

September 15, 2025

Worcester Township Board of Supervisors
c/o Mr. Dan Demeno, Township Manager
Worcester Township
1721 Valley Forge Road
PO Box 767
Worcester, PA 19490-0767

Re: 1805 Berks Road
Allan Myers Legacy Equipment Museum

Dear Board of Supervisors,

On behalf of A. Ross Myers, applicant and property owner, Howell Engineering has prepared this waiver request letter for your consideration. The necessary waivers requested below have been developed through the plan review process via dialog among our office, the Applicant, the Township's consultants and through discussions with Township staff. These requests for modification are submitted in accordance with the Municipalities Planning Code. Each request is made in a context where literal enforcement of the subdivision and land development ordinance will exact undue hardship because of peculiar conditions pertaining to the land in question. We have reviewed these requested waivers carefully as explained above and we have concluded that none of these waivers, if granted, will be contrary to public interest, and in fact, in the context of the proposed development are to the benefit of the public interest. Moreover, in the case of each request, notwithstanding the approval of the waiver, the purpose and intent of the subdivision and land development ordinance will still be observed.

Waivers Requested:

- 1. Section 130-10 and 130-11 A., B., and C. Compliance with procedures required and Overview of submittal and review process. – The process of submitting, reviewing and approving subdivision and land development site plans shall consist of three phases: sketch plan phase (optional), preliminary plan phase and final plan phase.**

The applicant is requesting a waiver from these Sections to allow for a Waiver of the Land Development Process by satisfying the applicable reviews of Township Consultants. Due to the minor nature of the application and the redevelopment of an equipment storage area for a private legacy equipment museum, we believe the application meets the requirements for a Waiver of Land Development.

- 2. Section 130-16.C(2)(c) – The area between an existing right-of-way line and the ultimate right-of-way line should be offered for dedication to the authority having jurisdiction over the road when land is subdivided or developed along an existing right-of-way.**

The applicant is requesting a waiver from this section of the ordinance to not dedicate additional right-of-way to the authority having jurisdiction over the road when the land is developed. We are pursuing this waiver request since there isn't any new development along the existing property frontage and the area within the property is being redeveloped to a lesser extent than the previous equipment storage yard.

3. Section 130-18.A & B – Sidewalk and Curbs.

The applicant is requesting a waiver from this section of the ordinance to not install sidewalk and curbs along Berks Road since they are unnecessary for public safety and convenience and since no other sidewalks in the vicinity of the project that would allow for pedestrian connectivity. The applicant further asks for consideration of this waiver since there are no other site improvements except those associated with the redevelopment area for the museum itself.

The applicant is also requesting that curbs not be installed within the develop area since the entire site is constructed without curbing to retain its rural character. The applicant has received zoning variance relief to not install curbs within the redevelopment area as part of the decision from the Zoning Hearing Board.

4. Section 130-28.G.6.f – Raised continuous concrete curbing shall be required around each planting island.

The applicant is requesting a waiver from this section of the ordinance not to install curbs within the parking area and around planting islands to retain its rural character. The applicant has received zoning variance relief to not install curbs as part of the decision from the Zoning Hearing Board.

5. Section 129-18.C.(3) – Minimum pipe size. Minimum pipe diameter shall be 15 inches (or an equivalent flow area of 1.23 square feet).

The applicant is requesting a waiver from this section to install roof drainpipes around the building less than 15-inches in diameter due to the minimal flow to those pipes.

If you have any questions or require any additional information, please do not hesitate to contact me.

Sincerely,

Howell Engineering



Joseph Russell

Director of Operations

Cc: J. Edmund Mullin, Esq., HRMM&L
Michael Gill, Esq., HRMM&L
Wendy Feiss-McKenna, Esq. Township Solicitor
Karen Miller, Brant & Associates, LLC
A. Ross Myers c/o Stephen Shannahan



**ORE THE ZONING HEARING BOARD OF WORCESTER TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA**

E: APPLICATION OF A. ROSS MYERS

2024-26

DECISION

The Applicant, A. Ross Myers, owner of record of 1805 Berks Road, Worcester Township, Montgomery County, PA, TPN #67-00-00286-00-7, located in the AGR Agricultural Zoning District, proposes to construct and use a Legacy Equipment Museum on the property. A public hearing on the above Application was held on January 21, 2025 at the Worcester Township Community Hall, 1031 Valley Forge Road, Fairview Village, Pennsylvania, pursuant to Notice as required by the Worcester Township Zoning Ordinance, as amended (hereinafter "Zoning Ordinance") and the Pennsylvania Municipalities Planning Code. Upon consideration of the evidence and testimony presented regarding the Application, the Zoning Hearing Board of Worcester Township enters the following Order:

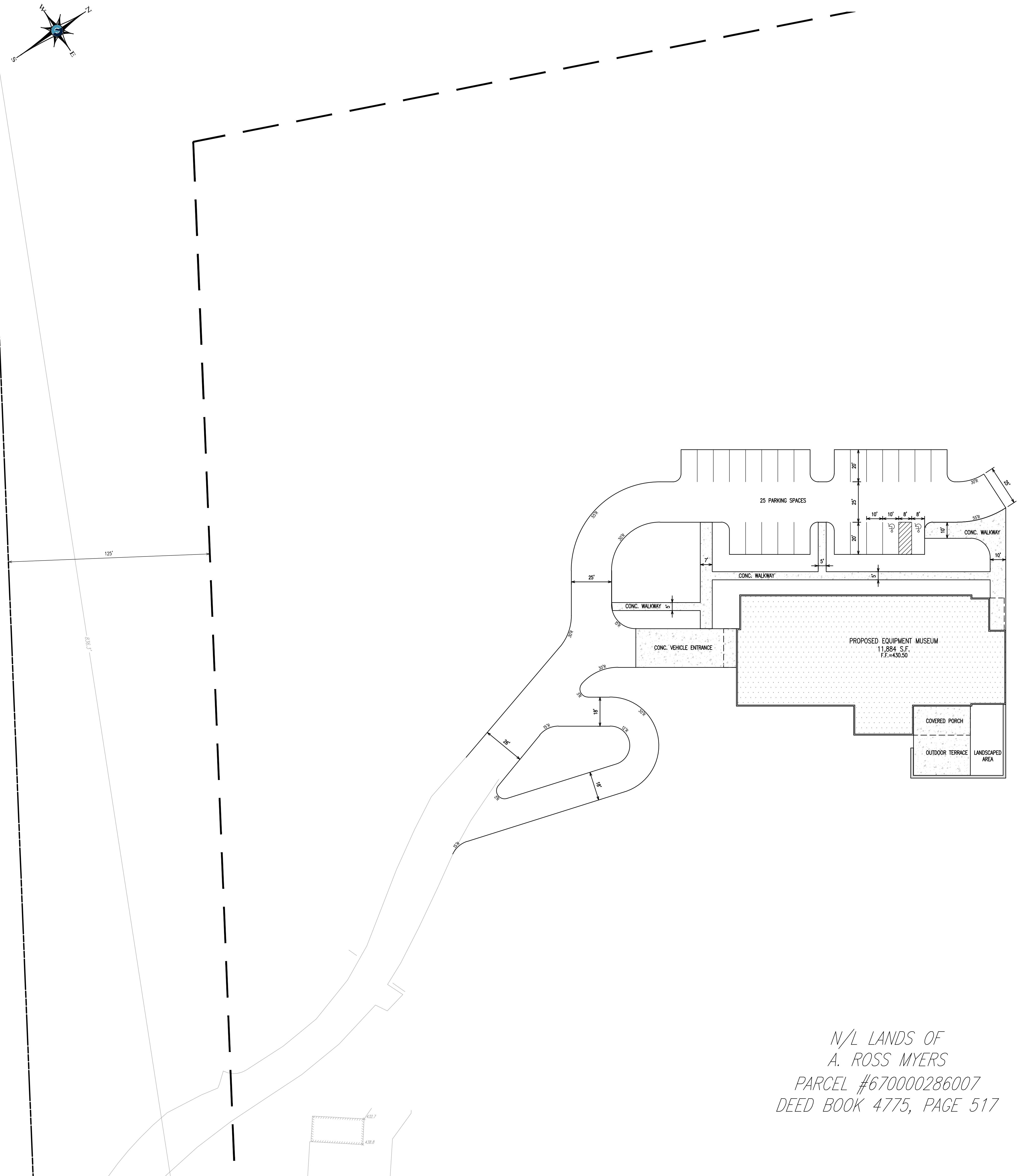
ORDER

A special exception under Section 150-166.B, so as to permit the expansion of a non-conforming use, and the construction and use of the proposed building, is **GRANTED**.

A variance from Section 150-166.B, so as to permit the expansion of a non-conforming
and the construction and use of the proposed building, is **GRANTED**.

A variance from Section 150-153.B, so as to permit the related parking spaces without
a variance, is **GRANTED**.

The requests for interpretations and a use variance under Section 150-11 of the Zoning
ance were withdrawn.



N/L LANDS OF
A. ROSS MYERS
PARCEL #670000286007
DEED BOOK 4775, PAGE 517

LEGEND

EX. PROPERTY LINE	242	EXISTING CONTOUR	PROPO. LIGHT POLE	PROP. ELEC. LINE	PROP. STORM INLET	PROP. WATER LINE	
PROP. PROPERTY LINE	242	PROPOSED CONTOUR	X	EX. FENCE	EX. UTILITY POLE	WL	
EX. RIGHT-OF-WAY	X 123.00	EXISTING SPOT ELEV.	MB	EX. MAIL BOX	PROP. UTILITY POLE	FW	
PROP. RIGHT-OF-WAY	X 123.00	NEW SPOT ELEV.	EX.	EX. SIGN	EX. GUY ANCHOR	W.V. ●	
EX. MONUMENT		SOILS TYPE	PROPO. SIGN	G	EX. GAS LINE	W.V. 	
PROP. MONUMENT		SOILS LINE	(4)	EXIST. PARKING SPACES	G	PROP. GAS LINE	PROP. WATER VALVE
EX. REBAR		EX. CONC. CURB	4	PROP. PARKING SPACES	G.V. ●	EX. GAS VALVE	EX. HYDRANT
PROP. REBAR		PROP. CONC. CURB	(TBR)	TO BE REMOVED	G.V. 	PROP. GAS VALVE	PROP. HYDRANT
EX. EASEMENT		EX. EDGE OF PAVING	T	EX. TELE. LINE	=====	EX. STORM SEWER LINE	EX. MANHOLE
PROP. EASEMENT		PROP. EDGE OF PAVING	T	PROP. TELE. LINE	-----	PROP. STORM SEWER LINE	PROP. MANHOLE
EX. WETLANDS		EX. LIGHT POLE	E	EX. ELEC. LINE	■	EX. STORM INLET	EX. PERC TEST
					1		EX. WATER LINE

ENLARGED SITE PLAN

SCALE: 1 = 30

30 0 15 30 60

GRAPHIC SCALE

1 inch = 30 feet

SCALE: 1 = 30

30 0 15 30 60

GRAPHIC SCALE
1 inch = 30 feet

CESTER TOWNSHIP ZONING HEARING BOARD

John L. Clark
John L. Clark

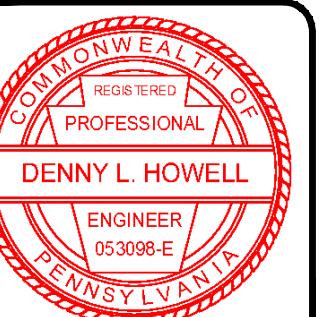
Ann D'Lauro
Ann D'Lauro, Vice Chair

Bradford Smith

Order Entered and Issued: 1/29/2025

This Decision and Order of the Board is final and any appeal of it must be filed with the Court of Common Pleas of Montgomery County within thirty (30) days following the date set forth above. The Board reserves the right to prepare Findings of Fact and Conclusions of Law in support of this decision if an appeal is filed.

