISE NOTED.
3. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 2 PERCENT AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 1 PERCENT. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE (2% MIN.) IN ALL PROPOSED GRASS AREAS AWAY FROM ALL STRUCTURES.
4. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING UNITS. SLOPES AND SEPARATION BETWEEN FINISHED GRADE AND SILL PLATE SHALL BE IN ACCORDANCE WITH BUILDING CODE OR A MINIMUM SLOPE OF 2%, AND MINIMUM SEPARATION BETWEEN FINISHED GRADE AND SILL PLATE OF 8-INCHES, WHICHEVER CONTROLS.
5. THE CONTRACTOR SHALL COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST STANDARDS OF OSHA OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USES OF THESE UTILITIES.
7. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND DOCUMENTS FOR ACTUAL LOCATIONS OF ALL CONNECTION POINTS INCLUDING SEWAGE & WATER SERVICES, ELECTRICAL, TELEPHONE, GAS, AND CABLE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
8. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IN WRITING.
9. ALL UTILITIES SHALL BE PLACED UNDERGROUND. CONSTRUCTION OF UTILITIES SHALL BE TO THE PROPER STANDARDS OF THE APPLICABLE UTILITY AUTHORITY.

MINIMUM HORIZONTAL ISOLATION DISTANCE
TABLE FOR ON-LOT SEWAGE SYSTEMS

A. SEPTIC TANKS:	
PROPERTY LINE, EASEMENT, RIGHT-OF-WAY	10 FT.
BUILDINGS, POOLS & DRIVEWAYS	10 FT.
INDIVIDUAL WATER SUPPLY	50 FT.
WATER SUPPLY LINE UNDER PRESSURE	10 FT.
STREAMS, LAKES OR OTHER SURFACE WATERS	25 FT.
B. ABSORPTION AREA:	
PROPERTY LINE, EASEMENT, RIGHT-OF-WAY	10 FT.
BUILDINGS, POOLS & DRIVEWAYS	10 FT.
INDIVIDUAL WATER SUPPLY	100 FT.
WATER SUPPLY LINE UNDER PRESSURE	10 FT.
STREAMS, LAKES OR OTHER SURFACE WATERS	50 FT.
(EXCLUDES WETLANDS)	
OTHER ACTIVE ON-LOT SYSTEMS	5 FT.
SURFACE DRAINAGE WAY	10 FT.
NATURAL OR MAN MADE SLOPE > 25%	10 FT.
DETENTION BASINS, RETENTION BASINS & STORMWATER SEEPAGE BEDS	10 FT.

WAIVERS

THE FOLLOWING WAIVERS FROM THE REQUIREMENTS OF THE WORCESTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE - CHAPTER 130 WERE GRANTED BY THE WORCESTER TOWNSHIP BOARD OF SUPERVISORS ON _____, 2025:

- §130-16.C(1)(A)[4] - A WAIVER FROM PROVIDING WIDENING OF THE CARTWAY ALONG THE WINDY HILL ROAD SITE FRONTAGE TO A MINIMUM OF 28- FEET.
- §130-16.C(1)(A)[5][B][V] - A WAIVER FROM THE CUL-DE-SAC STREET NOT BEING MORE THAN 500 FEET IN LENGTH.
- §130-18.A - A WAIVER FROM PROVIDING SIDEWALK ALONG THE SITE FRONTAGE OF WINDY HILL ROAD.
- §130-18.B - A WAIVER TO REAFFIRM THE PRIOR WAIVER GRANTED FROM PROVIDING CURB ALONG THE EXTENSION OF THE WINDY HILL ROAD CUL-DE-SAC PER RESOLUTION 22-22.
- §130-28.F.(7) - A WAIVER FOR REPLACEMENT OF ALL TREES OVER 6" CALIPER IN EXCESS OF THE PERMITTED 25% REMOVAL.
- §130-28.G.(5) -A WAIVER TO ALLOW THE EXISTING WOODS/VEGETATION TO SUFFICE TO SATISFY THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS.

LOT #1 BASIN USE FOR SNOW REMOVAL AREA NOTE:

THE EXISTING STORMWATER BASIN LOCATED ON LOT 1 CAN BE USED FOR STORAGE AND DISPOSAL OF PLOWED SNOW FROM WINDY HILL ROAD. THIS CONDITION SHALL BE DISCLOSED ON ANY BUILDING PERMIT OR OTHER PLOT PLANS FOR LOT #1.

EXISTING EMERGENCY ACCESS & BASIN ACCESS EASEMENT ON LOT 2 RESTRICTIONS NOTE:

THE EXISTING EMERGENCY ACCESS AND ASSOCIATED EASEMENT ON LOT 2 SHALL BE KEPT FREE AND CLEAR FOR THE PURPOSE OF EMERGENCY USE AND NOT BE OBSTRUCTED OR BLOCKED IN ANY MANNER AT ANY TIME BY THE LOT OWNER OR VISITORS TO THE PROPERTY, INCLUDING BUT NOT LIMITED TO: PARKING OF VEHICLES, PLANTINGS, STRUCTURES, STORAGE, ETC., FOR A MINIMUM DISTANCE OF 150 FEET FROM THE DRIVEWAY EDGE ACCESSING THE WINDY HILL ROAD CUL-DE-SAC TO A POINT OF THE LOT #2 DRIVEWAY THAT IS FULLY OUTSIDE THE EMERGENCY ACCESS EASEMENT. THIS CONDITION SHALL BE DISCLOSED ON ANY BUILDING PERMIT OR OTHER PLOT PLANS FOR LOT #2.

SIGHT DISTANCE AT W. GERMANTOWN PIKE & WINDY HILL ROAD INTERSECTION NOTE:

A SITE EVALUATION WAS CONDUCTED TO DETERMINE THE VISIBILITY AND SIGHT DISTANCES IN BOTH DIRECTIONS FOR A VEHICLE PULLED UP TO THE INTERSECTION IN A NORMAL FASHION. THE DESIRABLE SIGHT DISTANCES PER PENNDOT FOR A VEHICLE TURNING FROM WINDY HILL RD ONTO W. GERMANTOWN PIKE (AND POSTED SPEED LIMIT OF 35MPH) ARE 440' TO THE LEFT AND 350' TO THE RIGHT. THE MEASURED SIGHT DISTANCE TO THE LEFT IS OVER 450' AND TO THE RIGHT IS OVER 550'.

ZONING DATA

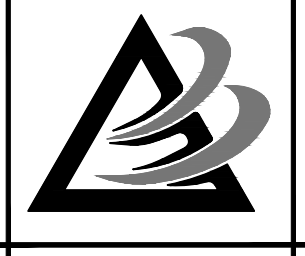
R-100 RESIDENTIAL DISTRICT
PROPOSED USE: SINGLE FAMILY DETACHED DWELLING
SEWER: PRIVATE, INDIVIDUAL ON-LOT
WATER: PRIVATE, INDIVIDUAL WELL

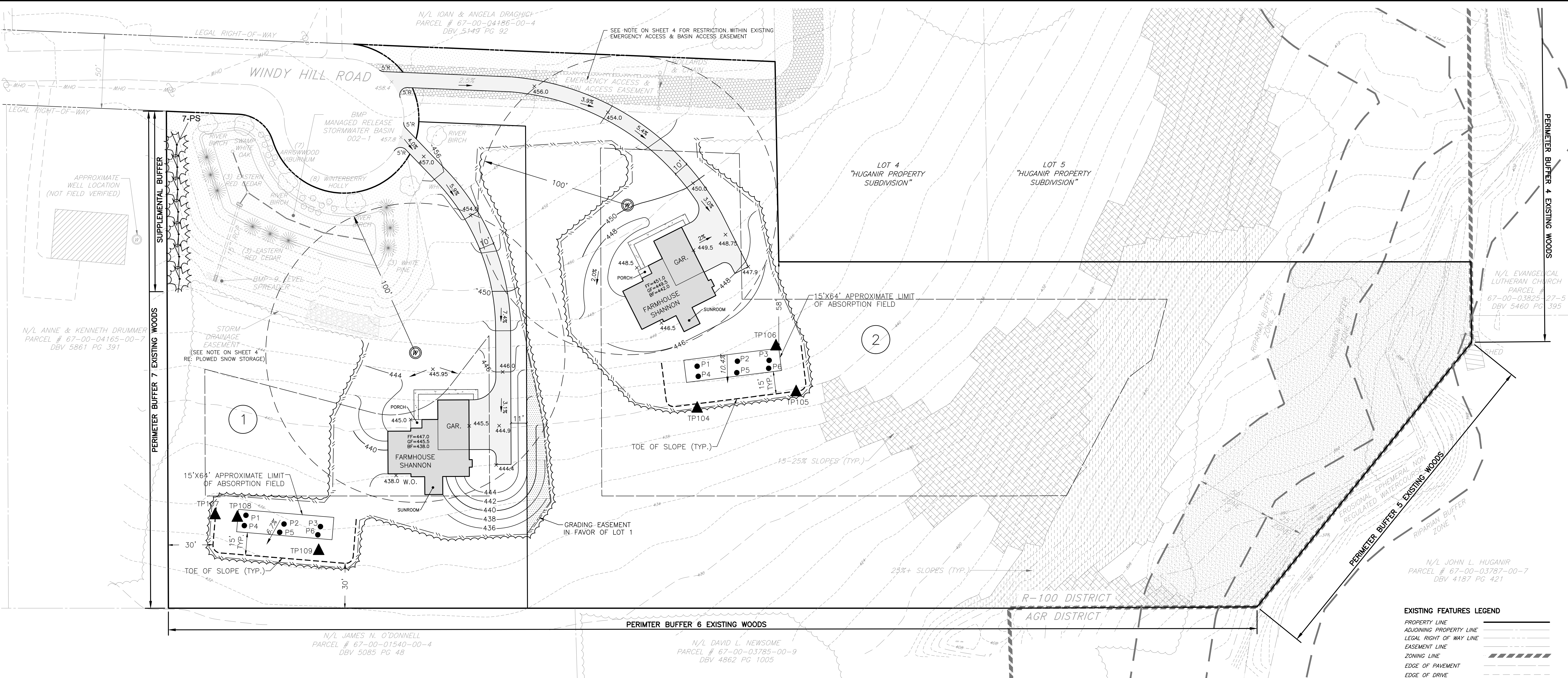
	REQUIRED	PROPOSED LOT 1	LOT 2
MIN. LOT AREA	60,000 S.F.	74,532 S.F.	112,052 S.F.
MIN. FRONTAGE ABUTTING PUBLIC STREET RIGHT-OF-WAY LINE	50 FT.	218 FT.	74 FT.
MIN. LOT WIDTH AT BLDG. LINE	200 FT.	240 FT.	369 FT.
MIN. LOT DEPTH	250 FT.	332 FT.	632 FT.
MIN. BUILDING SETBACKS			
FRONT YARD (F.Y.)	50 FT.	50 FT.	50 FT.
REAR YARD (R.Y.)	75 FT.	75 FT.	75 FT.
SIDE YARD (S.Y.)	25 FT.	25 FT.	25 FT.
MAX. BUILDING COVERAGE	20%	3.2%	2.1%
MAX. IMPERVIOUS COVERAGE	30%	7.4%	5.3%
MAX. BUILDING HEIGHT	35 FT.	≤35 FT.	≤35 FT.
PARKING - A MINIMUM OF 2 OFF-STREET PARKING SPACES SHALL BE REQUIRED FOR EACH DWELLING UNIT.	2 SPACES	2 SPACES	2 SPACES

LOT TABLE							
LOT #	LOT AREA TO ULTIMATE RIGHT-OF-WAY	FLOODPLAINS/ WETLANDS/ WATER AREAS	ACCESS LEG AREA OF FLAG LOT	ACCESS PORTION OF LOT W/ WIDTH <70 FT	OVERHEAD UTILITY LINE OR UNDERGROUND GAS PIPELINE EASEMENT/RIGHT-OF-WAY AREA	STEEP SLOPE AREA >25%	% OF STEEP SLOPE AREA BETWEEN 15% TO 25%
1	1.71 AC. (74,532 SF)	0.00 AC	0.00 AC	0.00 AC	0.00 AC	0.00 AC	0.00 AC
2	3.68 AC. (160,348 SF)	0.46 AC (19,959 SF)	0.00 AC	0.09 AC (4,039 SF)	0.00 AC	0.36 AC (15,754 SF)	0.20 AC (8,544 SF)
							1.71 AC. (74,532 S.F.)
							2.57 AC. (112,052 S.F.)

§150-203: DETENTION BASIN IN YARD AREA CALCULATIONS

TOTAL REQUIRED YARD AREA:	42,099 SF
MAX.ALLOW. BASIN AREA W/IN REQUIRED YARDS (25%):	10,525 SF
EXIST. BASIN AREA WITH REQUIRED YARDS:	9,051 SF (21.5%)
TOTAL LINEAR DIMENSION OF REQUIRED YARDS:	1,184 LF
EXIST. ALLOW. BASIN LINEAR DIMENSION OF REQUIRED YARDS:	296 LF
YARD LINEAR DIMENSION (25%):	188 LF (15.9%)
EXIST BASIN LINEAR DIMENSION ALONG YARDS:	

					SEAL	SEAL	MANAGER NEF _____	 <div>BURSICH ASSOCIATES ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS 2129 EAST HIGH STREET POTTSTOWN, PA 19464 610.323.4040</div>	CLIENT ARDEN RESERVE, LLC P.O. BOX 243 FAIRVIEW VILLAGE, PA 19409 (610) 539-8088	PROJECT DATA & NOTES RECORD PLAN 3 OF 3 1038 WINDY HILL ROAD 2 LOT SUBDIVISION WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA	JOB NO. 208161-01
							DESIGN NEF CHKD. BY _____				SHEET NO. 4 OF 12
							DRAFT DPC CHKD. BY _____				DWG. NO. PN-01
							FILE MIK-03 DATE 1/15/25				
							NOTES SCALE _____				
1.	REVISED PER CONSULTANT REVIEW LETTER	4-15-25	DPC								
NO.	REVISION	DATE	BY								



LANDSCAPE CALCULATIONS:
REPLACEMENT OF EXISTING TREES (SECTION 130-28.F(7))
UP TO 25% OF THE EXISTING TREES WITH A TRUNK DIAMETER OF 6 INCHES OR GREATER ON THE SITE CAN BE REMOVED WITHOUT THE NEED FOR REPLACEMENT. IF MORE THAN 25% OF THE TREES ARE REMOVED, THE AMOUNT OF TREES WHICH EXCEEDS THE ALLOWED 25% REMOVAL SHALL BE REPLACED.

THE AMOUNT OF EXISTING TREES ON THE SITE WAS CALCULATED BY DETERMINING THE NUMBER OF TREES WITHIN A 100' BY 100' SQUARE AND APPLYING A RATIO OF THAT NUMBER OF TREES OVER THE ENTIRE WOODED AREA OF THE SITE. WITHIN THE 100' BY 100' AREA SURVEYED (IN THE MIDDLE OF THE WOODS) THERE WERE:

TREES	DIAMETERS	TOTAL
CHERRY'S	6", 6", 6", 8"	26"
WALNUTS	14", 18", 18", 18"	68"
OAKS	10", 18"	28"
MAPLE	12"	12"
HICKORY	6"	6"

AVERAGE CALIPER INCHES OF TREES= 140"
* ASH TREES WERE NOT INCLUDED SINCE THEY WERE DEAD OR IN DECLINE.