DATE: 03/10/2025
SCALE: 1"=30'
DRAWN BY: NAR
CHECKED BY: JSR
PROJECT NO.: 4886
AD FILE: 02 ENLARGED SITE PLAN.dwg
LOTTED: 03/10/2025
DRAWING NO.: C02.1
HEET 02 OF 18



RECEIVED

GRADING & UTILITY GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA SHALL BE LOCATED AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES. ANY DAMAGE TO EXISTING FACILITIES SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES IF NECESSARY.
- LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM FIELD SURVEY AND EXISTING RECORDS. THE CONTRACTOR SHALL NOT ASSUME THAT ANY EXISTING UTILITIES ARE SHOWN. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL ACCURATELY FIELD MEASURE LOCATION AND ELEVATION OF EXISTING UTILITIES AT POINTS OF CONNECTION AND POTENTIAL CONFLICT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LOCAL UTILITY OR GOVERNING AGENCY OF ANY CONFLICT AND PREPARE A DETAILED PLAN. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOCAL UTILITY INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.
- CONSTRUCTION SHALL BE LOCATED, AND MEASURES TAKEN TO PROTECT THE EXISTING FACILITIES IN ACCORDANCE WITH PENNSYLVANIA ACT 187. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM THE NEGLIGENCE OF THE CONTRACTOR SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL PERSONS, VEHICLES AND BUILDINGS WITHIN THE CONSTRUCTION AREAS FROM INJURY AND DAMAGE DURING THE COURSE OF WORK.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO DETERMINE THE 1.0% SLOPE ON ASPHALT 2.0% ON CONCRETE. EXISTING UTILITIES AND OTHER FEATURES MAY ALTER THE SLOPES. THE CONTRACTOR IS PROhibited FROM CHANGING THE SLOPES. ANY CHANGES IN SLOPES MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY, PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- ALL SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL STATUTES AND REGULATIONS.
- ALL TRENCHING, SHORING AND EXCAVATING OPERATIONS SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- SCALED DIMENSIONS FROM THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION WITHOUT CONFIRMATION FROM D.L. HOWELL & ASSOC., INC.
- SUBGRADE MATERIAL FOR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. IF ANY UNSUITABLE SOIL IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL REMOVE IT AND REPLACE TO THE RECOMMENDATIONS OUTLINED IN A GEOTECHNICAL EVALUATION PREPARED SPECIFICALLY FOR THIS SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LOCAL AUTHORITY OR GOVERNING AGENCY OF ANY CONSTRUCTION ACTIVITIES AND TO ENSURE THAT NO WORK IS PERFORMED WITHOUT THE REQUIRED PERMITS AND INSPECTIONS BY THE LOCAL AUTHORITY OR GOVERNING AGENCY.
- IF CONDITIONS ON THE GROUND DIFFER FROM THOSE SHOWN ON THE PLAN, THE CONTRACTOR SHALL NOTIFY IMMEDIATELY IN WRITING THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TRAFFIC CONTROL, SHEETING, SHORING AND BARRICADES OF OPEN EXCAVATIONS.
- ALL MANHOLES SHALL BE PRECAST CONCRETE.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR AND HAVE MAINTENANCE OF ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER CONTRACT.
- CONTRACTOR SHALL REVIEW VARIOUS PHASES OF WORK WITH THE OWNER TO DETERMINE WHETHER ANY PHASE WILL CONFLICT WITH THE OWNER'S DAILY OPERATIONS. WHERE CONFLICT IS APPARENT THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE WORK TO BE PERFORMED SO AS TO BE THE LEAST DISRUPTIVE.
- ANY PAVING DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED TO SUBGRADE AND REPLACED AT THE CONTRACTOR'S OWN EXPENSE. PAVING SHALL MATCH EXISTING PAVEMENT SECTION.
- IN ANY AREA SUBJECT TO VEHICULAR ACTIVITY DURING CONSTRUCTION, A MINIMUM OF 18 INCHES OF COVER SHALL BE MAINTAINED FOR ALL UNDERGROUND UTILITIES (STORMWATER, SANITARY SEWER, WATER, ELECTRIC, GAS, ETC.)
- ALL FILL SHALL BE COMPACTED TO PROVE STABILITY OF MATERIAL AND TO PREVENT UNDESIRABLE SETTLEMENTS. ALL FILL SHALL BE SPREAD IN A SERIES OF LAYERS, NOT EXCEEDING EIGHT INCHES IN THICKNESS, AND BE COMPACTED BY A SHEEPFOOT ROLLER OR OTHER APPROVED METHOD AFTER EACH LAYER IS SPREAD. THE TOWNSHIP ENGINEER MAY REQUIRE COMPACTION TESTS AND REPORTS.
- IF THE CONTRACTOR RUNS INTO HIGH WATER TABLE, SHALLOW BEDROCK, OR SOIL INSTABILITY THE DESIGN ENGINEER OR THE ON-SITE GEOTECHNICAL ENGINEER MUST BE CONTACTED IMMEDIATELY BEFORE ANY ADDITIONAL WORK IS COMPLETED.
- ALL OTHER UTILITY LINES, INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, STREETLIGHT, SUPPLY, CABLE TELEPHONE, TELEPHONE, SHALL BE PLACED UNDERGROUND. INSTALLATION OF UTILITIES SHALL BE IN STRICT CONFORMITY WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP OR PUBLIC UTILITY CONCERN. UNDERGROUND UTILITIES SHALL BE PUT IN PLACE, CONNECTED, AND APPROVED BEFORE THE STREET ARE OPENED. THE CONTRACTOR SHALL NOT USE PRECAST CARTWHEEL AND BEFORE ANY PERSON IS PERMITTED TO OCCUPY ANY BUILDING SERVED BY SUCH FACILITIES.
- ALL STORM SEWERS SHALL BE CONSTRUCTED PER PENDOT SPECIFICATIONS AS OUTLINED IN PUBLICATION 408 DESIGN MANUAL.
- ALL MATERIALS USED AND ALL CONSTRUCTION METHODS EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD CONSTRUCTION AND MATERIALS SPECIFICATION FOR SANITARY SEWER EXTENSIONS FOR LOWER PROVIDENCE TOWNSHIP SEWER AUTHORITY.
- THE PROPOSED BUILDING WILL BE ON SLAB AND NOT HAVE A BASEMENT.
- NO PLANTING WILL OCCUR WITHIN 10' OF THE SANITARY SEWER LATERAL.
- PRIOR TO COMMENCING CONSTRUCTION, ALL MATERIALS TO BE USED ON THE JOB MUST BE INSPECTED BY A MEMBER OF THE TOWNSHIP SANITARY SEWER AUTHORITY. THIS INSPECTION IS TO ENSURE CONFORMANCE WITH THE APPROVED SHOP DRAWINGS.
- THE PROPOSED FINISHED GRADING SHOWN ON THIS PLAN HAS BEEN SHOWN FOR THE PURPOSE OF STORMWATER MANAGEMENT DESIGN. THE CONTRACTOR SHALL COMPLY WITH THE GRADING SCHEME AS SHOWN UNLESS OTHERWISE APPROVED BY THE TOWNSHIP AND DESIGN ENGINEER.
- A MINIMUM OF 8" OF TOPSOIL SHALL BE PLACED ON ALL LAWN AREA AND PLANTING AREAS. ALL SLOPES 3:1 OR GREATER WILL REQUIRE THE PLACEMENT OF AN APPROVED EROSION CONTROL BLANKET AFTER SEDDING TO PREVENT EROSION OF NEWLY GRADED AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YELDING OR UNSUITABLE MATERIAL AND REPAIRING IT WITH A MORE DURABLE MATERIAL. ALL SOFT, YELDING OR UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH A SOIL OF MAXIMUM DRY UNIT DENSITY PER ASTM D-1557. SOIL CONTENT AT TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE, NO MORE THAN 3% BELOW OPTIMUM. THE CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEERING FIRM, REQUESTING A TEST VERIFICATION REPORT FOR THE CONTRACTOR TO SUBMIT TO THE TOWNSHIP. ALL GRADED PADS, PAVING AREAS AND BASIN CORES HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE SPECIFICATIONS.
- ALL INLET GRATES PROPOSED IN CONJUNCTION WITH THIS DEVELOPMENT SHALL BE BICYCLE SAFE GRATES.

**N/L LANDS OF
A. ROSS MYERS
PARCEL #670000286007
DEED BOOK 4775, PAGE 517**

GRADING & UTILITIES PLAN

SCALE: 1"=30'
GRAPHIC SCALE
1 inch = 30 feet

EX. PROPERTY LINE	242	EXISTING CONTOUR
PROP. PROPERTY LINE	X 123.00	EXISTING SPOT ELEV.
PROP. RIGHT-OF-WAY	X 123.00	PROPOSED CONTOUR
PROP. RIGHT-OF-WAY	X 123.00	NEW SPOT ELEV.
PROP. MONUMENT	GEB2	EX. MAIL BOX
EX. REBAR		SOILS TYPE
PROP. EASEMENT		PROP. SIGN
EX. RETALANDS		PROP. PARKING SPACES
		TO BE REMOVED
		EX. TELE. LINE
		PROP. CONC. CURB
		PROP. EDGE OF PAVING
		EX. LIGHT POLE

PROP. LIGHT POLE	E	PROP. ELECT. LINE
EX. FENCE	E	EX. UTILITY POLE
EX. MAIL BOX	E	PROP. UTILITY POLE
EX. SIGN	E	PROP. GUY ANCHOR
	E	PROP. GAS LINE
	E	PROP. GAS VALVE
	E	PROP. SAN. SEWER LINE
	E	PROP. SAN. SEWER LATERAL
	E	PROP. SANITARY MH. ID
	E	EX. STORM INLET
	E	EX. WATER LINE

UPI# 670003454007

GRADING PERMIT
GRADING & UTILITIES PLAN

CURE: A. ROSS MYERS EQUIPMENT MUSEUM
PROJECT: 1805 BIRKS ROAD, MONTGOMERY COUNTY, PA.
LOCATION: WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE: 03/10/2025
SCALE: 1"=30'
DRAWN BY: NAR
CHECKED BY: JSR
PROJECT NO: 4886
FILE: 04886
CROSSING & UTILITIES PLAN
PLOTTED: 03/10/2025
DRAWING NO: CO4.1
SHEET 05 of 18

BMP 6.4.5: RAIN GARDEN/BIORETENTION WITH MANAGED RELEASE CONCEPT ("MRC")

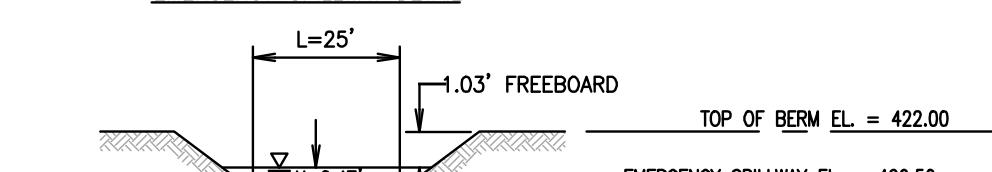
THE INSTALLATION OF THIS BMP IS A CRITICAL STAGE WHERE THE DESIGN ENGINEER MUST BE CONTACTED AT LEAST 48 HOURS IN ADVANCE TO PROVIDE CONSTRUCTION OVERSIGHT.

EMERGENCY SPILLWAY DESIGN

$$Q_{100} \text{ POST} = 22.3 \text{ cfs} \quad L = 25 \text{ ft}$$

$$H = Q_{100} \text{ POST} \cdot (0.67) = \frac{22.3 \cdot 0.67}{(3.37/25)} = 0.47 \text{ ft}$$

EMERGENCY SPILLWAY DETAIL



NORTH AMERICAN GREEN SC250 PERMANENT TURF REINFORCEMENT MAT OR R-4 RIP RAP TO BE PLACED ON ALL EMERGENCY SPILLWAYS

EMERGENCY SPILLWAY EL. = 420.50

TOP OF BERM EL. = 422.00

EMERGENCY SPILLWAY DETAIL

NOT TO SCALE

DETENTION BASIN 2 DETAIL

NOT TO SCALE

DETENTION BASIN 2 CONSTRUCTION SPECIFICATIONS:

1. PERIMETER SEED CONTROL DEVICES MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING ACTIVITIES. AREAS WHERE THE BASIN AND EMBANKMENT IS TO BE PLACED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.

2. EXCAVATE BASIN TO WITHIN TWO FEET OF FINAL ELEVATION OF THE EARTH FILL. FINAL EXCAVATION TO FINISHED GRADE SHALL BE DEFERRED UNTIL ALL UPGRADING-DISTURBED AREAS HAVE BEEN STABILIZED. THE BASIN BOTTOM AND SIDE EMBANKMENTS SHALL BE ROUGHED WHERE SHEARED AND SEALED BY HEAVY EQUIPMENT.

3. ALL BASIN EXCAVATION EQUIPMENT SHALL BE OPERATED LIGHTWEIGHT, RUBBER-TRACKED EQUIPMENT.

4. A CUT-OFF TRENCH SHALL BE EXCAVATED ALONG THE CENTERLINE OF THE EARTH FILL EMBANKMENT. THE MINIMUM DEPTH SHALL BE FOUR FEET. THE CUT-OFF TRENCH SHALL EXCAVATE UP BOTH SIDES TO SIX INCHES BELOW THE EMERGENCY SPILLWAY CREST ELEVATION. THE BOTTOM WIDTH SHALL BE FOUR (4) FEET, BUT WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTION EQUIPMENT. THE SIDE SLOPES SHALL BE NO STEEPER THAN 3H:1V.

5. FILL MATERIAL FOR CUT-OFF TRENCH SHALL BE UNIFIED SOIL TYPE CL (OR APPROVED EQUIVALENT).

6. FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IT CAN BE FORMED BY HAND INTO A BALL WITH OUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL, IT IS TOO WET FOR PROPER COMPACTION.

7. FILL MATERIAL SHALL BE PLACED IN SIX INCH TO EIGHT-INCH CONTINUOUS LIFTS ACROSS THE ENTIRE LENGTH OF THE EMBANKMENT. EACH FILL LIFT SHALL BE COMPACTED TO AN AVERAGE OF 95% OF MODIFIED DRY DENSITY PER ASTM D-157.

8. FILL MATERIAL FOR THE EMBANKMENT SHALL BE MINERAL SOIL, FREE OF ROOTS, WOODY VEGETATION, OVERRSIZED ROCKS OR OTHER OBJECTIONABLE MATERIAL. RELATIVELY PEROUS MATERIAL SUCH AS SAND OR GRAVEL (UNIFIED SOIL CLASSES GW, GP, SW AND SP) OR ORGANIC MATERIALS (UNIFIED SOIL CLASSES OL AND OH) SHALL NOT BE PLACED IN THE EMBANKMENT.

9. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION OF 10 PERCENT HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETLEMENT IF COMPACTION IS OBTAINED WITH HAULING EQUIPMENT. IF COMPACTION IS OBTAINED THROUGH THE USE OF COMPACTORS, THE OVER BULK MUST BE REDUCED TO NOT LESS THAN 5% PERCENT.

10. FOLLOWING COMPLETION OF THE FINAL GRADE, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAG OR EQUIPMENT GRADING EQUIPMENT.

11. IF AN INSUFFICIENT AMOUNT OF APPROPRIATE SOILS, AS SPECIFIED IN THESE SPECIFICATIONS, TO CONSTRUCT THE BASIN EMBANKMENT EXIST ON-SITE, CONTACT THE GEOTECHNICAL ENGINEER FOR AN APPROPRIATE SOLUTION.

12. ONCE BMP'S HAVE BEEN CONVERTED TO THEIR FINAL CONFIGURATION, CONTRIBUTING AREAS SHALL BE AT MINIMUM OF 70% STABILIZATION.

13. ONCE EMBANKMENTS TO BE INSPECTED BY THE TOWNSHIP ENGINEER.

14. BASIN EMBANKMENTS TO BE INSPECTED BY THE TOWNSHIP ENGINEER.

MAINTENANCE

1. CATCH BASINS AND INLETS (UPGRADE OF BASIN) SHALL BE INSPECTED AND CLEANED AT LEAST ONCE PER YEAR AND AFTER MAJOR RUNOFF EVENTS.
2. THE VEGETATION ALONG THE SURFACE OF THE BASIN SHALL BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
3. VEHICLES SHALL NOT BE PARKED OR DRIVEN ON AN EARTH, AND CARE SHALL BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
4. INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. MOSQUITOES SHALL NOT BE A PROBLEM IF THE WATER DRAINS IN 72 HOURS. MOSQUITOS REQUIRE A CONSIDERABLE LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
5. ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BASIN.
6. NOW ONLY APPROPRIATE FOR VEGETATION COVER SPECIES.
7. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. PROPERLY DISPOSE OF SEDIMENT.

MANAGED RELEASE CONCEPT (MRC) BMP'S SHALL FOLLOW AN ENHANCED OPERATION AND MAINTENANCE

1. UPGRADED CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED ANNUALLY, OR MORE OFTEN IF HISTORICAL MAINTENANCE RECORDS SUGGEST A MORE FREQUENT CLEANING.
2. THE VEGETATION (FOR THE MRC BMP AND CONTRIBUTING DRAGAGE AREA) SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
3. CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. ONLY AS APPROPRIATE FOR VEGETATION SPECIES.
4. INSPECT THE BASIN AND TIMES PER YEAR AFTER RUNOFF EVENTS OF GREATER THAN 0.8 INCH AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN THE DESIGN PARAMETERS (A LICENSED PROFESSIONAL ENGINEER SHOULD CLEARLY IDENTIFY WHAT THESE PARAMETERS ARE).
5. INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION, SIGNS OF WATER CONTAMINATION/SPILLS, AND INSTABILITY.
6. IF LEVEE FAILURES OCCUR, REPAIR THEM AS SOON AS POSSIBLE.
7. AS NEEDED, REMOVE ACCUMULATED SEDIMENT AS REQUIRED TO MAINTAIN THROUGH THE MRC'S SOIL MEDIA AND TO MAINTAIN WATER QUALITY FUNCTIONALITY. RESTORE ORIGINAL CROSS SECTION. PROPERLY DISPOSE OF SEDIMENT.
8. ALL MRC BMP COMPONENTS SHOULD BE MAINTAINED AS INDICATED IN THE STORMWATER BMP MANUAL.

VEGETATION

ERNST SEED MIX (ERNM-180) - RAIN GARDEN MIX (OR APPROVED EQUIVALENT)
SEEDING RATE: 20 LB PER ACRE WITH A COVER CROP OF GRAN RYE AT 30 LB PER ACRE

SPECIES LIST:

29. RIVER GRASS, PA/ECOTYPE BLEND (CHASMANTHUS LATIFOLIUM (UNIOLA LATIFOLIA), PA/ECOTYPE BLEND)

15. VIRGIN MILKWEED, PA/ECOTYPE (ELIMUS VIRGINICUS, PA/ECOTYPE)

10. RESTOP PANICGRASS, PA/ECOTYPE (PANICUM RIGIDULUM (P. STIPITATUM), PA/ECOTYPE)

33. BLACKED SUGAR, COASTAL PLAIN NC ECOTYPE (HIBISCUS MOSCHUTUS, NC/ECOTYPE)

3. OHIO SPIDERWORT, PA/ECOTYPE (TRADESCANTIA OHENSIENSIS, PA/ECOTYPE)

23. SMOOTH SPIDERWORT, PLAIN NC ECOTYPE (TRADESCANTIA PELLITERA, NC/ECOTYPE)

25. TALL WHITE BEARDTONGUE, PA/ECOTYPE (PENSTEMON DIGITALIS, PA/ECOTYPE)

2. LANCELEAF CORIOPERSIS, PLAIN NC ECOTYPE (CORIOPERSIS LANCEOLATA, COASTAL PLAIN NC ECOTYPE)

24. CREEPING JEWELWEED, COASTAL PLAIN NC ECOTYPE (IMPATIENS CAPILLARIS, NC/ECOTYPE)

25. OXYEYE SUNFLOWER, PA/ECOTYPE (HELIOPSIS HELIANTHEOIDES, PA/ECOTYPE)

25. AUTUMN BENNETT, PA/ECOTYPE (AGROSTIS PERENNIS, PA/ECOTYPE)

1. WILD Senna, VA & W/ ECOTYPE (SENEA HEICECARPA (CASSIA J.), VA & W/ ECOTYPE)

12. WILD SWEET VIOLET, SOUTHERN VA/ECOTYPE (BAPTISIA AURICULATA, SOUTHERN VA/ECOTYPE)

TOTAL: 100%

EMBANKMENT CONSTRUCTION/COMPACTON NOTES

1. EXCAVATE AND CONSTRUCT SEGMENT BASIN. REFERENCE SEGMENT

2. PERIMETER LINES AND KEY TRENCHES.

3. INSTALL OUTLET STRUCTURES, RIPRAP, AND RAP OUTLETS, ETC.

4. PLACE WOODEN CLEAN OUT STAKE IN BASIN AND STABILIZE AS SHOWN ON THE PLANS.

5. INSTALLATION SHALL BE PLANNED AND CONDUCTED IN A MANNER TO ENSURE THAT THE EMBANKMENT IS NOT COMPACTED UNTIL THE EMBANKMENT IS STABILIZED.