WOODLAND DISTURBANCE CALCULATION:

EXISTING WOODS	177,899 SF
WOODLANDS DISTURBED	50,491 SF
PERMITTED 25% WOODLAND DISTURBANCE	44,475 SF
WOODLANDS TO BE REPLACED WHICH EXCEED THE PERMITTED 25% DISTURBANCE	6,016 SF

AT AN AVERAGE OF 140 CALIPER INCHES OF TREES PER A 10,000 SF AREA THEN 84 CALIPER INCHES OF TREES WOULD NEED TO BE REPLACED.
(6,016 SF / 10,000 SF = 0.602 100'X100' UNITS)
0.602 X 140 CALIPER INCHES/UNIT = 84 CALIPER INCHES

A WAIVER TO NOT REPLACE THE 84 CALIPER INCHES OF WOODS IS REQUESTED.

LANDSCAPE CALCULATIONS CONTINUED:
PERIMETER BUFFERS (SECTION 130-28.G(5))
-PERIMETER BUFFERS 4 THROUGH 7 WILL UTILIZE THE EXISTING WOODS AS BUFFERING.

SINGLE FAMILY DETACHED DWELLINGS LANDSCAPING (SECTION 130-28.G(9))
-EACH LOT SHALL HAVE A MINIMUM OF 3 DECIDUOUS OR EVERGREEN TREES


MANAGED RELEASE BASIN 002-1 LANDSCAPING SMO SECTION 129-18.H(24) (FROM PRIOR APPROVED "HUGANIR PROPERTY" PLANS)

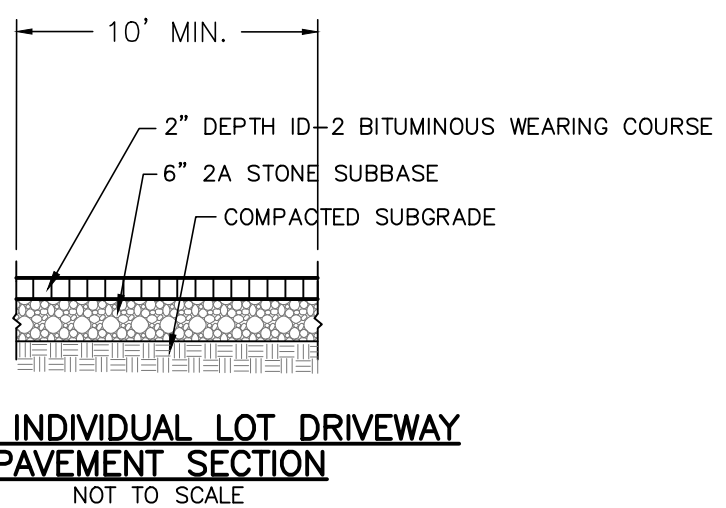
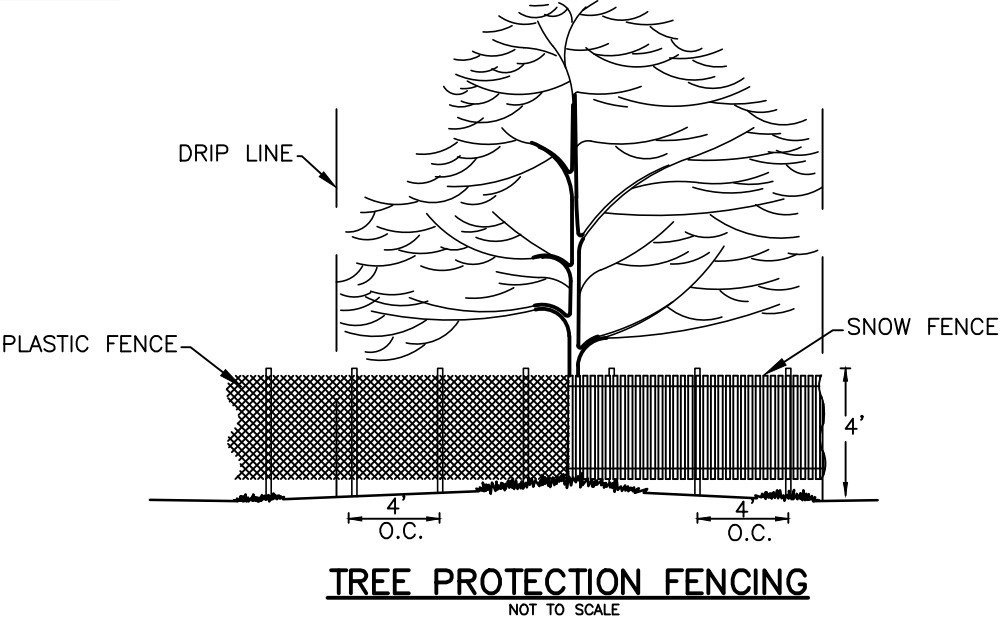
REQUIRED

- 3 EVERGREEN TREES PER 100 LINEAR FEET OF BASIN PERIMETER AT 100 YEAR WATER SURFACE ELEVATION
- PERIMETER @ 100 YR W.S.E = 325 LF
325/100' = 3.25
3 X 3 EVERGREENS = 9 EVERGREENS
- 2 DECIDUOUS TREES PER 100 LINEAR FEET OF BASIN PERIMETER AT 100 YEAR WATER SURFACE ELEVATION
- PERIMETER @ 100 YR W.S.E = 325 LF
325/100' = 3.25
3 X 2 DECIDUOUS = 6 DECIDUOUS TREES
- 5 SHRUBS PER 100 LINEAR FEET OF BASIN PERIMETER AT 100 YEAR WATER SURFACE ELEVATION
- PERIMETER @ 100 YR W.S.E = 325 LF
325/100' = 3.25
3 X 5 SHRUBS = 15 SHRUBS

PROVIDED

- 6 EASTERN RED CEDAR AND 3 WHITE PINE ARE PROVIDED ALONG THE PERIMETER OF THE BASIN WHERE THE EXISTING WOODS ARE REMOVED.
- 4 RIVER BIRCH AND 2 SWAMP WHITE OAK ARE PROVIDED ALONG THE PERIMETER OF THE BASIN WHERE THE EXISTING WOODS ARE REMOVED.
- 7 ARROWWOOD VIBURNUM AND 8 WINTERBERRY HOLLY ARE PROVIDED ALONG THE PERIMETER OF THE BASIN WHERE THE EXISTING WOODS ARE REMOVED.

PLANTING SCHEDULE						
SYM	NO.	NATIVE	BOTANICAL NAME	COMMON NAME	MIN. PLANTING HEIGHT /WIDTH	COMMENTS
 PS	7	X	PINUS STROBUS	WHITE PINE	8' HIGH	STRAIGHT TRUNK, FULL BODY



PROPOSED LEGEND

PROPERTY LINE

LOT NUMBER

BUILDING

EDGE OF DRIVE

SIDEWALK

SEWER LATERAL & CLEANOUT

WELL

INTERMEDIATE CONTOUR

INDEX CONTOUR

SPOT ELEVATION

DIRECTION OF FLOW

TREE PROTECTION FENCE

WOODS LINE

EXISTING FEATURES LEGEND

PROPERTY LINE

ADJOINING PROPERTY LINE

LEGAL RIGHT OF WAY LINE

EASEMENT LINE

ZONING LINE

EDGE OF PAVEMENT

EDGE OF DRIVE

BUILDING

CONTOURS

SPOT ELEVATION

WOOD LINE

TREE

15-25% STEEP SLOPES

>25% STEEP SLOPES

STORM SEWER

STORM SEWER INLET

ENDWALL

RIPRAP

STREAM

RIPARIAN BUFFER LINE

OVERHEAD UTILITY WIRES

UTILITY POLE

PERCOLATION TEST HOLE

SOIL TEST PIT

SLANTED TEXT DENOTES EXISTING FEATURE

0 30' 60'

GRAPHIC SCALE: 1"= 30'

			SEAL		SEAL		MANAGER NEF		BURSICH ASSOCIATES ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS 2129 EAST HIGH STREET POTTSTOWN, PA 19464 610.323.4040 www.bursich.com		CLIENT ARDEN RESERVE, LLC P.O. BOX 243 FAIRVIEW VILLAGE, PA 19409 (610) 539-8088		IMPROVEMENT CONSTRUCTION PLAN 1038 WINDY HILL ROAD 2 LOT SUBDIVISION WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA		JOB NO. 208161-01 SHEET NO. 5 OF 12 DWG. NO. IP-01	
							DESIGN NEF				CHKD. BY					
							DRAFT DPC				CHKD. BY					
							FILE MIK-03				DATE 1/15/25					
							NOTES				SCALE 1"=30'					
1. REVISED PER CONSULTANT REVIEW LETTER			4-15-25		DPC											
NO. REVISION			DATE		BY											

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OFFSITE DISCHARGE

AN OFFSITE DISCHARGE ANALYSIS HAS BEEN COMPLETED FOR THE SITE AND ALL WATERSHEDS WILL HAVE A DECREASE IN STORMWATER FLOWS AND DISCHARGES FOLLOW EXISTING FLOW PATHS. THEREFORE THE APPLICANT HAS THE RIGHT TO DISCHARGE AND WILL NOT CAUSE A NUISANCE TO DOWNSLOPE PROPERTIES.

ASBUILT REQUIREMENTS

APPLICANT SHALL PROVIDE TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND WORCESTER TOWNSHIP FINAL AS-BUILT PLANS (SIGNED AND SEALED BY A QUALIFIED LICENSED PROFESSIONAL) OF ALL BMPs, CONVEYANCES, OTHER STORMWATER FACILITIES AND RELATED IMPROVEMENTS SHOWN IN THE FINAL APPROVED SWM SITE SITE.

REGULATORY APPROVALS REQUIRED

- NPDES PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- EROSION AND SEDIMENT CONTROL PLAN LETTER OF ADEQUACY.

GENERAL NOTES

- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- ANY DAMAGE THAT OCCURS AS A RESULT OF THE BASIN OR TRAP DISCHARGE WILL BE REPAIRED IN A PERMANENT MANNER THAT IS SATISFACTORY TO THE MUNICIPALITY, CONSERVATION DISTRICT AND DOWN SLOPE LANDOWNER(S).
- ANY OFFSITE WASTE AND BORROW AREA MUST HAVE AN E&S PLAN REVIEWED AND APPROVED BY THE MCOCD PRIOR TO BEING ACTIVATED.
- THE PCSM PLANS, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MONTGOMERY COUNTY CONSERVATION DISTRICT AND WORCESTER TOWNSHIP.
- THE STORMWATER DESIGN HAS TAKEN INTO ACCOUNT AN ADDITIONAL 436 SQUARE FEET (0.01 ACRES) OF FUTURE IMPERVIOUS TO SUPPORT HOMEOWNERS INSTALLING SHEDS, PATIOS, ETC.

BMP 1-MINIMIZE TOTAL DISTURBED AREA-GRADING:

ALL AREAS OUTSIDE LIMITS OF DISTURBANCE & WITHIN LIMITS OF NPDES SHALL BE CONSIDERED MINIMIZE TOTAL DISTURBED AREA

CRITICAL STAGES (SEE SCHEDULE OF INSPECTIONS)

- BMP 1-MINIMIZE TOTAL DISTURBED AREA
- BMP 2-RE-VEGETATE & RE-FOREST DISTURBED AREAS, PART 2
- BMP 3-ROOFTOP DISCONNECTION
- BMP 4-DISCONNECTION FROM STORM SEWERS
- BMP 5-MANAGED RELEASE BASIN
- BMP 6-FOREBAY
- BMP 7-MANAGED RELEASE BASIN
- BMP 8-LEVEL SPREADER
- BMP 9-LEVEL SPREADER
- BMP 10-PROTECT EXISTING TREES