6. ALL EMBANKMENT EMBANKMENTS SHALL BE PLACED AT A MAXIMUM OF EIGHT-INCH LIFTS TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS ESTABLISHED BY ASTM D-157. PRIOR TO PROCEEDING TO THE NEXT LIFT, THE COMPACTOR SHALL BE CHECKED BY THE TOWNSHIP ENGINEER OR THE SOILS ENGINEER. THE DEVELOPER'S CONSTRUCTION SUPERVISOR SHALL HAVE THE SERVICES OF A QUALIFIED LABORATORY TECHNICIAN TO CONDUCT COMPACTION TESTS ON THE LEADING AND THE FOLLOWING ELEVATION OF THE EMBANKMENT ALONG WITH THE TOP OF EMBANKMENT. ALL TESTS SHALL BE FURNISHED TO THE TOWNSHIP FOR REVIEW.

7. EMBANKMENT CONSTRUCTION/COMPACTON NOTES

1. KEY TRENCH TO EXTEND 4 FEET INTO UNDISTURBED SOIL.

2. IMPERVIOUS COAT ON KEY TRENCH W/ COMPACTED BACKFILL. UNIFIED SOILS TYPE CL-ML OR CL CLASSIFICATION OR APPROVED EQUIVALENT.

3. THE CONTRACTOR SHALL PROVE SOIL TESTING OR SOIL VERIFICATION FOR COAT TRENCH BACKFILL TO THE TOWNSHIP ENGINEER PRIOR TO CONSTRUCTING EMBANKMENT.

4. CORE TRENCH TOP ELEVATION SHALL BE SET AT OR ABOVE THE 25 YEAR WATER SURFACE ELEVATION.

5. THE CUT-OFF TRENCH SHALL BE EXCAVATED ALONG THE CENTERLINE OF THE EARTH FILL EMBANKMENT. THE MINIMUM DEPTH SHALL BE FOUR FEET. THE CUT-OFF TRENCH SHALL EXTEND UP BOTH SIDES TO THE 25 YEAR STORM SURFACE ELEVATION PROVIDED ON THE DETAIL (THIS SHEET). THE BOTTOM WIDTH SHALL BE FOUR (4) FEET, BUT WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTION EQUIPMENT.

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
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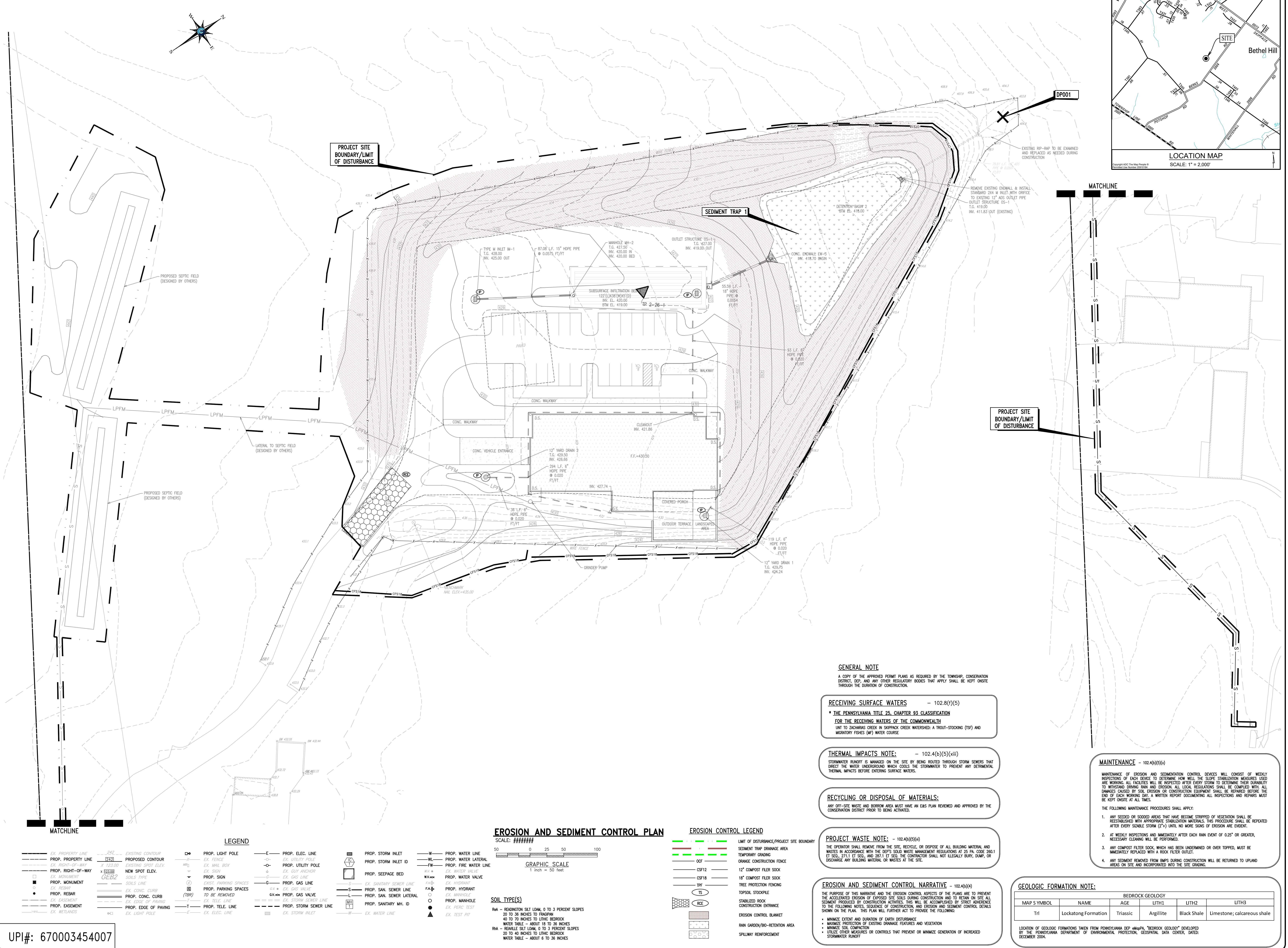
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EROSION AND SEDIMENT CONTROL PLAN

GRADING PERMIT

DATE:	03/10/2025
SCALE:	1"=30'
DRAWN BY:	NAR
CHECKED BY:	JSR
PROJECT NO.:	4886
CAD FILE:	EROSION AND SEDIMENT CONTROL PLAN.dwg
PLOTTED:	03/10/2025
DRAWING NO.:	C06.1
SHEET	11 OF 18



DESCRIPTION

REF. DATE

DATE

SCALE

DRAWN BY

CHECKED BY

PROJECT NO.

CAD FILE

PLOTTED

DRAWING NO.

03/10/2025

N.T.S.

NAR

JSR

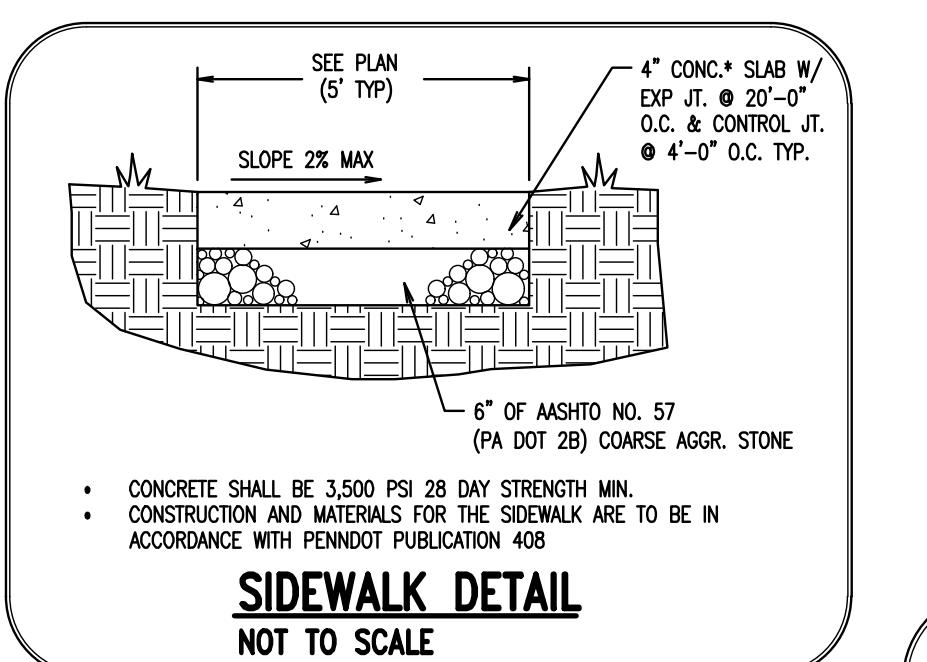
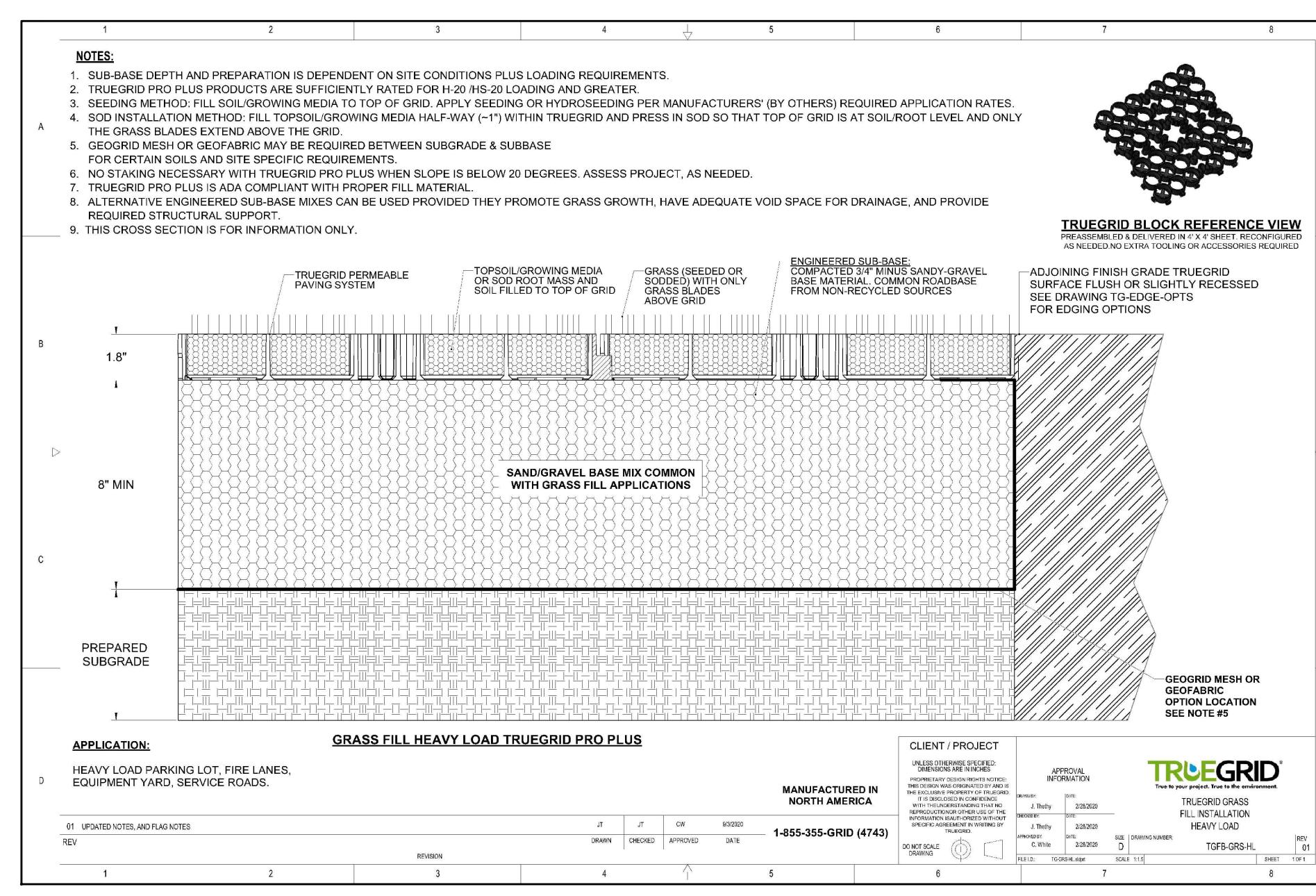
4886