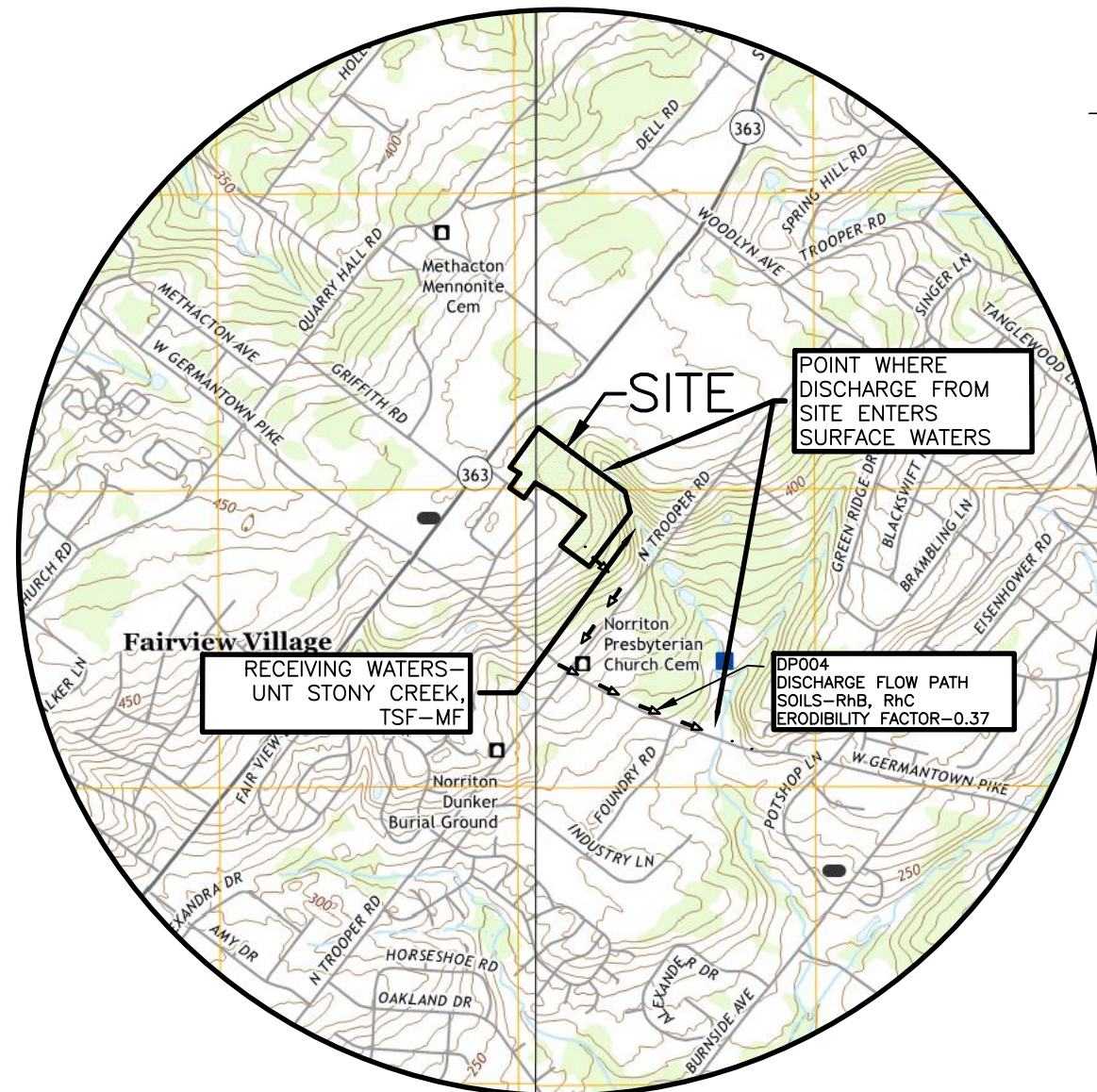
CRITICAL STAGES SCHEDULE OF INSPECTIONS

- MINIMIZE TOTAL DISTURBED AREA-GRADING (BMP 1)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE LIMITS OF DISTURBANCE ARE MARKED OUT TO KEEP CONTRACTORS WITHIN LIMITS OF DISTURBANCE.
 - CHECK TO ENSURE LIMITS OF DISTURBANCE WERE RESPECTED AND EXISTING TREES/VEGETATION REMAIN.
- RE-VEGETATE AND RE-FOREST DISTURBED AREAS, PART 2 (BMP 2)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - EXCAVATED HOLE AND INSTALLATION OF SOIL ADDITIVES AND FERTILIZER.
 - CONFIRM TREE IS ADEQUATE SIZE PER LANDSCAPE SCHEDULE.
 - TREE TUBES/STAKING AS INDICATED ON LANDSCAPE PLANTING DETAILS.
 - MULCHING/STABILIZATION CONFIRMATION.
- ROOFTOP DISCONNECTION (BMP 3)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE ALL ROOFDRAINS ARE DISCONNECTED AND NO EROSION IS OCCURRING DOWNSLOPE OF DISCHARGE.
- DISCONNECTION FROM STORM SEWERS (BMP 4)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE IMPERVIOUS AREAS ARE GRADED TO ROUTE STORMWATER TO VEGETATED AREAS.
- MANAGED RELEASE BASIN (BMP 5 & 7)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - COMPACTION OF BERM, INSTALLATION OF CLAY CORE, RISER, OUTLET PIPE, CONCRETE CRADLE, ANTI-SEEP COLLARS, LINER, LEVEL SPREADER AND SPILLWAY LINING.
 - STABILIZATION MEETING TO APPROVE CONVERSION FROM SEDIMENT FACILITY.
 - CONFIRM NO TEARS ARE IN THE LINER FROM REMOVAL OF SILT, INSTALLATION OF PLANTING SOIL AND UNDERDRAIN.
 - CONVERSION OF OUTLET STRUCTURE TO PERMANENT CONDITION.
 - STABILIZATION CONFIRMATION.
- FOREBAY (BMP 6)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - COMPACTION OF BERM, INSTALLATION OF UNDERDRAIN AND SPILLWAY LINING INSTALLATION.
 - REMOVAL OF SEDIMENT ACCUMULATED DURING CONSTRUCTION.
 - STABILIZATION CONFIRMATION.
- LEVEL SPREADER (BMP 8&9)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - GEOTEXTILE INSTALLATION, STONE BEDDING, PERFORATED PIPE, ECB.
 - STABILIZATION CONFIRMATION, ENSURE NO DOWNSLOPE EROSION.
- PROTECT EXISTING TREES (BMP 10)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CONFIRM TREE PROTECTION FENCE HAS BEEN INSTALLED BEFORE GENERAL EARTH DISTURBANCE ACTIVITIES OCCUR.
 - CONFIRM PROTECTED TREES WERE NOT REMOVED.
 - AFTER CONSTRUCTION IS COMPLETED THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF THE CRITICAL STAGES SHALL VERIFY THAT ALL E&S BMPs HAVE BEEN REMOVED AND PCSM BMPs HAVEN'T BEEN NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITIES AND ARE FUNCTIONING PROPERLY.

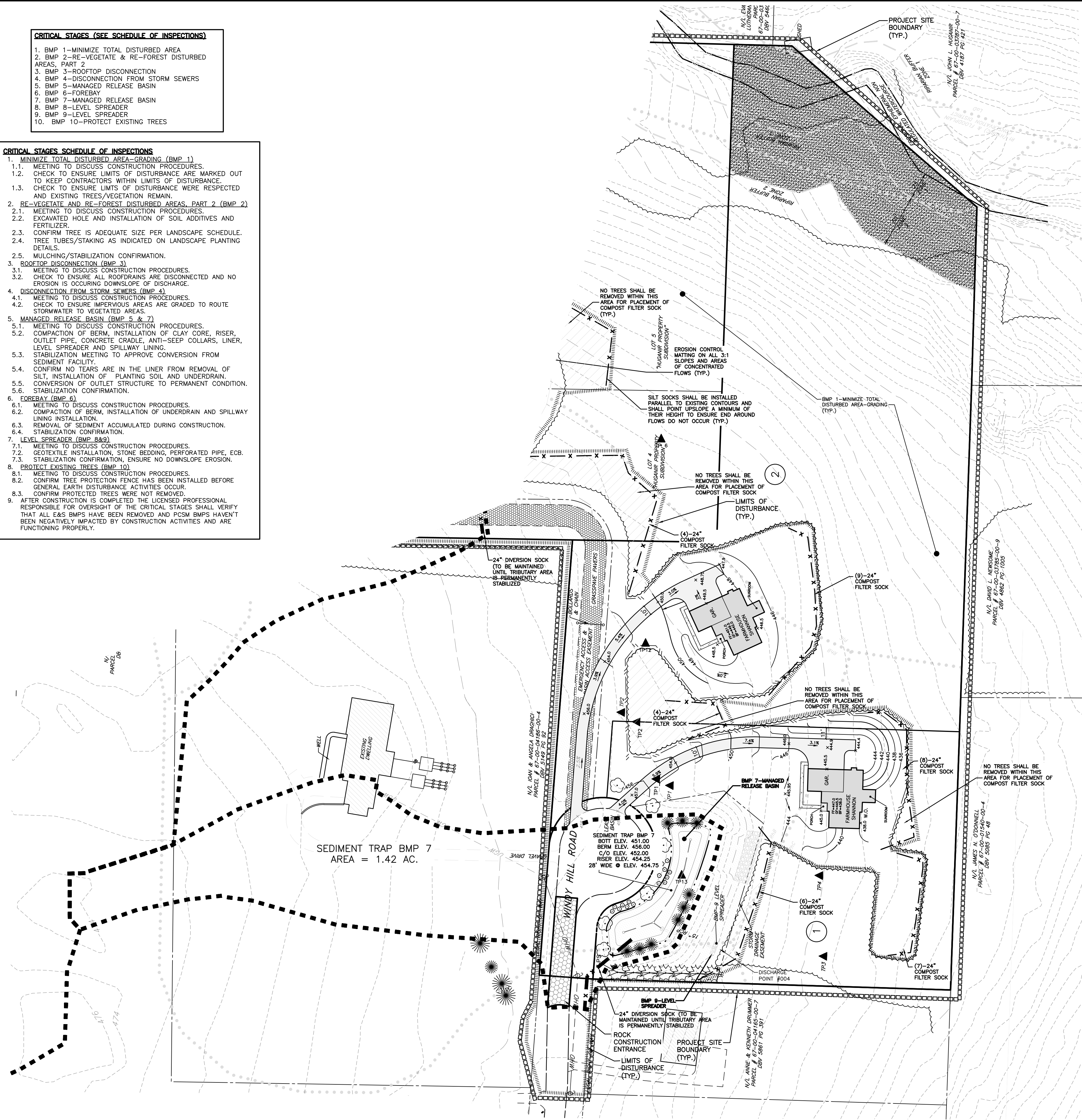


Stop - Call Before You Dig!

Pennsylvania Act 287 of 1974 as amended by Act 50 of 2017 73P.S. §176 et. seq. requires notification by excavators, designers, or any person preparing to disturb the earth's surface anywhere in the commonwealth Pennsylvania One Call System, Inc. 811 or 1-800-242-1776



LOCATION MAP
SCALE: 1"=2000'



EXISTING FEATURES LEGEND

- SLANTED TEXT DENOTES EXISTING FEATURE
- SITE BENCHMARK
- PROPERTY LINE
- ADJACENT LINE
- LEGAL RIGHT OF WAY
- EASEMENT LINE
- BUILDING/STRUCTURE
- WATERCOURSE
- CONCRETE CURB
- EDGE OF PAVE
- EDGE OF DRIVE
- CONTOURS
- SPOT ELEVATION
- WOOD LINE
- TREES
- STORM SEWER
- M&T TYPE INLETS
- SOILS
- REPAIR BUFFER
- OVERHEAD WIRES
- UNDERGROUND WIRES
- UTILITY POLE

- TOPSOIL STOCK PILE
- COMPOST FILTER SOCK
- DIVERSION SOCK
- CHANNEL LINING
- TRIBUTARY AREA TO SED. BASIN
- TEMPORARY GRADING
- CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- INLET PROTECTION
- SPILLWAY MATTING
- EROSION CONTROL MATTING
- LIMIT OF DISTURBANCE
- LIMIT OF NPDES
- CLEAN OUT STAKE
- INFILTRATION TEST PIT

COMPOST FILTER SOCKS TO BE INSTALLED WITHIN THE EXISTING TREELINE
NO TREES SHALL BE REMOVED.
AREA IS SHOWN WITHIN THE LIMIT OF DISTURBANCE TO INCLUDE THE PLACEMENT OF THE COMPOST FILTER SOCK BUT THERE WILL BE NO EARTH DISTURBANCE WITHIN THIS AREA.

0 50' 100'
GRAPHIC SCALE: 1"=50'

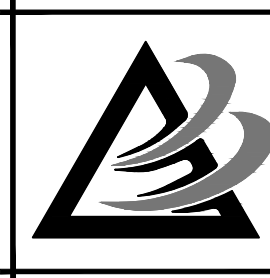
1.	REVISED PER CONSULTANT REVIEW LETTER	4-15-25	DPC		
	REVISION	DATE	BY		

SEAL

SEAL

MANAGER

DESIGN	NEF	CHKD. BY	
DRAFT	DPC	CHKD. BY	
FILE	MIK-03	DATE	1/15/25
NOTES		SCALE	



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EROSION & SEDIMENT CONTROL PLAN

1038 WINDY HILL ROAD
2 LOT SUBDIVISION

WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

JOB NO.

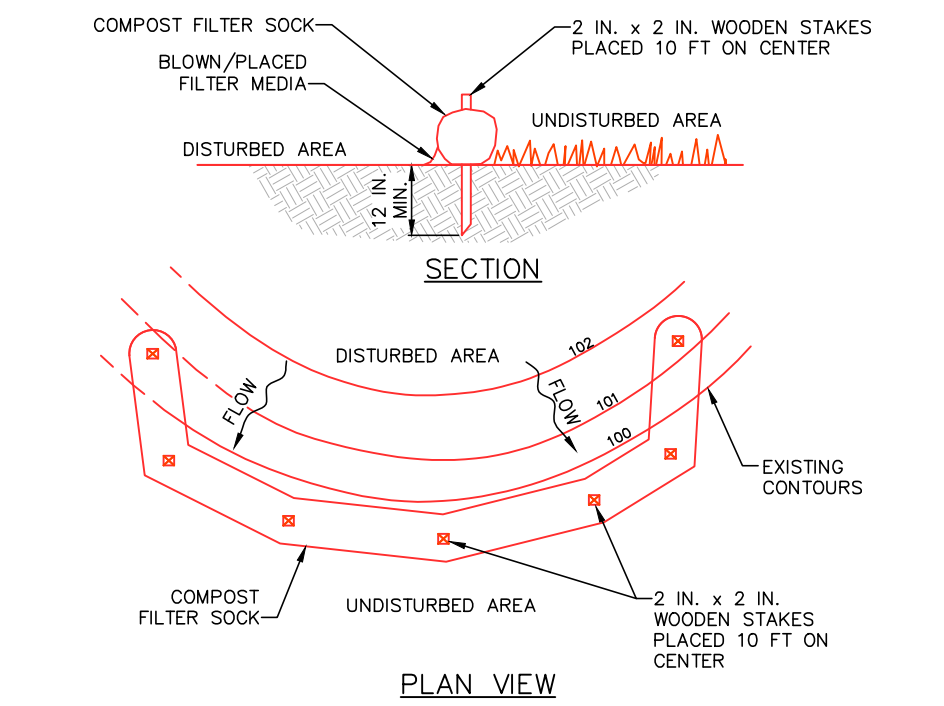
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SHEET NO.

6 OF 12

DWG. NO.

ES-01



The image contains two technical drawings of a filter ring assembly, labeled 'SECTION NTS' and 'PLAN NTS'.

SECTION NTS: This cross-sectional view shows the filter ring assembly installed in a concrete structure. The concrete has a maximum depth of 50% of the filter ring height. A 24-inch diameter compost filter sock is placed within the ring. The filter sock is supported by 2x2x36 wooden stakes placed 5 feet on center (O.C.). A 1-foot dimension is shown for the concrete thickness above the filter sock.

PLAN NTS: This top-down view shows the circular filter ring assembly. The ring is made of 2x2x36 wooden stakes placed 8 feet on center (O.C.). A direct concrete washout water inlet pipe enters the ring. A 24-inch diameter compost filter sock is placed inside the ring, with a 4-minute overlap on the upslope side of the filter ring. The filter sock is secured by 2x2x36 wooden stakes placed 5 feet on center (O.C.).

PROJECT NAME: HUGANIR PROPERTY
LOCATION: WORCESTER TWP., MONTGOMERY COUNTY, PA
PREPARED BY: DAR DATE: JULY 2022
CHECKED BY: DATE:

(TEMPORARY)		*SPECIES:	ANNUAL RYEGRASS	
	% PURE LIVE SEED:	88.20		%
	APPLICATION RATE:	48.4		LB./ACRE
	FERTILIZER TYPE:	10-10-10		(X-X-X)
	FERTILIZER APPL. RATE:	500		LB./ACRE
	LIMING RATE:	1		T/ACRE
	MULCH TYPE:	STRAW OR HAY		
	MULCHING RATE:	3		T/ACRE

(PERMANENT) TOPSOIL PLACEMENT DEPTH:	4-8	IN
*SPECIES:	PERENNIAL PRAIRIES WIGWAG/CREeping FESCUE OR CHENOPodium FESCUE/PERENNIAL BLUESGRASS MIX	
% PURE LIVE SEED:	88.2/83.3/78.4	%
APPLICATION RATE:	19.4/29.0/53.2	LB./ACRE
FERTILIZER TYPE:	10-20-20	(X-X-X)
FERTILIZER APPL. RATE:	1000	LB./ACRE
LIMING RATE:	6	T/ACRE
MULCH TYPE:	STRAW OR HAY	
MULCHING RATE:	3	T/ACRE
ANCHOR MATERIAL:	CELLULOSE FIBER	
ANCHOR METHOD:	SPRAYED	
RATE OF ANCHOR MATERIAL APPL.:	1800	LB./ACRE
**SEEDING SEASON DATES:	(MARCH 15-JUNE 1) & (AUGUST 1-OCTOBER 15)	

(PERMANENT—STEEP SLOPE)		
TOPSOIL PLACEMENT DEPTH:	4-8	IN
*SPECIES:	TALL FESCUE/CREEPING FESCUE OR CHEWINGS FESCUE/ANNUAL RYEGRASS	
% PURE LIVE SEEDS:	83.3/83.3/88.2	%
APPLICATION RATE:	61.0/30.5/10.2	LB./ACRE
FERTILIZER TYPE:	10-20-20	(X-X-X)
FERTILIZER APPL. RATE:	1000	LB./ACRE
LIMING RATE:	6	T/ACRE
MULCH TYPE:	ECB	
MULCHING RATE:	3	T/ACRE
ANCHOR MATERIAL:	SINGLE STRAW NET	
ANCHOR METHOD:	STAPLES	
RATE OF ANCHOR MATERIAL APPL.:	2000	LB./ACRE
**SEEDING SEASON DATES:	(MARCH 15-JUNE 1) & (AUGUST 1-OCTOBER 15) (RYE-3/1 -	

*If more than one species is used, indicate application rate for each species
 **SEEDING SEASON DATES ARE DEPENDENT ON WEATHER AND SITE CONDITIONS

NOT TO SCALE



BLANKET EDGES STAPLED AND OVERLAPPED (4 IN. MIN.)

STARTING AT TOP OF SLOPE, ROLL BLANKETS IN DIRECTION OF WATER FLOW

INSTALL BEGINNING OF ROLL IN 6 IN. x 6 IN. ANCHOR TRENCH, STAPLE, BACKFILL AND COMPACT SOIL

PREPARE SEED BED (INCLUDING APPLICATION OF LIME, FERTILIZER AND SEED) PRIOR TO BLANKET INSTALLATION

THE BLANKET SHOULD NOT BE STRETCHED; IT MUST MAINTAIN GOOD SOIL CONTACT

OVERLAP BLANKET ENDS 6 IN. MIN. WITH THE UPSLOPE BLANKET, OVERLYING THE DOWNSLOPE BLANKET (SHINGLE STYLE), STAPLE SECURELY.

REFER TO MANUF. RECOMMENDED STAPLING PATTERN FOR STEEPNESS AND LENGTH OF SLOPE BEING BLANKETED

NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

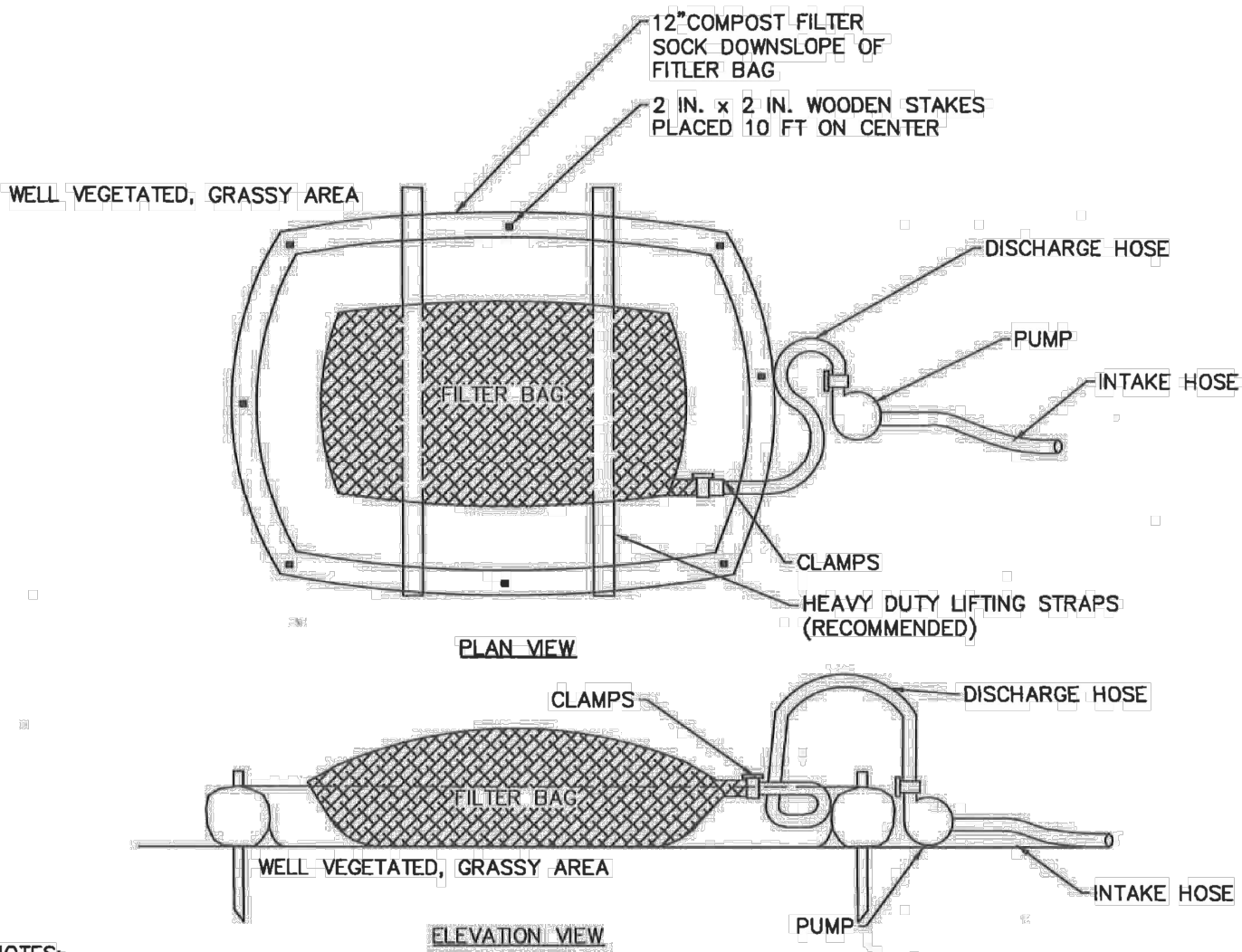
SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

NOT TO SCALE



NOTES:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/N
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

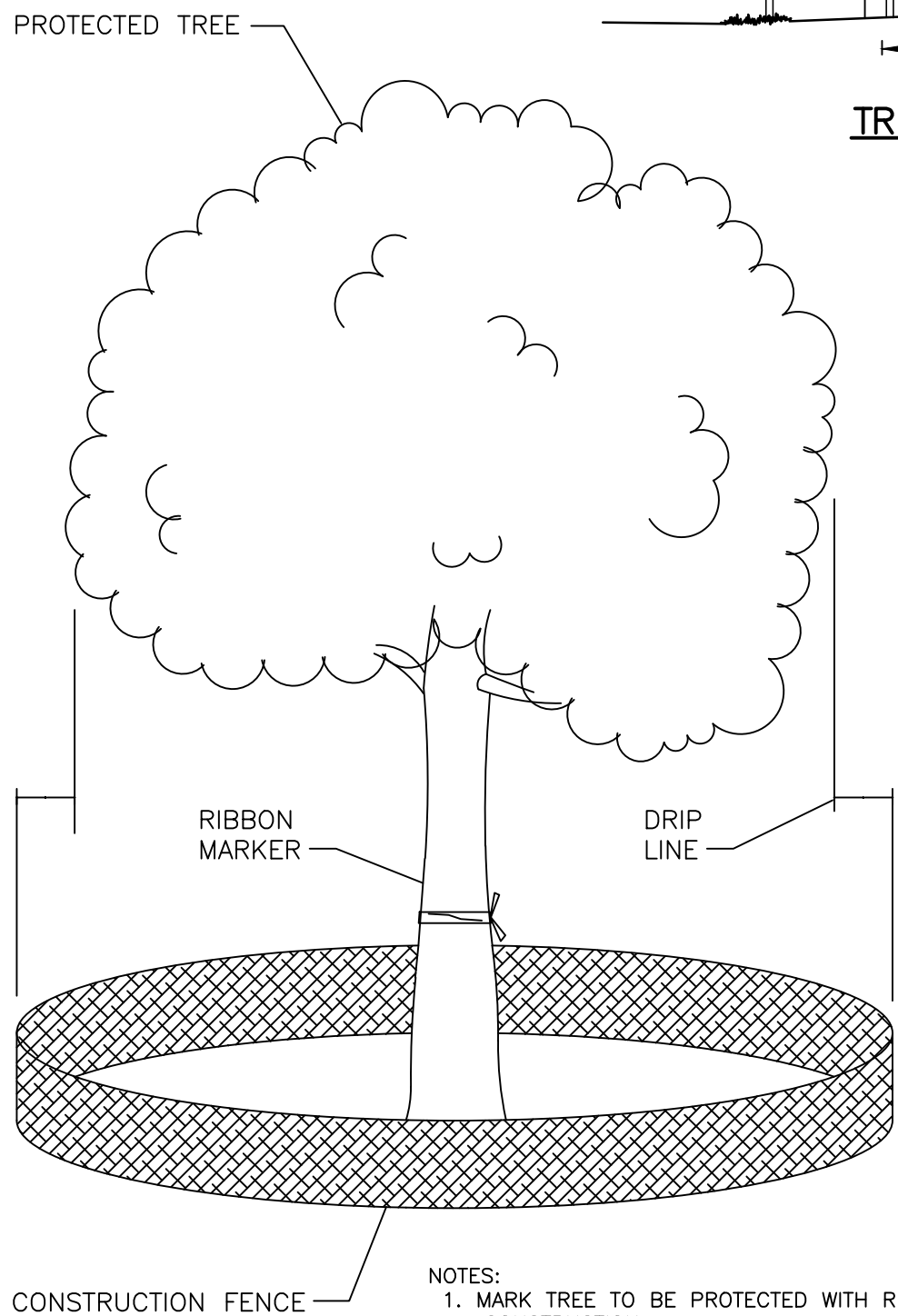
BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

PUMPED WATER FILTER BAG DETAIL
N.T.S.



N.T.S

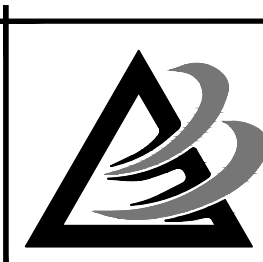
NOTES:

1. MARK TREE TO BE PROTECTED WITH RIBBON PRIOR TO CONSTRUCTION.
2. INSTALL CONSTRUCTION FENCE 1 FT. OUTSIDE THE PERIMETER OF THE DRIP LINE OF THE MARKED TREES. (FOR TREE CLUSTERS INSTALL ALONG COMBINED PERIMETER).
3. WHEN CONSTRUCTION IS COMPLETED, REMOVE FENCING.
4. ANY DAMAGE, DESTRUCTION OR FALLING OF A TREE SLATED FOR PROTECTION SHALL REQUIRE REPLACEMENT WITH A TREE OF SIMILAR CALIPER OR SUCH NUMBER OF TREES AS ARE REQUIRED TO EQUAL THE CALIPER INCHES OF THE AFFECTED TREE.

NO SCALE

1.	REVISED PER CONSULTANT REVIEW LETTER	4-15-25 DPC
NO.	REVISION	DATE BY

SEAL	SEAL	MANAGER _____	
		NEF _____	
		DESIGN NEF	CHKD. BY
		DRAFT DPC	CHKD. BY
		FILE MIK-03	DATE 1/15/25
		NOTES	SCALE



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JOB NO

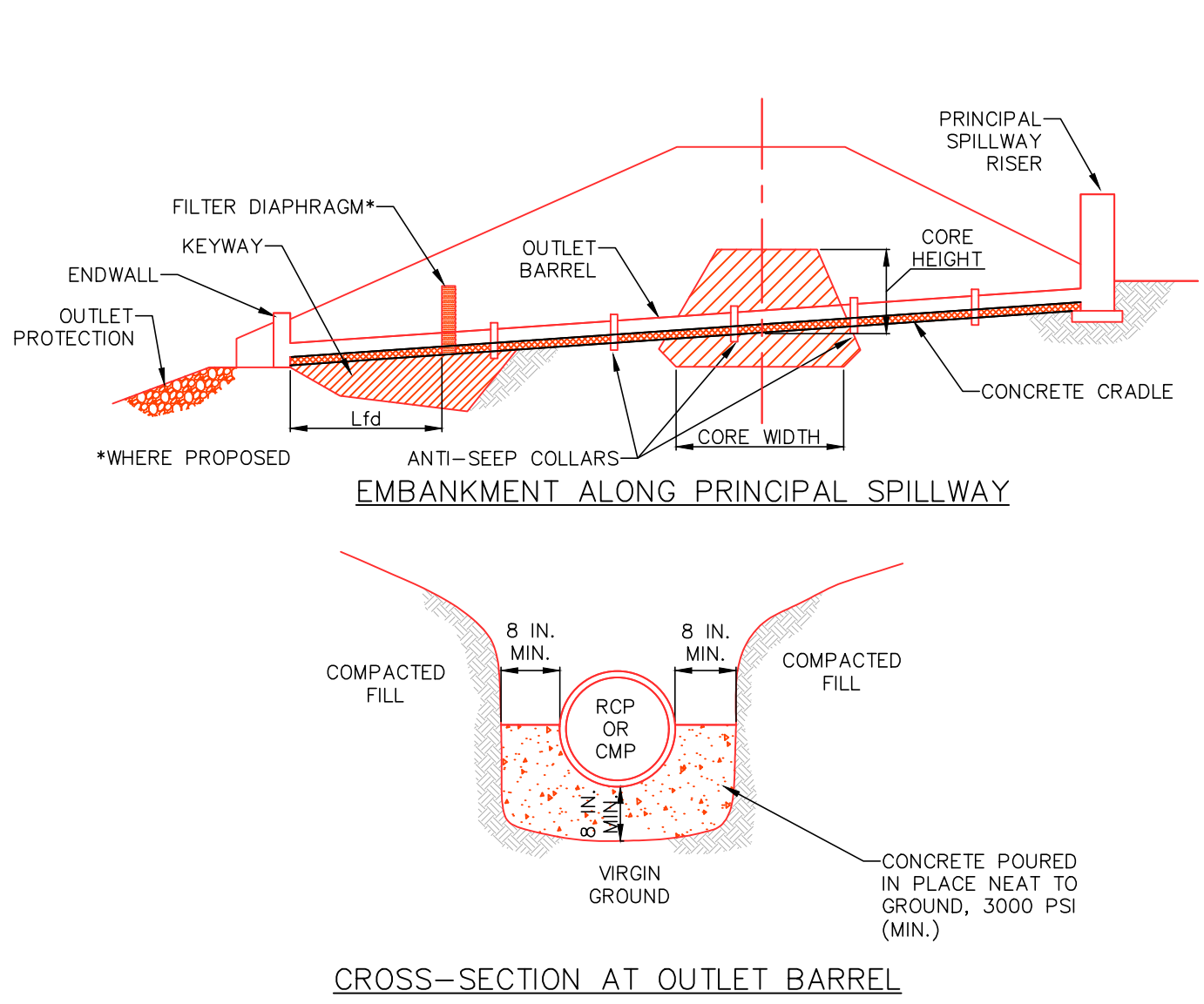
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SHEET NO.