4 CONSTRUCTION DETAILS.dwg

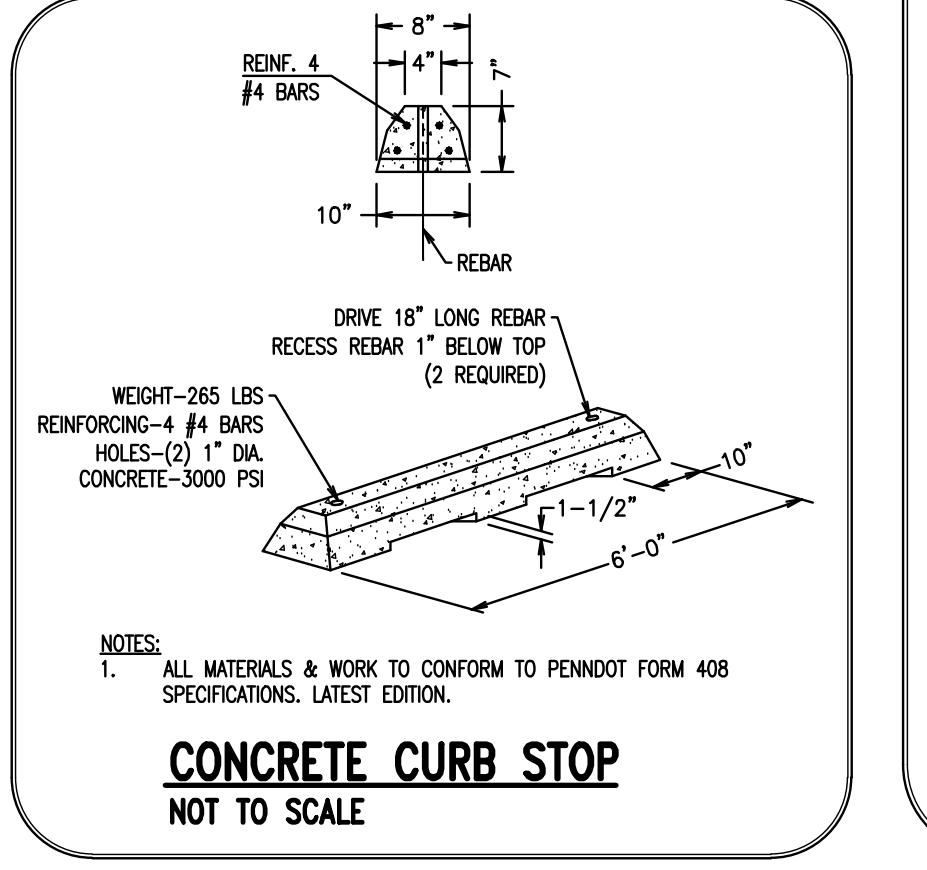
03/10/2025

C07.1

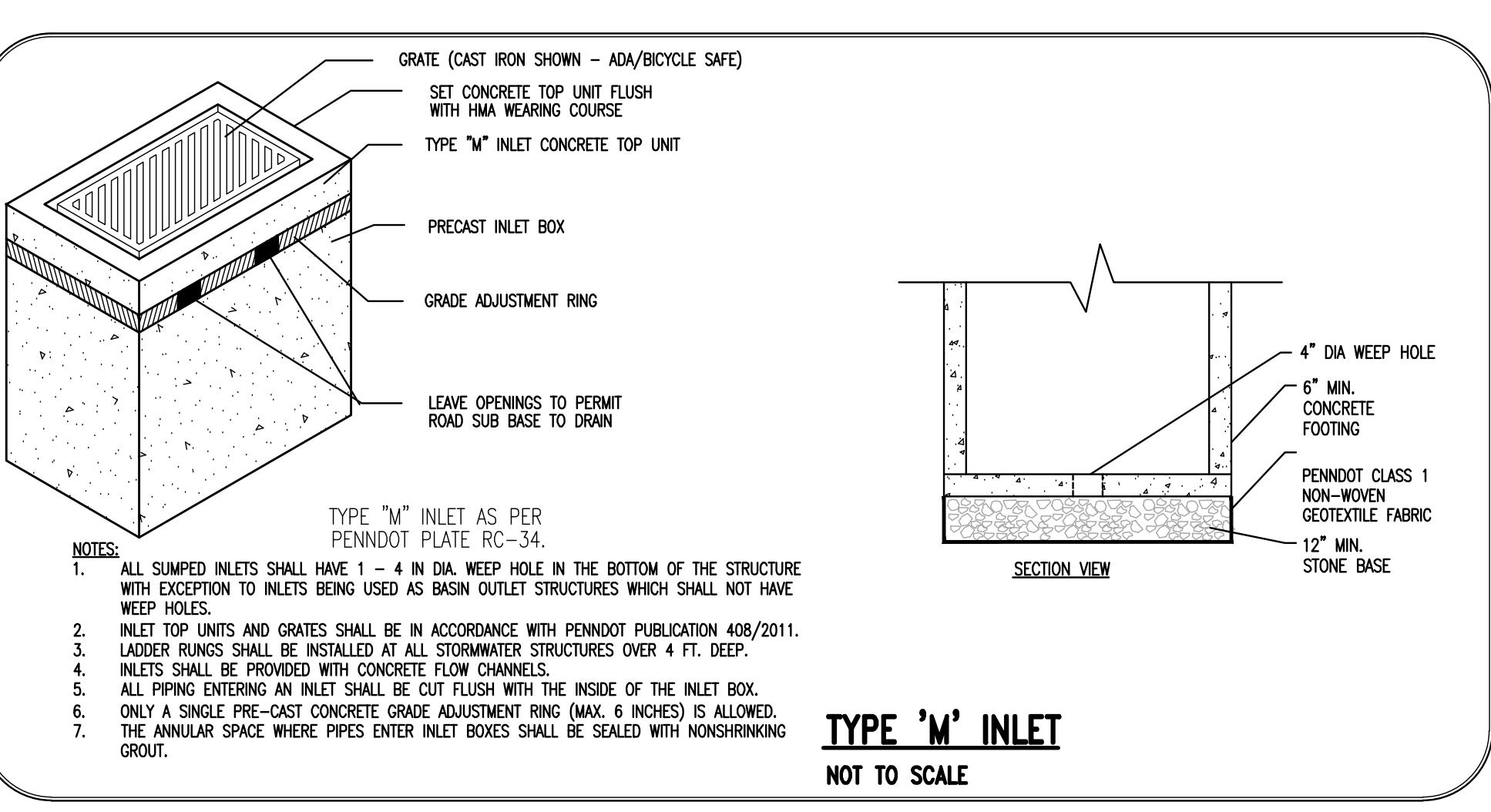
14 of 18



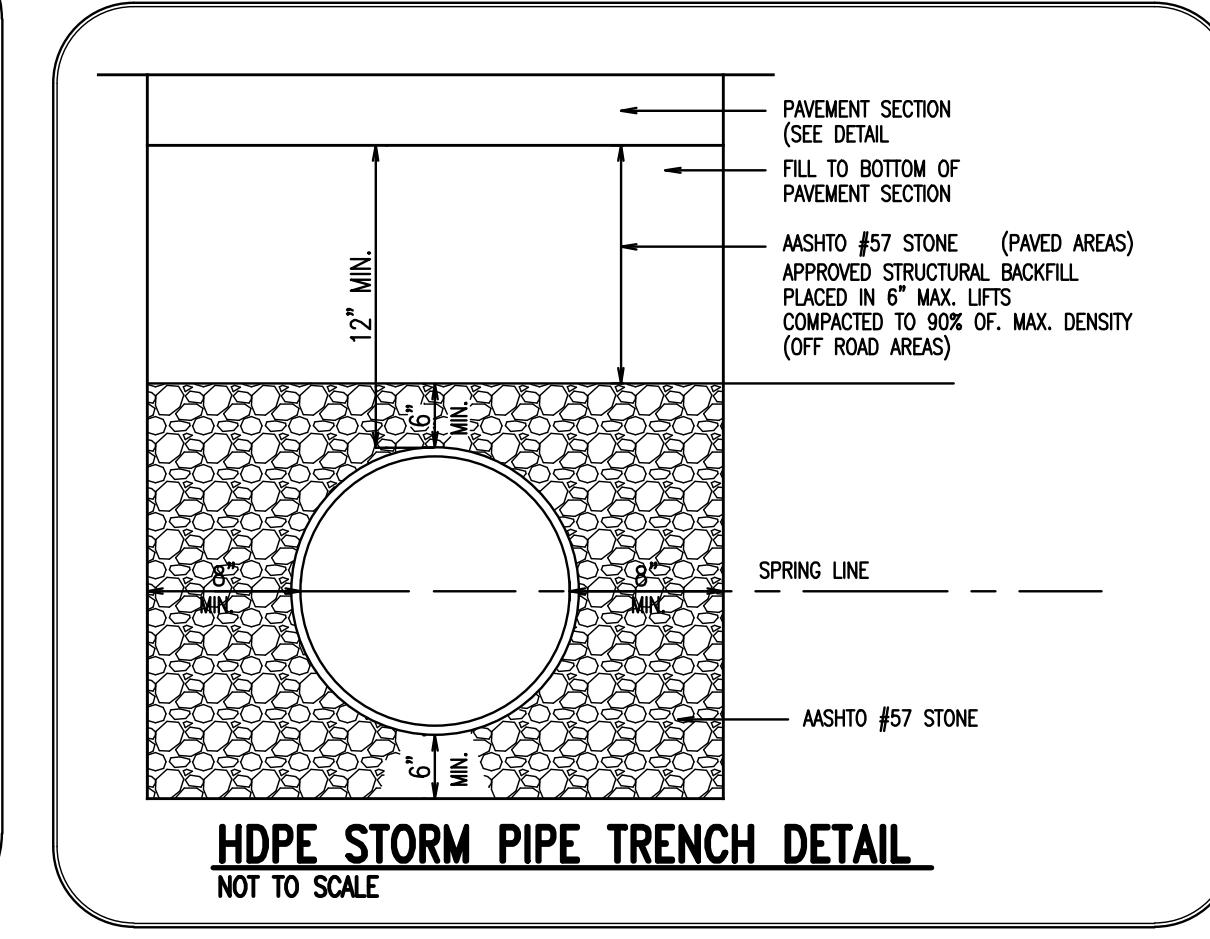
SIDEWALK DETAIL
NOT TO SCALE



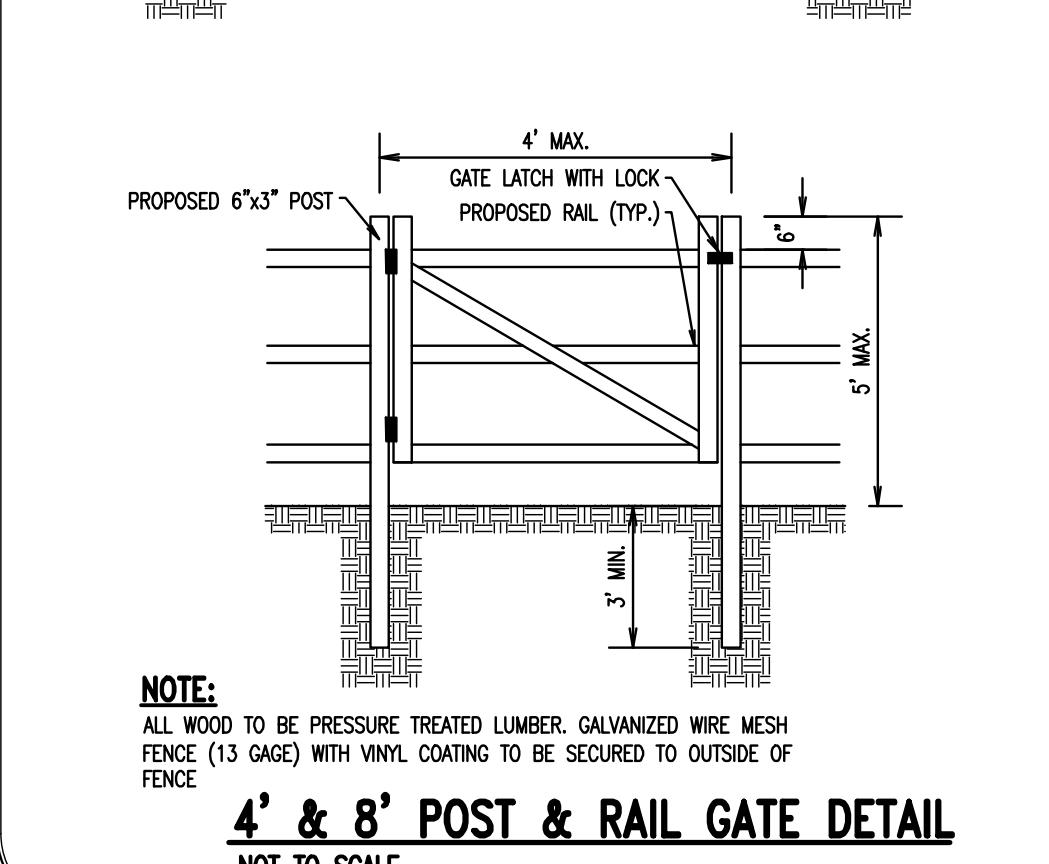
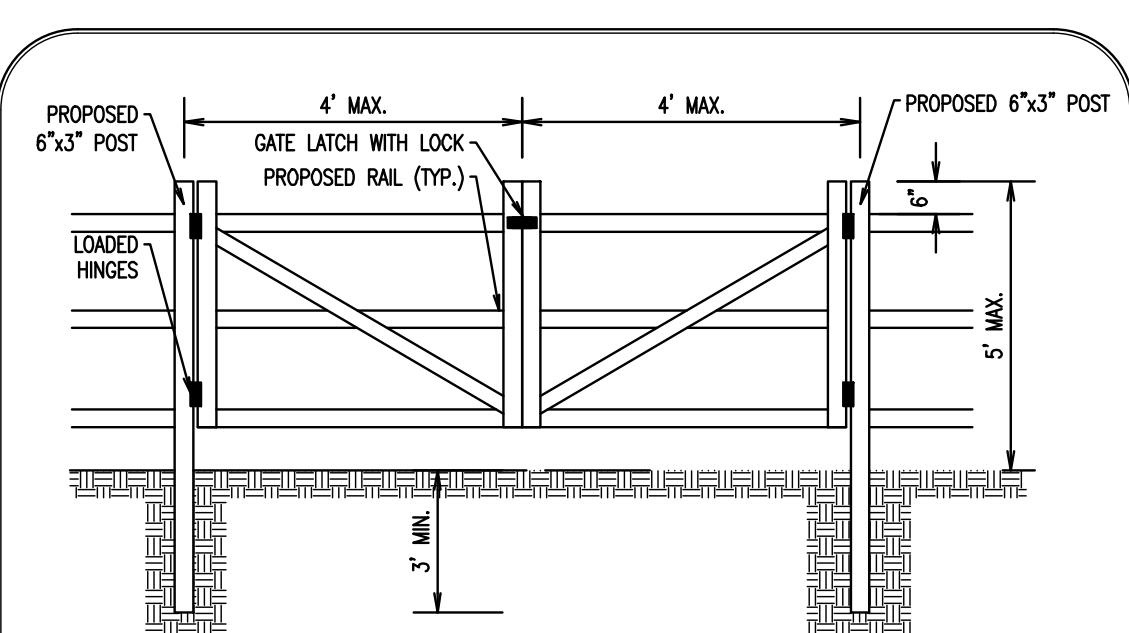
CONCRETE CURB STOP
NOT TO SCALE



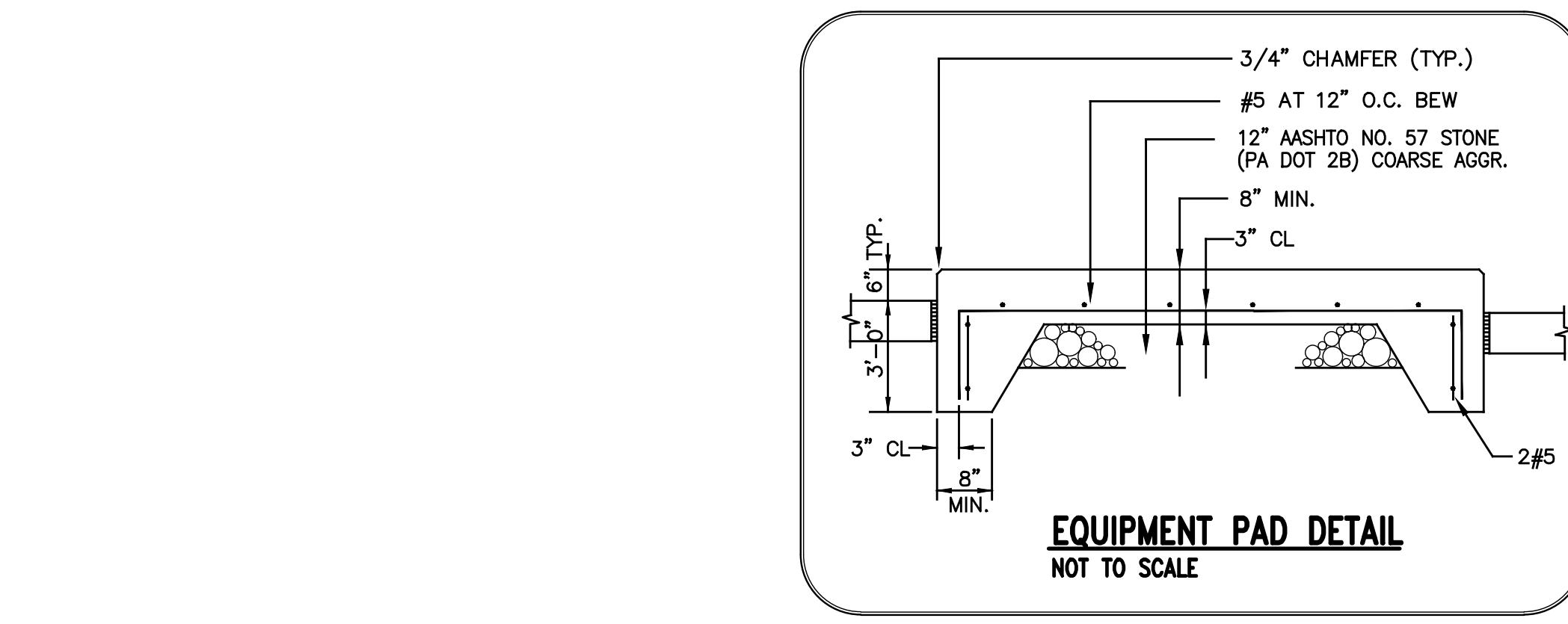
TYPE 'M' INLET
NOT TO SCALE



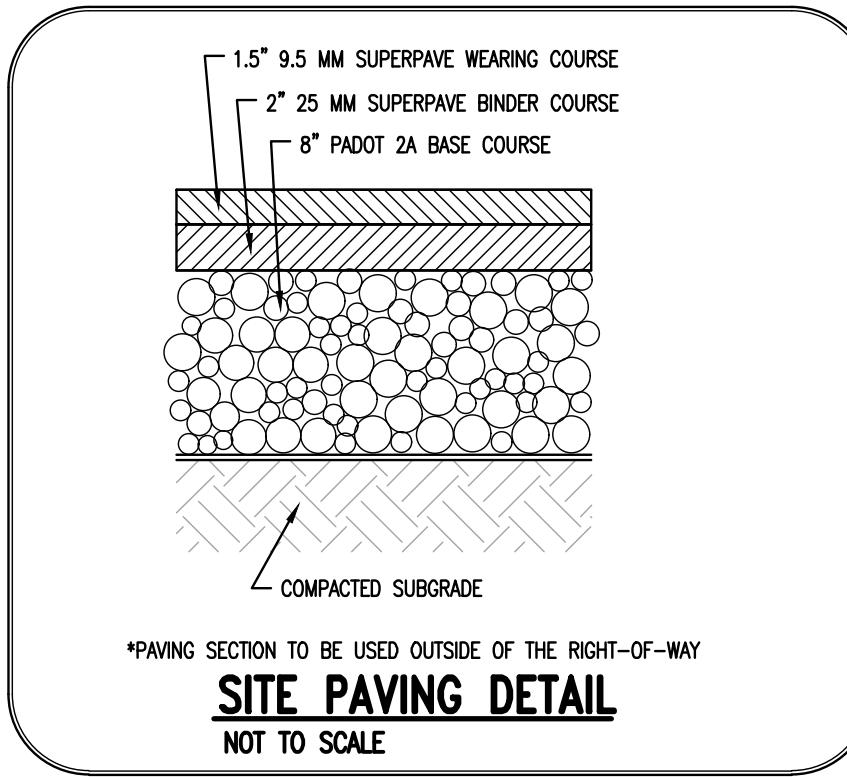
HOLE STORM PIPE TRENCH DETAIL
NOT TO SCALE