7 OF 12

DWG. NO.

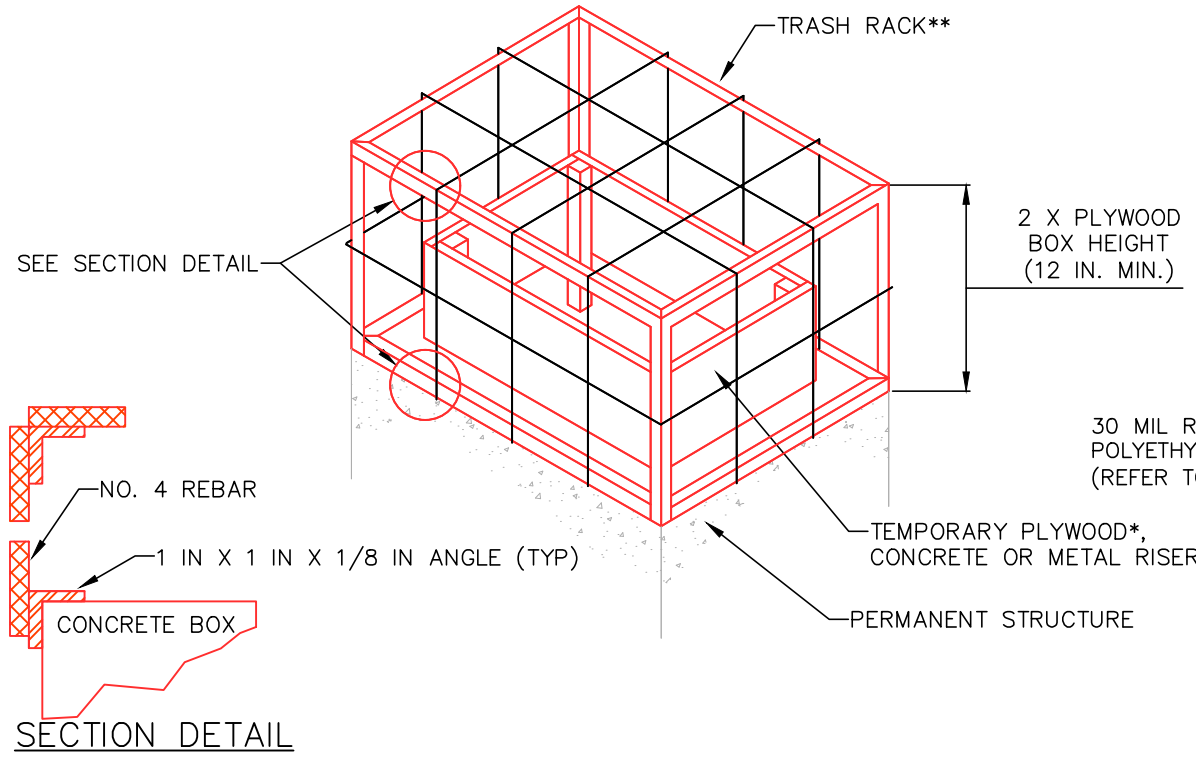
ES-02



NOTES:

A CONCRETE CRADLE MAY BE USED IN CONJUNCTION WITH ANTI-SEEP COLLARS AND/OR FILTER DIAPHRAGM. ANTI-SEEP COLLAR NUMBER, SIZE AND SPACING SHALL BE AS SHOWN ELSEWHERE IN PLAN. FILTER DIAPHRAGM LOCATION (L16) SHALL BE AS SHOWN IN FIGURE 7.8 OF THE PA DEP EROSION CONTROL MANUAL.

STANDARD CONSTRUCTION DETAIL #7-17
CONCRETE CRADLE FOR BASIN OR TRAP OUTLET BARREL
NOT TO SCALE



* 3/4 IN. PRESSURE TREATED PLYWOOD BOX WITH 2 IN. X 2 IN. PRESSURE TREATED CORNER SUPPORTS. SET INTO 1-1/2 IN. GRATE OFFSETS. CAULK ALL SEAMS TO FORM WATERTIGHT SEALS.

** TRASH RACK COMPOSED OF 1 IN. X 1 IN. X 1/8 IN. L (TYP.) AND #4 BARS (TYP.) WELDED TO THE ANGLES AND AT EACH INTERSECTION OF THE BARS; #4 BARS SPACED AT HALF THE DIAMETER OF THE BARREL MAX.

NOTES:

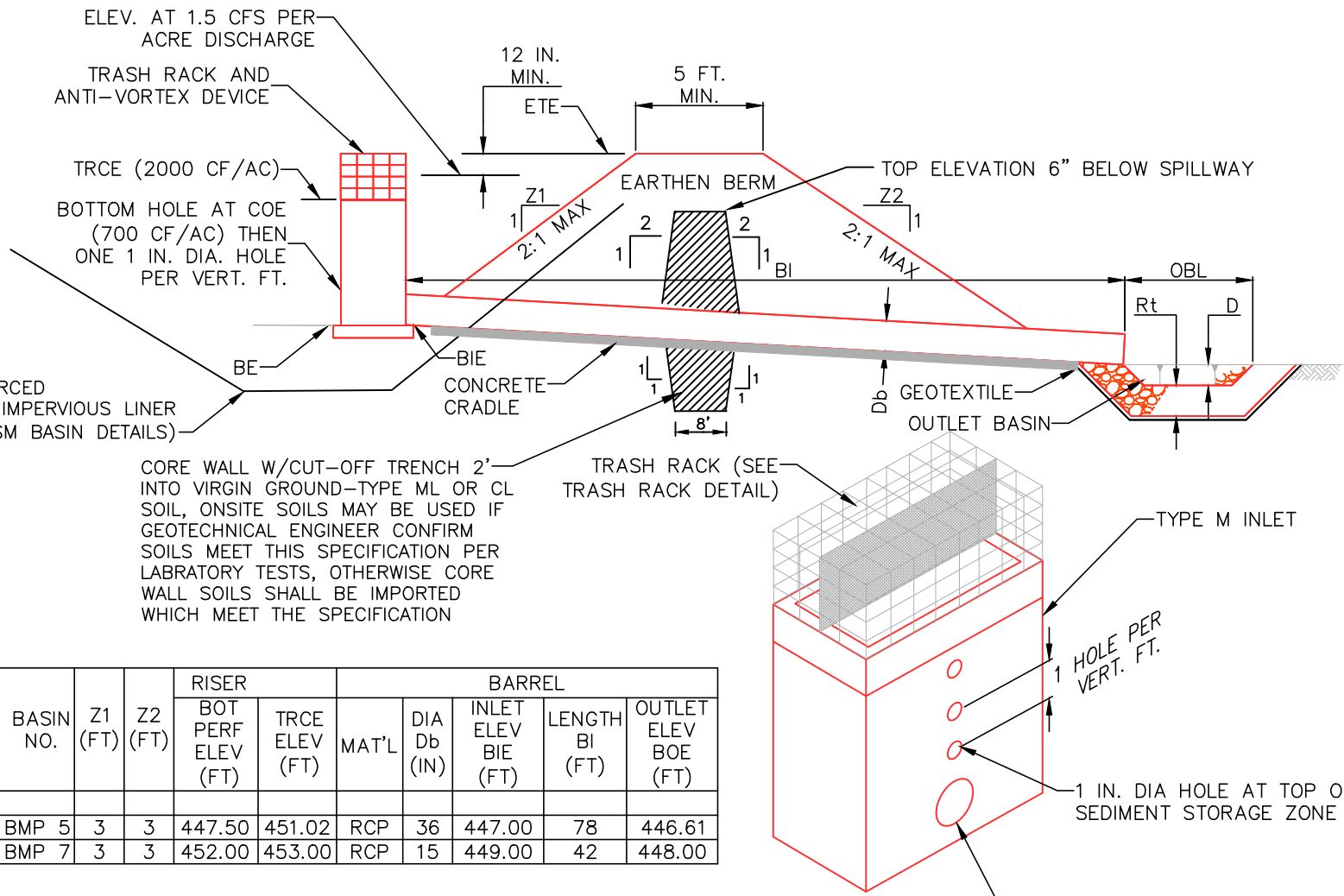
BOX SHALL BE BOLTED, STRAPPED, OR OTHERWISE SECURED TO THE PERMANENT RISER.

TOP OF TEMPORARY RISER EXTENSION SHALL BE AT LEAST AS HIGH AS SEDIMENT BASIN TEMPORARY RISER AND SHALL BE 6 IN. (MINIMUM) BELOW CREST OF EMERGENCY SPILLWAY.

ALL JOINTS SHALL BE WATER TIGHT.

CLOGGED OR DAMAGED SPILLWAYS SHALL BE REPAIRED IMMEDIATELY. TRASH AND OTHER DEBRIS SHALL BE REMOVED FROM THE BASIN AND RISER.

STANDARD CONSTRUCTION DETAIL #7-10
TEMPORARY RISER EXTENSION AND TRASH RACK FOR PERMANENT STRUCTURE
NOT TO SCALE



BASIN NO.	Z1 (FT)	Z2 (FT)	RISER		TRCE PERF ELEV (FT)	MAT'L	DIA (IN)	BARREL		OUTLET ELEV BOE (FT)
			TOP ELEV ETE (FT)	TOP WIDTH ELW (FT)				INLET ELEV BIE (FT)	LENGTH (FT)	
BMP 5	3	3	447.50	451.02	RCP	36	447.00	78	446.61	
BMP 7	3	3	452.00	453.00	RCP	15	449.00	42	448.00	

BASIN NO.	EMBANKMENT		CLEAN OUT ELEV COE (FT)	BOTTOM BE (FT)	OUTLET BASIN		WIDTH OBL (FT)	LENGTH OBL (FT)
	TOP ELEV ETE (FT)	TOP WIDTH ELW (FT)			RIPRAP SIZE (R-...)	ROCK THICK RT (IN)		
BMP 5	454.25	10	448.50	447.50	N/A	N/A	N/A	N/A
BMP 7	456.00	10	452.00	451.00	N/A	N/A	N/A	N/A

NOTES:

FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 8 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 1/2 THE LIFT THICKNESS.

TYPE GC, GM, SC, SM, CL OR ML (PER ASTM-D-2487) SOIL MAY BE USED FOR THE EMBANKMENT, EXCEPT THE CORE SHALL BE TYPE ML OR CL SOIL. REMOVE ALL TOPSOIL OVER EMBANKMENT PRIOR TO PLACING FILL. BASIN OUTLET PIPE SHALL BE CLASS II "10" RING RCP. A. PLACE FILL IN 8" MAXIMUM LIFTS TO A MINIMUM 95% DRY DENSITY. COMPACTION SHALL BE COMPLETED VIA SHEEPSFOOT OR PAD ROLLER, A MINIMUM OF 5 PASSES OVER EACH LIFT IS REQUIRED. PRIOR TO PROCEEDING TO THE NEXT LIFT, COMPACTION SHALL BE CHECKED BY THE TOWNSHIP ENGINEER OR AN APPROVED SOILS ENGINEER WHO SHALL PROVIDE THE TOWNSHIP ENGINEER WITH A WRITTEN REPORT. COMPACTION TESTS SHALL BE PERFORMED USING THE MODIFIED PROCTOR METHOD IN ACCORDANCE WITH ASTM D-1577. COMPACTION TESTS SHALL BE RUN ON THE LEADING AND TRAILING EDGE AS WELL AS THE TOP OF THE BERM.

UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS.

ALL SEDIMENT TRAPS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT.

ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES SHALL BE PROVIDED.

A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH TRAP. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE TRAP IN THE MANNER DESCRIBED IN THE E&S PLAN.

CHECK EMBANKMENTS, SPILLWAYS, AND OUTLETS FOR EROSION, PIPING AND SETTLEMENT. CLOGGED OR DAMAGED SPILLWAYS AND/OR EMBANKMENTS SHALL BE IMMEDIATELY RESTORED TO THE DESIGN SPECIFICATIONS. DISPLACED RIPRAP WITHIN THE OUTLET PROTECTION SHALL BE REPLACED IMMEDIATELY.

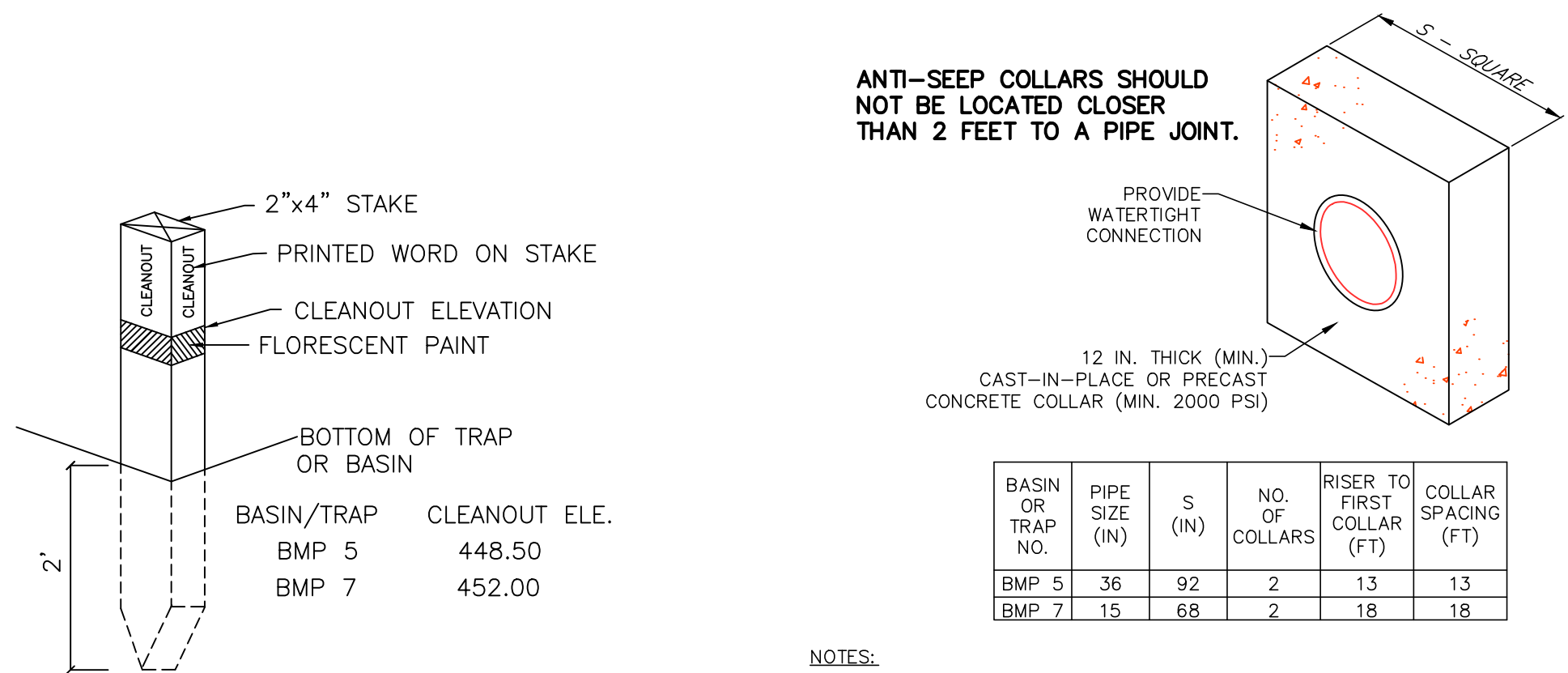
ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS INSIDE THE TRAP SHALL BE STABILIZED BEFORE CONVERSION TO STORMWATER MANAGEMENT FACILITY.

STANDARD CONSTRUCTION DETAIL #8-8
CONCRETE RISER WITH TEMPORARY DEWATERING HOLES
NOT TO SCALE

NOTES -

SEDIMENT BASIN BMP 5 IS TEMPORARY AND WILL BE CONVERTED TO PERMANENT MANAGED RELEASE BASIN (REFER TO SEDIMENT BASIN DETAILS AND PCSM BASIN DETAILS)

SEDIMENT TRAP BMP 7 IS TEMPORARY AND WILL BE CONVERTED TO PERMANENT MANAGED RELEASE BASIN (REFER TO SEDIMENT BASIN DETAILS AND PCSM BASIN DETAILS)



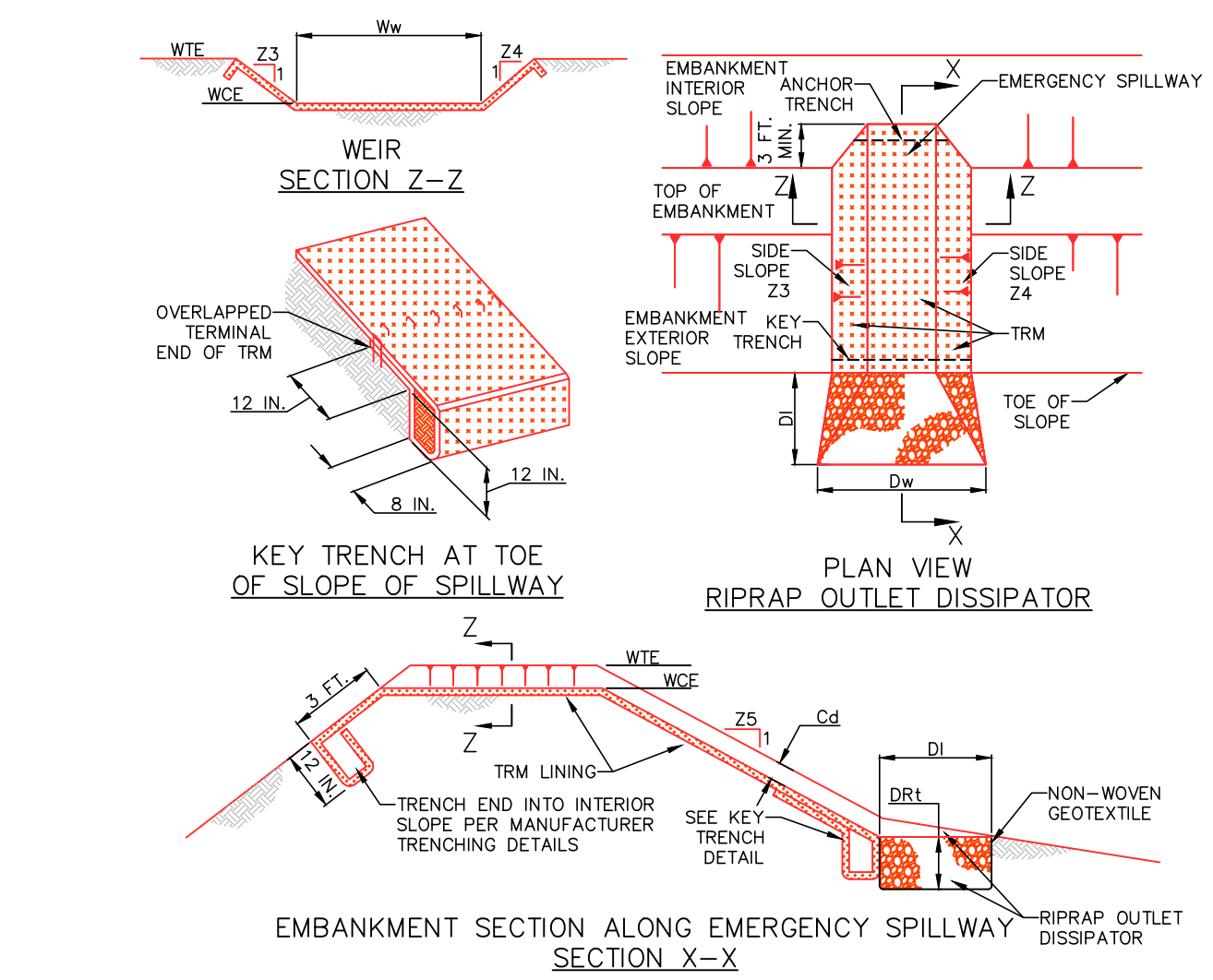
BASIN OR TRAP NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
BMP 5	36	92	2	13	13
BMP 7	15	68	2	18	18

NOTES:

ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.

COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

STANDARD CONSTRUCTION DETAIL #7-16
CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS OR TRAPS
NOT TO SCALE



OFFSITE DISCHARGE

AN OFFSITE DISCHARGE ANALYSIS HAS BEEN COMPLETED FOR THE SITE AND ALL WATERSHEDS WILL HAVE A DECREASE IN STORMWATER FLOWS AND DISCHARGES FOLLOW EXISTING FLOW PATHS, THEREFORE THE APPLICANT HAS THE RIGHT TO DISCHARGE AND WILL NOT CAUSE A NUISANCE TO DOWNSLOPE PROPERTIES.

ASBUILT REQUIREMENTS

APPLICANT SHALL PROVIDE TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND WORCESTER TOWNSHIP FINAL AS-BUILT PLANS (SIGNED AND SEALED BY A QUALIFIED LICENSED PROFESSIONAL) OF ALL BMPs, CONVEYANCES, OTHER STORMWATER FACILITIES AND RELATED IMPROVEMENTS SHOWN IN THE FINAL APPROVED SWM SITE SITE.

REGULATORY APPROVALS REQUIRED

- NPDES PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- EROSION AND SEDIMENT CONTROL PLAN LETTER OF ADEQUACY.

GENERAL NOTES

- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- ANY DAMAGE THAT OCCURS AS A RESULT OF THE BASIN OR TRAP DISCHARGE WILL BE REPAIRED IN A PERMANENT MANNER THAT IS SATISFACTORY TO THE MUNICIPALITY, CONSERVATION DISTRICT AND DOWN SLOPE LANDOWNER(S).
- ANY OFFSITE WASTE AND BORROW AREA MUST HAVE AN E&S PLAN REVIEWED AND APPROVED BY THE MCDD PRIOR TO BEING ACTIVATED.
- THE PCSM PLANS, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MONTGOMERY COUNTY CONSERVATION DISTRICT AND WORCESTER TOWNSHIP.
- THE STORMWATER DESIGN HAS TAKEN INTO ACCOUNT AN ADDITIONAL 436 SQUARE FEET (0.01 ACRES) OF FUTURE IMPERVIOUS TO SUPPORT HOMEOWNERS INSTALLING SHEDS, PATIOS, ETC.

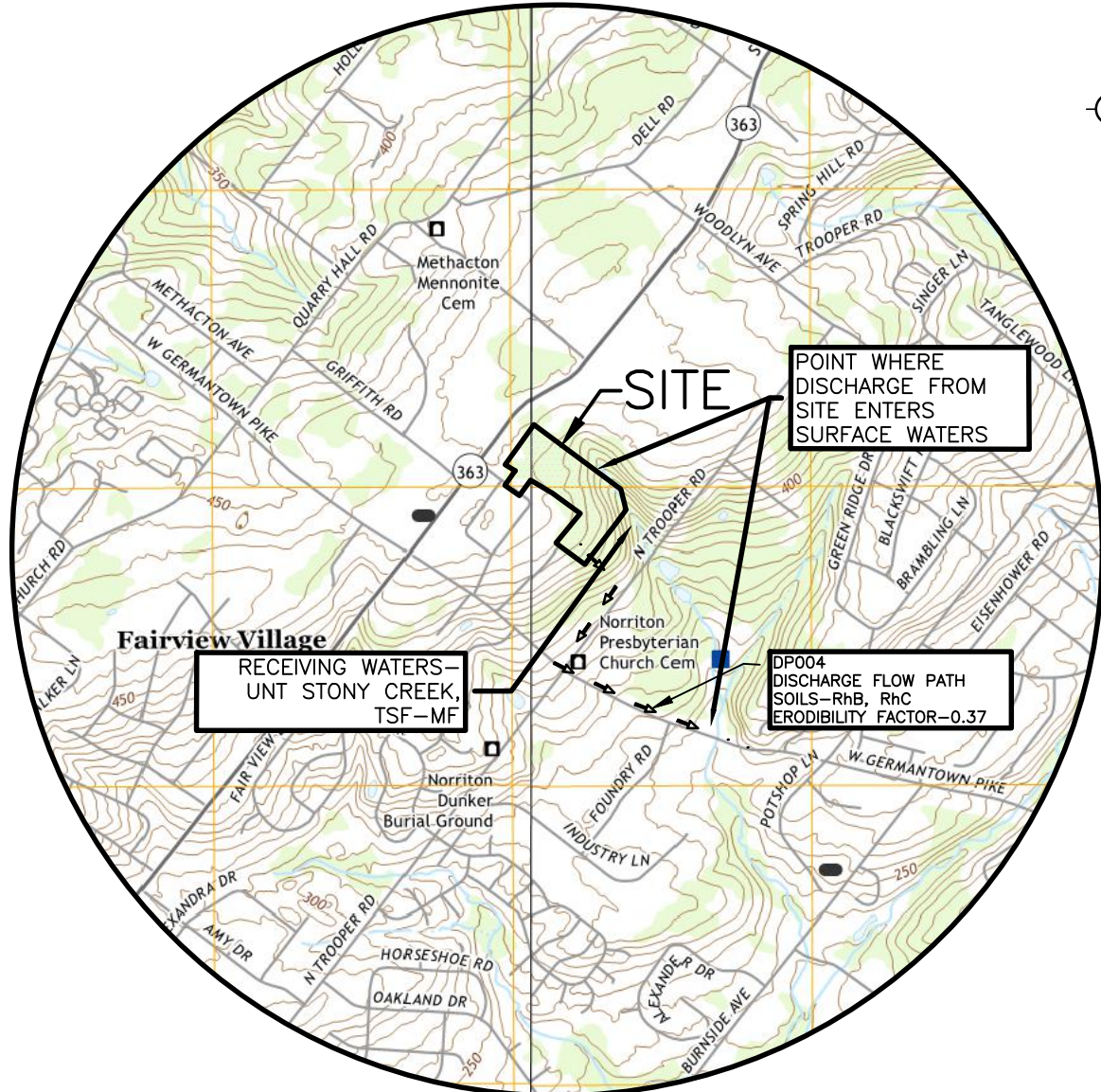
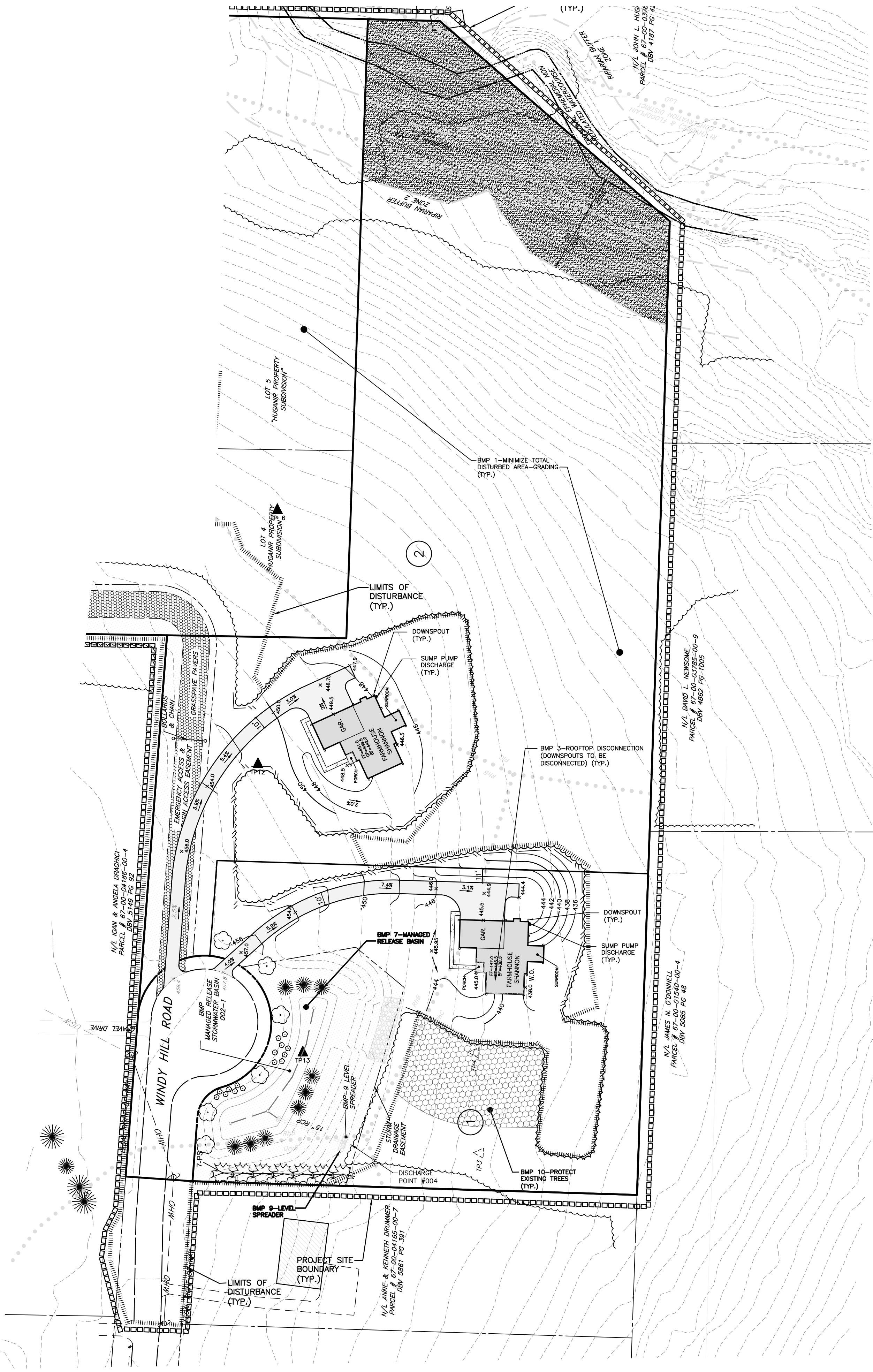
BMP 1-MINIMIZE TOTAL DISTURBED AREA-GRADING:
ALL AREAS OUTSIDE LIMITS OF DISTURBANCE & WITHIN LIMITS OF NPDES SHALL BE CONSIDERED MINIMIZE TOTAL DISTURBED AREA