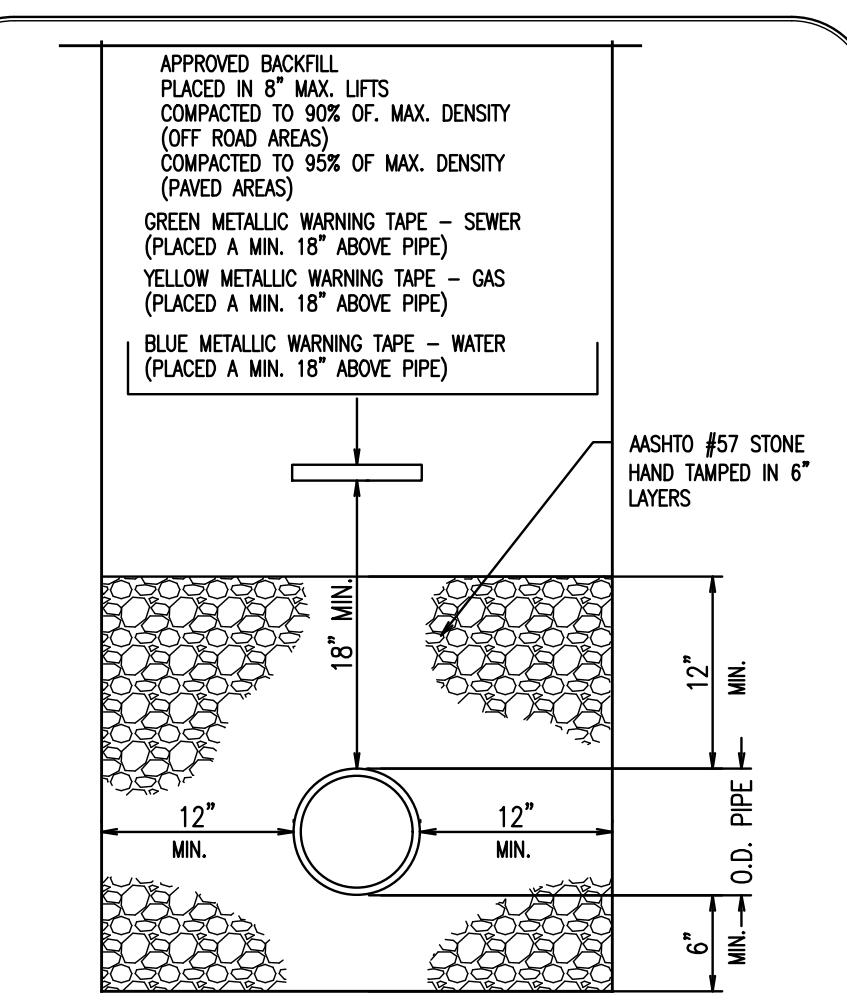
4' & 8' POST & RAIL GATE DETAIL
NOT TO SCALE



EQUIPMENT PAD DETAIL
NOT TO SCALE



SITE PAVING DETAIL
NOT TO SCALE



TYPICAL TRENCH DETAIL
NOT TO SCALE

GRADING PERMIT CONSTRUCTION DETAILS

CLIENT: A ROSS MYERS EQUIPMENT MUSEUM
PROJECT: 1805 BIRKS ROAD, WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA.
LOCATION: 1805 BIRKS ROAD, WORCESTER TOWNSHIP, MONTGOMERY COUNTY, PA.

DATE

SCALE

DRAWN BY

CHECKED BY

PROJECT NO.

CAD FILE

PLOTTED

DRAWING NO.

03/10/2025

N.T.S.

NAR

JSR

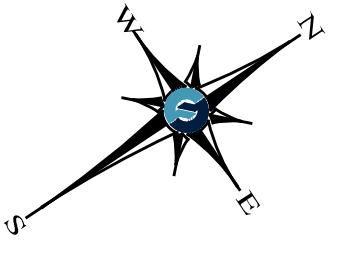
4886

4 CONSTRUCTION DETAILS.dwg

03/10/2025

C07.1

14 of 18



N/L LANDS OF
A. ROSS MYERS
PARCEL #670000286007
DEED BOOK 4775, PAGE 517

LEGEND

EX. PROPERTY LINE	242	EXISTING CONTOUR	PROPO. LIGHT POLE	E	PROPO. ELEC. LINE	PROP. STORM INLET	W	PROP. WATER LINE
PROP. PROPERTY LINE	[242]	PROPOSED CONTOUR	X	EX. FENCE	O	EX. UTILITY POLE	WL	PROP. WATER LATE
EX. RIGHT-OF-WAY	X 123.00	EXISTING SPOT ELEV.	MB	EX. MAIL BOX	O	PROP. UTILITY POLE	FW	PROP. FIRE WATER
PROP. RIGHT-OF-WAY	X 123.00	NEW SPOT ELEV.	○	EX. SIGN	◎	EX. GUY ANCHOR	W.V. ●	EX. WATER VALVE
EX. MONUMENT	GEB2	SOILS TYPE	■	PROP. SIGN	G	EX. GAS LINE	W.V.♦	PROP. WATER VALV
PROP. MONUMENT		SOILS LINE	④	EXIST. PARKING SPACES	G	PROP. GAS LINE		
EX. REBAR		EX. CONC. CURB	④	PROP. PARKING SPACES	G.V. ●	EX. GAS VALVE	F.H.☒	EX. HYDRANT
PROP. REBAR		PROP. CONC. CURB	(TBR)	TO BE REMOVED	G.V.♦	PROP. GAS VALVE	F.H.☒	PROP. HYDRANT
EX. EASEMENT		EX. EDGE OF PAVING	T	EX. TELE. LINE	====	EX. STORM SEWER LINE	○	EX. MANHOLE
PROP. EASEMENT		PROP. EDGE OF PAVING	T	PROP. TELE. LINE	-----	PROP. STORM SEWER LINE	○	PROP. MANHOLE
EX. WETLANDS	○□	EX. LIGHT POLE	E	EX. ELEC. LINE	■	EX. STORM INLET	●	EX. PERC TEST

TRUCK TURNING PLANS

SCALE: 1"=30'

30 0 15 30

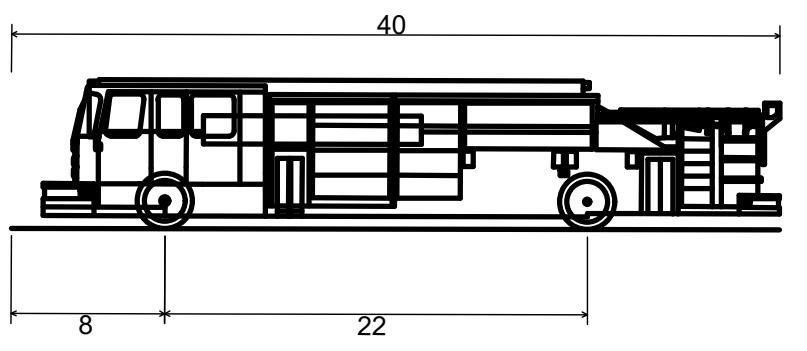
GRAPHIC SCALE

1 inch = 30 feet

lper Fire Truck
erall Length
erall Width
erall Body Height
n Body Ground Clearance
ack Width
ck-to-lock time
x Wheel Angle

DATE: _____
SCALE: _____
DRAWN BY: _____
CHECKED BY: _____
PROJECT NO.: _____
CAD FILE: 15 TRUCK
PLOTTED: 03

GRADING PERMIT
TRUCK TURNING PLAN
EQUIPMENT MUSEUM
AD



DATE: 03/10/2025
SCALE: 1"=30'
DRAWN BY: NAR
CHECKED BY: JSR
PROJECT NO.: 4886
CAD FILE: 15 TRUCK TURNING PLAN.dwg
PLOTTED: 03/10/2025

SHEET 15 OF 18

REAR YARDS

EAST SIDE YARD

EAST SIDE YARD

N/L LANDS OF
A. ROSS MYERS
PARCEL #670000286007
DEED BOOK 4775, PAGE 517

LANDSCAPE PLAN

SCALE. 1-30

30 0 15 30

GRAPHIC SCALE

1 inch = 30 feet

EX. PROPERTY LINE	242	EXISTING CONTOUR	□	PROP. LIGHT POLE	E	PROP. ELEC. LINE	■	PROP. STORM INLET
PROP. PROPERTY LINE	242	PROPOSED CONTOUR	X	EX. FENCE	○	EX. UTILITY POLE	□	PROP. STORM INLET ID
EX. RIGHT-OF-WAY	X 123.00	EXISTING SPOT ELEV.	MB	EX. MAIL BOX	○	PROP. UTILITY POLE	IC	PROP. STORM INLET 1
PROP. RIGHT-OF-WAY	X 123.00	NEW SPOT ELEV.	—	EX. SIGN	◊	EX. GUY ANCHOR	■	PROP. SEEPAGE BED
□	EX. MONUMENT	SOILS TYPE	—	PROP. SIGN	G	EX. GAS LINE	S	EX. SANITARY SEWER LINE
■	PROP. MONUMENT	SOILS LINE	④	EXIST. PARKING SPACES	G	PROP. GAS LINE	S	PROP. SAN. SEWER LINE
○	EX. REBAR	EX. CONC. CURB	④	PROP. PARKING SPACES	G.V.	EX. GAS VALVE	L	PROP. SAN. SEWER LATER.
●	PROP. REBAR	PROP. CONC. CURB	(TBR)	TO BE REMOVED	G.V. □	PROP. GAS VALVE	MH	PROP. SANITARY MH. ID
—	EX. EASEMENT	EX. EDGE OF PAVING	T	EX. TELE. LINE	====	EX. STORM SEWER LINE	1	
—	PROP. EASEMENT	PROP. EDGE OF PAVING	T	PROP. TELE. LINE	— — —	PROP. STORM SEWER LINE	W	EX. WATER LINE
W/W	EX. WETLANDS	EX. LIGHT POLE	E	EX. ELEC. LINE	■	EX. STORM INLET		

LEGEND

RED MAPLE (AR) RED CEDAR (JV) RED TWIG DOGWOOD (CS)
LONDON PLANE TREE (PA) SERVICE BERRY (AM) INKBERRY HOLLY (IG)
DOGWOOD (CF)

The legend consists of six entries, each with a circular symbol and a text label. The symbols are: a triangle inside a circle for Red Maple; a circle with a cross and a square in the center for London Plane Tree; a circle with a square inside for Dogwood; a circle with a square in the center and a cross through it for Red Cedar; a circle with two vertical lines inside for Service Berry; and a circle with a cross and a square in the center for Inkberry Holly.

DATE:	03/10/2025
SCALE:	1"=30'
DRAWN BY:	NAR
CHECKED BY:	JSR
PROJECT NO.:	4886
CAD FILE:	18 LANDSCAPE NOTES AND DETAILS.dwg
PLOTTED:	03/10/2025
DRAWING NO.:	C9.1
SHEET	17 of 18

September 2, 2025

Mr. Dan Demeno
Township Manager
Worcester Township
1721 Valley Forge Road
P.O. Box 767
Worcester, PA 19490

Attention: Christian R. Jones, Assistant Township Manager
Mr. Robert D'Hulster, Public Works Director

RE: **Traffic Review #1 – Waiver of Land Development Plans**
Allen Myers Equipment Museum – 1805 Berks Road (S.R. 3004)
Worcester Township, Montgomery County, PA
Project No. 313982-25-006

Dear Dan:

In response to the Township's request, Bowman Consulting Group (Bowman) has completed our initial traffic engineering review associated with the waiver of land development plans for the proposed site modifications to be located at 1805 Berks Road (S.R. 3004) in Worcester Township, Montgomery County, PA. It is our understanding that the proposed site modifications will consist of constructing an 11,884 square-foot construction equipment museum which will be utilized by schools and technical schools to learn the history of construction equipment. Access to the site will continue to be provided via the existing full-movement driveway along Berks Road (S.R. 3004).