CRITICAL STAGES (SEE SCHEDULE OF INSPECTIONS)

- BMP 1-MINIMIZE TOTAL DISTURBED AREA
- BMP 2-RE-VEGETATE & RE-FOREST DISTURBED AREAS, PART 2
- BMP 3-ROOFTOP DISCONNECTION
- BMP 4-DISCONNECTION FROM STORM SEWERS
- BMP 5-MANAGED RELEASE BASIN
- BMP 6-FOREBAY
- BMP 7-MANAGED RELEASE BASIN
- BMP 8-LEVEL SPREADER
- BMP 9-LEVEL SPREADER
- BMP 10-PROTECT EXISTING TREES

CRITICAL STAGES SCHEDULE OF INSPECTIONS

- MINIMIZE TOTAL DISTURBED AREA-GRADING (BMP 1)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE LIMITS OF DISTURBANCE ARE MARKED OUT TO KEEP CONTRACTORS WITHIN LIMITS OF DISTURBANCE.
 - CHECK TO ENSURE LIMITS OF DISTURBANCE WERE RESPECTED AND EXISTING TREES/VEGETATION REMAIN.
- RE-VEGETATE AND RE-FOREST DISTURBED AREAS, PART 2 (BMP 2)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - EXCAVATED HOLE AND INSTALLATION OF SOIL ADDITIVES AND FERTILIZER.
 - CONFIRM TREE IS ADEQUATE SIZE PER LANDSCAPE SCHEDULE.
 - TREE TUBES/STAKING AS INDICATED ON LANDSCAPE PLANTING DETAILS.
- ROOFTOP DISCONNECTION (BMP 3)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE ALL ROOFDRAINS ARE DISCONNECTED AND NO EROSION IS OCCURRING DOWNSLOPE OF DISCHARGE.
- DISCONNECTION FROM STORM SEWERS (BMP 4)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CHECK TO ENSURE IMPERVIOUS AREAS ARE GRADED TO ROUTE STORMWATER TO VEGETATED AREAS.
- MANAGED RELEASE BASIN (BMP 5 & 7)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - COMPACTION OF BERM, INSTALLATION OF CLAY CORE, RISER, OUTLET PIPE, CONCRETE CRADLE, ANTI-SEEP COLLARS, LINER, LEVEL SPREADER AND SPILLWAY LINING.
 - STABILIZATION MEETING TO APPROVE CONVERSION FROM SEDIMENT FACILITY.
 - CONFIRM NO TEARS ARE IN THE LINER FROM REMOVAL OF SILT, INSTALLATION OF PLANTING SOIL AND UNDERDRAIN.
 - CONVERSION OF OUTLET STRUCTURE TO PERMANENT CONDITION.
 - STABILIZATION CONFIRMATION.
- FOREBAY (BMP 6)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - COMPACTION OF BERM, INSTALLATION OF UNDERDRAIN AND SPILLWAY LINING INSTALLATION.
 - REMOVAL OF SEDIMENT ACCUMULATED DURING CONSTRUCTION.
 - STABILIZATION CONFIRMATION.
- LEVEL SPREADER (BMP 8&9)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - GEOTEXTILE INSTALLATION, STONE BEDDING, PERFORATED PIPE, ECB.
 - STABILIZATION CONFIRMATION, ENSURE NO DOWNSLOPE EROSION.
- PROTECT EXISTING TREES (BMP 10)
 - MEETING TO DISCUSS CONSTRUCTION PROCEDURES.
 - CONFIRM TREE PROTECTION FENCE HAS BEEN INSTALLED BEFORE GENERAL EARTH DISTURBANCE ACTIVITIES OCCUR.
 - CONFIRM PROTECTED TREES WERE NOT REMOVED.
 - AFTER CONSTRUCTION IS COMPLETED THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF THE CRITICAL STAGES SHALL VERIFY THAT ALL E&S BMPs HAVE BEEN REMOVED AND PCSM BMPs HAVEN'T BEEN NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITIES AND ARE FUNCTIONING PROPERLY.



LOCATION MAP
SCALE: 1"=2000'



IMPERVIOUS COVERAGE TABLE		
LOT #	PROPOSED IMPROVEMENTS	FUTURE IMPROVEMENTS
1	0.13 AC. (5,669 SF)	0.01 AC. (436 S.F.)
2	0.14 AC. (6,269 SF)	0.01 AC. (436 S.F.)

EXISTING FEATURES LEGEND

SLANTED TEXT DENOTES EXISTING FEATURE

SITE BENCHMARK

PROPERTY LINE

ADJACENT LINE

LEGAL RIGHT OF WAY

EASEMENT LINE

BUILDING/STRUCTURE

WATERCOURSE

CONCRETE CURB

EDGE OF PAVE

EDGE OF DRIVE

CONTOURS

SPOT ELEVATION

WOOD LINE

TREES

STORM SEWER

MAN TYPE INLETS

SOILS

RIPARIAN BUFFER

OVERHEAD WIRES

UNDERGROUND WIRES

UTILITY POLE

WATERSHED

TIME OF CONCENTRATION

INfiltration TEST PIT

PROJECT SITE BOUNDARY

LIMIT OF DISTURBANCE

PLANTING SOIL

DISCONNECT

ROOF LEADERS

NPDES PERMIT NOTES

NPDES PERMIT PAC460747 ENCOMPASSES THE ENTIRE 'HUGANIR PROPERTY SUBDIVISION' AND WAS LAST APPROVED ON DECEMBER 8, 2024 AND IS SET TO EXPIRE DECEMBER 7, 2029. THE PERMIT BOUNDARY INCLUDES THE 2 LOTS WHICH ARE PART OF THE 1038 WINDY HILL SUBDIVISION, HOWEVER THEIR CONSTRUCTION WAS NOT INCLUDED IN THE APPROVED PERMIT. THEREFORE IN ORDER TO PROVIDE PERMIT COVERAGE FOR THE TWO PROPOSED LOTS AT 1038 WINDY HILL ROAD THE ORIGINAL HUGANIR PROPERTY SUBDIVISION NPDES PERMIT WILL BE MODIFIED TO INCLUDE THEIR CONSTRUCTION.

SOILS LEGEND

A8B-ABBOTTSTOWN SILT LOAM, 3-8 PERCENT SLOPES
L8D-LANSDALE LOAM, 15-25 PERCENT SLOPES
L8A-LAWRENCEVILLE SILT LOAM, 0-3 PERCENT SLOPES
P8C-PENN-LANSDALE COMPLEX, 8-15 PERCENT SLOPES
R8A-READINGTON SILT LOAM, 0-3 PERCENT SLOPES
R8B-REAVILLE SILT LOAM, 3-8 PERCENT SLOPES
R8C-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8D-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8E-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8F-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8G-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8H-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8I-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8J-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8K-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8L-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8M-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8N-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8O-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8P-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8Q-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8R-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8S-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8T-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8U-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8V-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8W-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8AA-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AB-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AC-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AD-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AE-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AF-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AG-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AH-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AI-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AJ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AK-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AL-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AM-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AN-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8AS-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AT-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AU-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8AW-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AX-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8AY-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8BN-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8BO-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8CK-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8CV-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8CW-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8CX-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8CY-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8CZ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DA-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8DC-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8DE-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DF-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DG-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DH-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DI-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DJ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DK-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8DT-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DU-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DV-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DW-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DX-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DY-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8DZ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8EA-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8EB-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8EC-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8EE-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8FS-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8FZ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8GA-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8GB-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8GC-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8GI-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8GO-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8GP-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8HC-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8HV-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8HW-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8IA-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IB-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IC-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8ID-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IE-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IF-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IG-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IH-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8II-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IJ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IK-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IL-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IM-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IN-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IO-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IP-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IQ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IR-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8IT-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IU-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IV-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IW-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8IX-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8IZ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8JB-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JC-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JD-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JE-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JF-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JG-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JH-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JI-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JJ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8JK-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8JM-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8LC-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8MP-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MQ-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MR-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MS-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MT-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MU-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MV-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MW-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MX-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8MY-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
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R8NB-REAVILLE SILT LOAM, 8-15 PERCENT SLOPES
R8NC-REAV

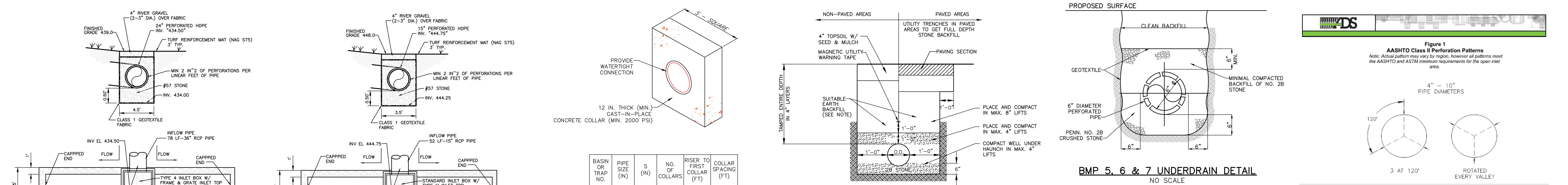


Figure 1
AASHTO Class II Perforation Patterns
Note: Actual pattern may vary by region; however all patterns must meet the AASHTO and ASTM minimum requirements for the open inlet area.

4" = 10"
PIPE DIAMETERS

120°
3 AT 120°
ROTATED EVERY VALLEY

TECHNICAL NOTE
Dual Wall HDPE Perforation Patterns

TN 1.01
January 2015

Introduction

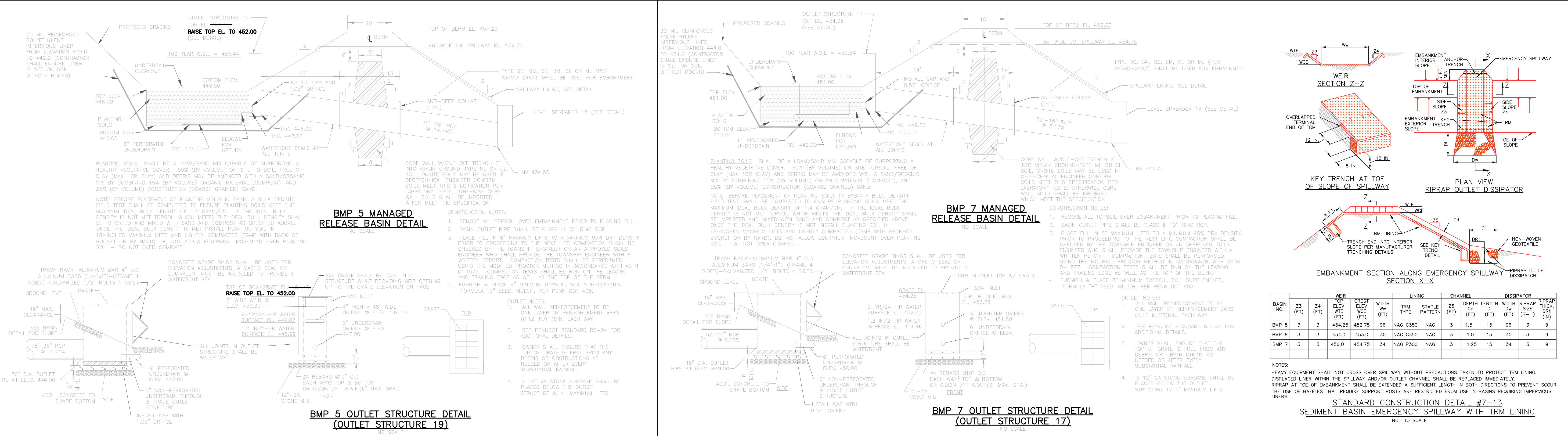
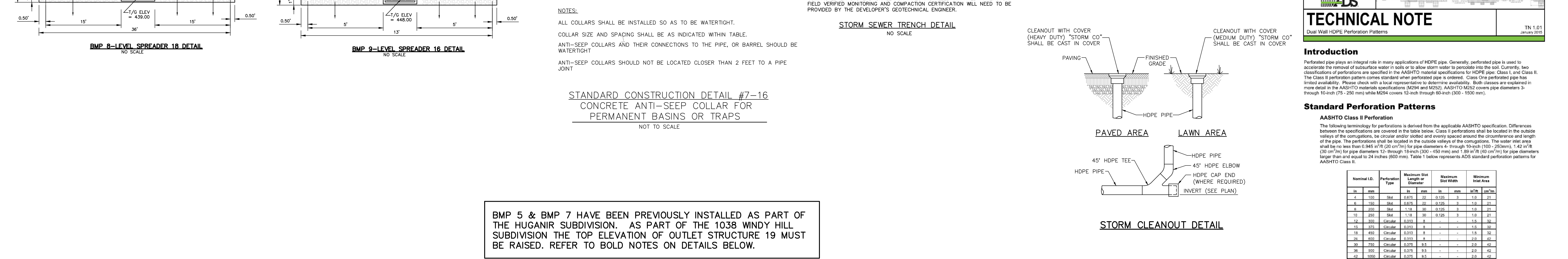
Perforated pipe plays an integral role in many applications of HDPE pipe. Generally, perforated pipe is used to accelerate the removal of subsurface water in soils or to allow storm water to percolate into the soil. Currently, two classifications of perforations are specified in the AASHTO material specifications for HDPE pipe: Class I and Class II. The Class II perforation pattern comes standard when perforated pipe is ordered. Class One perforated pipe has limited availability. Please check with a local representative to determine availability. Both classes are explained in more detail in the AASHTO materials specifications (M294 and M295). AASHTO M295 covers pipe diameters 3'- through 10'-inch (75 - 250 mm) while M294 covers 12'-inch through 60'-inch (300 - 1500 mm).

Standard Perforation Patterns

AASHTO Class II Perforation

The following terminology for perforations is derived from the applicable AASHTO specification. Differences between the specifications are covered in the table below. Class II perforations shall be located in the outside valleys of the corrugations, be circular and/or slotted and evenly spaced around the circumference and length of the pipe. The perforations shall be located in the outside valleys of the corrugations. The water inlet area shall be no less than 0.945 in² (61 cm²/m) for pipe diameters 4'- through 16'-inch (100 - 250mm), 1.42 in² (93 cm²/m) for pipe diameters 12'- through 18'-inch (300 - 450 mm) and 1.89 in² (122 cm²/m) for pipe diameters larger than and equal to 24 inches (600 mm). Table 1 below represents ADS standard perforation patterns for AASHTO Class II.

Nominal I.D.	Perforation Type	Maximum Slot Length or Diameter	Maximum Slot Width	Minimum Inlet Area				
in	mm	in	mm	in ² cm ² /m				
4	100	Slot	0.875	22	0.125 8	1.0	21	
6	150	Slot	0.875	22	0.125 8	1.0	21	
8	200	Slot	1.125	29	0.125 8	1.0	21	
10	250	Slot	1.125	29	0.125 8	1.0	21	
12	300	Circular	0.313	8	-	-	2.0	42
15	375	Circular	0.313	8	-	-	2.0	42
18	450	Circular	0.313	8	-	-	2.0	42
24	600	Circular	0.313	8	-	-	2.0	42
30	750	Circular	0.375	9.5	-	-	2.0	42
36	900	Circular	0.375	9.5	-	-	2.0	42
42	1060	Circular	0.375	9.5	-	-	2.0	42
48	1200	Circular	0.375	9.5	-	-	2.0	42
60	1500	Circular	0.375	9.5	-	-	2.0	42



				SEAL	SEAL	MANAGER NEF		CLIENT ARDEN RESERVE, LLC P.O. BOX 243 FAIRVIEW VILLAGE, PA 19409 (610) 539-8088	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS 1038 WINDY HILL ROAD 2 LOT SUBDIVISION WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA	JOB NO. 208161-01
						DESIGN NEF	CHKD. BY			SHEET NO. 11 OF 12
						DRAFT DPC	CHKD. BY			DWG. NO. PC-02
						FILE MIK-03	DATE 1/15/25			
						NOTES	SCALE			
1.	REVISED PER CONSULTANT REVIEW LETTER	4-15-25	DPC							
NO.	REVISION	DATE	BY							

BURSICH ASSOCIATES
ENGINEERS, LAND SURVEYORS, LANDSCAPE ARCHITECTS
2129 EAST HIGH STREET
POTTSTOWN, PA 19464
610.323.4040

www.bursich.com



RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE (SUPERVISORS) (COMMISSIONERS) (COUNCILMEN) of Worcester Township
(TOWNSHIP) (BOROUGH) (CITY), Montgomery COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS Arden Reserve, LLC has proposed the development of a parcel of land identified as
land developer

1038 Windy Hill Road - 2 Lot Subdivision, and described in the attached Sewage Facilities Planning Module, and
name of subdivision

proposes that such subdivision be served by: (check all that apply), ☐ sewer tap-ins, ☐ sewer extension, ☐ new treatment facility, ☒ individual onlot systems, ☐ community onlot systems, ☐ spray irrigation, ☐ retaining tanks, ☐ other, (please specify). _____

WHEREAS, Worcester Township finds that the subdivision described in the attached
municipality

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the (Supervisors) (Commissioners) (Councilmen) of the (Township) (Borough) (City) of Worcester hereby adopt and submit to DEP for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, _____
(Signature)

Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # _____, adopted, _____, 20____.

Municipal Address:

Worcester Township
1721 South Valley Forge Road, P.O. Box 767
Worcester, PA 19490
Telephone (610) 584-1410

Seal of
Governing Body



PRIVILEGED ATTORNEY-
CLIENT COMMUNICATION

April 9, 2025

Dan DeMeno
Township Manager
1721 South Valley Forge Road
Worcester, PA 19490

RE: Executive Summary of Cable Franchise Agreement with Comcast

Dear Dan:

I am pleased to inform you that we have reached tentative agreement with Comcast regarding cable franchise renewal for Worcester Township. The following is an executive summary of the major provisions of the Cable Franchise Agreement (the "Agreement") negotiated with various Comcast representatives. While there are many other important provisions contained in the Agreement, I have limited this summary to the major items outlined herein. The Agreement is, of course, subject to the approval of the Township Board of Supervisors.

1. Franchise Fees (Sections 1(p) and 6)

Municipalities are entitled under federal law to assess a franchise fee of up to 5% of the cable operator's "gross revenues" for cable services provided within the municipality. The Township currently assesses a 5% fee and this remains the same in the Agreement. The definition of "gross revenues" in the Agreement includes an itemized list of 25 separate revenue sources that will maximize the Township's franchise fee revenue. This list includes all current eligible revenue sources as well as all foreseeable future sources and a "catch all" item to capture any other future revenue sources that are not foreseeable. The list adds several new revenue sources that Comcast has added in the past few years.

While several relevant variables such as rate changes, subscriber activity, subscriber penetration, and related issues can and will impact the Township's franchise fees, the Agreement is intended to maximize the Township's franchise fee revenue. Please note that

all franchise fees are passed through to Comcast cable subscribers as a separate line item on their bills. Franchise fees will be paid to the Township on a quarterly basis.

In addition to franchise fee revenue, the Agreement ensures franchise fee accountability. It permits the Township to conduct an independent audit of Comcast's records to determine whether Comcast has paid franchise fees accurately. Should the audit reveal that franchise fees have been underpaid, then Comcast must pay the underpaid amount plus 10% interest on the underpayment. Furthermore, should the audit reveal that franchise fees have been underpaid by 5% or more, then Comcast also must contribute up to \$3,000 toward the cost of the audit.

Finally, the Agreement includes "bundled services" protection. If a subscriber purchases more than one of Comcast's three services (i.e. cable, internet and phone) and receives a bundled services discount, this provision ensures that the discount does not apply only to cable services. If it did, franchise fee revenue to the Township would be reduced. Section 6.5 of the Agreement states that "allocation of revenue shall not be structured for the purpose of evading franchise fees applicable to cable services."

2. Subscriber Service Standards (Section 4)

The Agreement establishes a set of comprehensive, quantifiable, and enforceable customer service standards. These standards adopt the relevant recommendations of the Federal Communications Commission ("FCC"), which are not enforceable unless they are included in a franchise agreement, and also add certain additional requirements. The customer service standards include, but are not limited to, the following:

- Telephone answering time limits for customer service representatives, including the requirement that Comcast to perform surveys to measure compliance with the standards upon receipt of subscriber complaints;
- Time limits for commencing installation, service interruption, and repair work, including limits on technicians cancelling appointments with subscribers;
- A four-hour "appointment window" for service calls;
- Requirements for notices to subscribers;
- Requirements that bills be clear, concise, and fully itemized;
- Subscriber complaint procedures, including that Comcast may not impose late fees on a subscriber who disputes a bill in good faith until the investigation is completed;
- Requirements to be met prior to disconnecting service;

- Credits for service interruptions of six or more hours upon request; and
- Standards of subscriber privacy.

3. Right-of-Way Protections (Section 3)

The Agreement provides many protections of the Township's public rights-of-way. For example, Comcast agreed to repair any damage to public or private property by Comcast or any of its contractors or subcontractors within 20 business days. In addition, the Agreement includes safety standards, the provision of service area maps to the Township upon request, requirements for disconnection and relocation of Comcast's wires and equipment, removal of equipment in the event of an emergency, and the need for Township approval for cutting down any trees in the public rights-of-way.

4. Reporting Requirements (Sections 5.7 and 6.3)

The Agreement includes three reporting requirements to the Township to be met by Comcast. The first is a detailed franchise fee report to accompany each quarterly franchise fee payment. The report must contain line items for sources of revenue received by Comcast and the amount of revenue received from each source.

Second, upon written request, Comcast must submit a subscriber complaint report stating the date, nature and resolution of all subscriber complaints that have generated a work order or have necessitated a response. The term "complaint" is defined as any written (including email) or oral communication by a subscriber expressing dissatisfaction with Comcast's operation of the cable system that is within Comcast's control and requires a corrective measure. In addition and upon request, the Township may obtain from Comcast specific information regarding service repair requests and service interruptions.

Third and finally, Comcast must, upon written request, provide to the Township copies of reports or other communications to any federal or state regulatory agencies relating to Comcast's cable system within the Township.

5. Cable System Requirements and Service Area (Section 3)

The Agreement provides technical requirements for the cable system serving the Township. It requires the system to be built for digital television standards and meet or exceed all technical performance standards of the FCC, the National Electric Code and the National Electrical Safety Code. It also requires that Comcast perform tests on the cable system upon request, report to the Township regarding the results of the tests, and take corrective measures if the results show non-compliance with applicable standards.

Furthermore, the Agreement requires that Comcast make cable service available to every area in which there is a minimum of 25 residential dwelling units per linear aerial plant mile (50 units per mile underground) subject to certain conditions. Any home that is within 275 feet from Comcast's main distribution line is considered a "dwelling unit." Upon Township request, Comcast must conduct a survey to determine the number of dwelling units per mile in the requested area. Any unit within 125 feet of the main distribution line is entitled to a standard installation rate. For any unit beyond 125 feet, Comcast must connect it if the unit owner pays the incremental cost beyond the installation costs for the initial 125 feet.

6. Educational and Governmental ("EG") Channel (Section 7.2)

Federal law grants municipalities the right to dedicated public, educational and governmental ("PEG") channels. In the Agreement, Comcast provides a single educational and/or governmental ("EG") channel to be used for programming related to educational and/or governmental activities. The Township or its designee would have complete control over the content, scheduling, and administration of the channel, and the Township may delegate these functions, or a portion of these functions, to a designated access administrator, such as the School District.

Comcast will continue to provide and maintain the wires and other signal distribution equipment so that programming can originate from the selected video origination location and be distributed over the cable system. Comcast is required to cablecast the EG channel to all Comcast subscribers and the technical quality of the channel must be comparable to the technical quality used for commercial channels.

7. Services to Community Facilities (Section 7.1)

The Agreement requires Comcast to provide Basic level television service to various public buildings, including the Township Building, police stations, fire companies, public works buildings, and water and sewer authorities. Notwithstanding the foregoing, the FCC Section 621 Third Report and Order of September 2019 ("Order") has injected a major new restriction that previously did not exist. The Order states that "costs attributable to franchise terms that require a cable operator to provide free or discounted cable services to public buildings" may be offset against franchise fees. The FCC found that these services are in-kind contributions and fall within the 5% franchise fee cap.¹

The Order outlines the new options for local governments: (1) continue to receive the existing cable services and reduce franchise fee revenue by the marginal cost of those services; (2) discontinue all the services and continue receiving franchise fees at their

¹ For those municipalities that assess a franchise fee percentage that is lower than 5%, they may receive free cable services for public facilities, provided the services have a fair market value that, combined with franchise fee revenue, is less than 5% of gross revenues.

current level; or (3) discontinue the service to certain buildings and reduce franchise fees by the marginal cost of the reduced service. These options are reflected in Section 7.1 of the Agreement. Comcast must notify the Township regarding the amount of the monthly fee for each facility. The Township will then have 30 days to notify Comcast of its decision to opt for either (1), (2), or (3) above with respect to each facility.

8. Liquidated Damages for Violations (Section 8.2)

Once Comcast has agreed to the obligations described in this executive summary and the other obligations contained in the Agreement, it is critical for the Township to be able to enforce these obligations. Section 8.2 of the Agreement allows for monetary fines, also known as “liquidated damages,” in the amount of \$250 per day for each violation of the Agreement. The Township may assess such monetary fines after providing Comcast with written notice and allowing Comcast 45 days to correct the violation, unless the nature of the violation is such that it cannot be cured within 45 days, in which case the cure period may be extended. Liquidated damages may be assessed for 120 days, after which the Township may commence revocation proceedings or initiate a lawsuit.

9. Length of Franchise Term (Section 2.2)

Due to the fact that cable technology is constantly changing and we cannot predict the state of this technology in the future, we recommend the shortest possible length of term for the Agreement. For Comcast, this is 10 years. We know from our extensive dealings with Comcast over the past 24 years that this is a policy position from which Comcast will not deviate.

10. Competitive Equity Provision (Section 2.6)

Pursuant to the 1992 Cable Television Consumer Protection and Competition Act, cable franchise agreements may not be exclusive. The Township may award more than one franchise to different cable operators. In large part due to the emergence of Verizon as a competitor in the cable industry, Comcast insisted upon including a competitive equity provision, also known as “level playing field” provision, in the Agreement. These provisions relate to the prospect of another cable operator providing cable services in the Township in the future.

The competitive equity provision negotiated with Comcast states that, if the Township grants another cable franchise and the material terms of the new franchise agreement, when taken as a whole, are more favorable to the competitor than the terms in this Agreement are to Comcast, then Comcast may request an amendment to this Agreement to include such favorable terms. Only if the Township agrees with Comcast that there is a lack of competitive equity will the Township and Comcast enter into discussions to amend the Agreement. This provision keeps control with the Township and

assesses the Agreement in the aggregate rather than on an issue-by-issue basis. In our experience, an issue-by-issue analysis can be misleading by focusing on singular issues in a vacuum without taking into account the totality of the negotiations.

This concludes the executive summary of the major items contained in the Agreement. There are many other provisions in the Agreement, but we have highlighted the major items. Thank you for your cooperation in this effort. Should you have any questions or concerns regarding this matter, please do not hesitate to contact me directly.

Sincerely yours,

Phillip M. Fraga

Phillip M. Fraga

ORDINANCE NO. 301

ORDINANCE OF WORCESTER TOWNSHIP AUTHORIZING EXECUTION OF A CABLE FRANCHISE AGREEMENT BETWEEN THE TOWNSHIP AND COMCAST OF PENNSYLVANIA, LLC

WHEREAS, pursuant to Title VI of the Communications Act, the regulations of the Federal Communications Commission (“FCC”) and Pennsylvania law, the Township is authorized to grant and renew franchises to construct, operate and maintain a Cable System utilizing Public Rights-of-Way and properties within the Township’s jurisdiction; and

WHEREAS, Comcast currently holds a cable franchise previously granted by the Township; and

WHEREAS, Comcast has requested that the Township renew Comcast’s franchise to maintain, construct, operate, and maintain its Cable System over, under and along the aforesaid rights-of-ways for use by the Township’s residents; and

WHEREAS, the aforesaid Public Rights-of-Way used by Comcast are public properties acquired and maintained by the Township on behalf of the citizens of the Township, and the right to use said rights-of-way is a valuable property right; and

WHEREAS, the Township desires to protect and manage the aforesaid rights-of-way, establish standards of Subscriber service, maintain a technologically advanced Cable System, receive Franchise Fees for Comcast’s use of the Township’s public rights-of-ways as provided by federal law, use of public, educational and governmental channels, establish certain reporting requirements, provide legal protections for the Township’s and meet the current and future cable-related needs of its residents; and

WHEREAS, the Township has determined that this Agreement and the process for consideration of this Agreement complies with all applicable federal, state and local laws and regulations; and

WHEREAS, the Township has determined that Comcast has the financial, legal and technical ability to provide Cable Services to Subscribers located in the Township;

NOW THEREFORE, BE IT ORDAINED that the Township Board of Supervisors does hereby approve the cable franchise agreement negotiated with Comcast, including all of the terms and conditions contained therein, and does hereby authorize the execution of such agreement.

ENACTED AND ORDAINED this ____ day of _____, 2025.

ATTEST:

WORCESTER TOWNSHIP

Daniel DeMeno
Secretary

Rick DeLello
Chairman, Board of Supervisors