The following document was reviewed in preparation of our comments:

- Waiver of Land Development Plans – Allen Meyers Legacy Equipment Museum, prepared by Howell Engineering, dated March 10, 2025.

Based on our review of the document listed above, Bowman offers the following comments for consideration by the Township and action by the applicant:

1. The ultimate right-of-way lines and cartway width along the Berks Road (S.R. 3004) site frontage should be clearly labeled on the plans and be in accordance with **Section 130-16.C** of the **Subdivision and Land Development Ordinance**.
2. A note must be added to the plans stating that the area between legal right-of-way line and ultimate right-of-way line along the Berks Road (S.R. 3004) site frontage should be offered for dedication to the authority having jurisdiction over the road as required by **Section 130-16.C(2)(c)** of the **Subdivision and Land Development Ordinance**.
3. Sight distance measurements should be shown on the plans for the existing driveway along Berks Road (S.R. 3004) as required by **Section 130-16.E(5)** of the **Subdivision and Land Development Ordinance**. Vehicular egress sight distances looking in both directions must be provided at the driveway location, as well as for the ingressing left-turn vehicle sight distance to the front and rear, and achievable sight distances must be sufficient for the speed and conditions to allow for all ingress and egress turning movements and the driveway location as it exists/is shown on the plans. Vegetation and physical

restrictions along the property frontage must be cleared and maintained to allow for at least the minimum safe stopping distances to be achieved at 10 feet back from the edge of the road.

4. According to **Section 130-18.A** of the **Subdivision and Land Development Ordinance**, sidewalk should be provided along the site frontage of Berks Road (S.R. 3004). The plans currently do not show any sidewalk along the Berks Road (S.R. 3004) site frontage, thereby not satisfying the ordinance requirement. Due to the site improvements being minor in nature, and since there is currently no sidewalk along either side of Berks Road (S.R. 3004) in the vicinity of the site, we recommend to the Board of Supervisors to consider deferring this obligation that is required of the applicant until such a time as may be required by the Township for these subdivided properties, whether under present or future land ownership, and at no cost to Worcester Township, or the Township may desire to consider a fee in lieu of sidewalk to be kept in escrow for future sidewalk installations in the Township and/or area of these properties.
5. According to **Section 130-18.B** of the **Subdivision and Land Development Ordinance**, curbing should be provided along the site frontage of Berks Road (S.R. 3004). The plans currently do not show any curbing along the Berks Road (S.R. 3004) site frontage, thereby not satisfying the ordinance requirement. Due to the site improvements being minor in nature, and since there is currently no curbing along either side of Berks Road (S.R. 3004) in the vicinity of the site, we recommend to the Board of Supervisors to consider deferring this obligation that is required of the applicant until such a time as may be required by the Township for these subdivided properties, whether under present or future land ownership, and at no cost to Worcester Township, or the Township may desire to consider a fee in lieu of curb to be kept in escrow for future curb installations in the Township and/or area of these properties.
6. According to **Section 150-153** of the **Zoning Ordinance**, one parking space per every three seats provided for assembly is the required amount of parking for the proposed site modifications. Based on a proposed 45 seats for assembly, the proposed site modifications require 15 parking spaces. The plans currently show 25 parking spaces, thereby satisfying the ordinance requirement.
7. The plans currently show two ADA parking spaces which satisfies current ADA parking requirements.
8. The Township Fire Marshal should review the proposed site modifications for the accessibility and circulation needs of emergency apparatus. Ensure that any correspondence, including any review comments and/or approvals, is included in subsequent submissions.
9. The applicant's engineer should provide information on the purpose of the 25-foot paved opening on the northern end of the parking area on the western side of the museum.
10. Turning movements for the proposed one-way shuttle loops should be provided on the plans. Also, since the narrative for the museum mentions catering to schools, turning templates for a traditional school bus should also be shown.
11. ADA ramps should be shown on the plans in the immediate vicinity of the two ADA parking spaces on the western side of the museum.
12. We recommend that counterclockwise circulation be provided in the proposed one-way shuttle/bus loop, therefore, the following signs should be added to the plans:
 - "One-Way" signs should be provided at the beginning of the eastern end of this one-way loop.
 - "Do Not Enter" signs should be provided at the western end of this one-way loop facing the main drive aisle.

13. A "Stop" sign and stop bar should be shown on the plans at the following locations:
 - On the southbound approach of the drive aisle leading to/from the southern side of the museum at its intersection with the main drive aisle.
 - On the southbound approach of the western one-way drive aisle in the shuttle loop area at its intersection with the main drive aisle.
14. According to the Township's Roadway Sufficiency Analysis, the proposed development is located in Transportation Service Area South, which has a corresponding impact fee of \$3,125 per "new" weekday afternoon peak hour trip and the applicant will be required to pay a Transportation Impact Fee in accordance with the Township's Transportation Impact Fee Ordinance. In order to determine if any applicable transportation impact fee for this project, the applicant should provide a narrative on additional operational details on the museum (i.e., specifically providing what times of the day schools/technical schools are expected to visit the museum (entering and exiting), when the meeting/training space will be used by employees already on site what weekday hours it will be open to visitors/public to use, and if this building space will result in additional employees on-site, etc.). Once this information is provided to our office, we will determine trip generation rates that may be applicable to advise the Township on our review and recommendation on a transportation impact fee for this new development project.
15. Since Berks Road (S.R. 3004) is a State roadway, a Highway Occupancy Permit (HOP) from PennDOT is required for any modifications to the site frontage within the legal right-of-way along Berks Road (S.R. 3004). The Township and our office must be copied on all applications, plan submissions, and correspondence between the applicant and PennDOT and be invited to any and all meetings between these parties.
16. Based on our review, the applicant should address the aforementioned comments and provide revised plans to the Township and our office for further review and approval recommendations. **The applicant's engineer must provide a response letter that describes how each specific review comment has been addressed, where each can be found in the plan set or materials, as opposed to general responses.** This will aid in detailed review and subsequent review timeframes.

We trust that this review letter responds to your request. If you or the Township have any questions, or require clarification, please contact me, Brian Jones, PTP, TOPS, or Anton Kuhner, P.E.

Sincerely,



Michelle Eve, P.E
Assistant Project Manager, Transportation

BMJ/MEE/AKK

cc: John Evarts, P.E., CKS Engineers (Township Engineer)
Devin Ralph, Esq. (Township Solicitor)
Mirlene Saintval, PennDOT District 6-0
Ed Mullin, Esq., HRMM & L (Applicant's Attorney)
Denny Howell, P.E., Howell Engineering (Applicant's Engineer)



November 7, 2025

Worcester Township Board of Supervisors
Worcester Township, Montgomery County
1721 South Valley Forge Road
Worcester, PA 19490

Re: Waiver of Land Development Request Letter
Captain Carwash
3008 W. Germantown Pike
Norristown, PA 19403

WKNAPEX No.: 2025575

Dear Board of Supervisors,

In conjunction with the Grading Plan application for Captain Carwash, the applicant, Tom DePaul, is requesting a waiver of Land Development (Chapter 130 of the Township of Worcester Ordinance)

The project proposes the addition of five (5) parking spots with five (5) vacuum pumps at the southern end of the lot and the relocation of one (1) flagpole, totaling 1,175 square feet of proposed impervious. No further improvements are proposed. The proposed grading dictates that all runoff from the new impervious surface will be captured by the existing on site stormwater management systems.

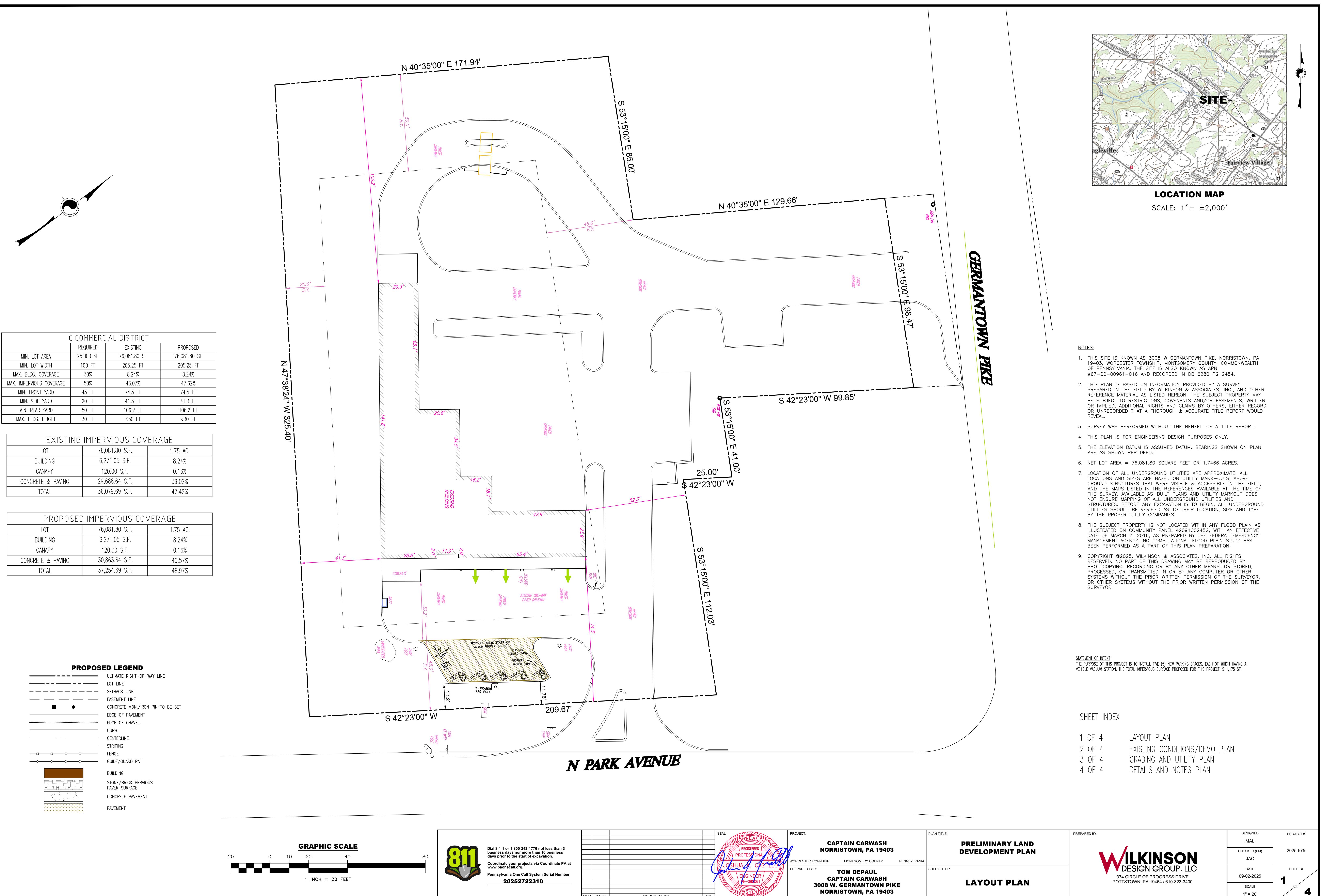
Furthermore, if this waiver request is accepted by the Board of Supervisors, the proposed improvements would meet the Worcester Township criteria for a Stormwater Management Exemption found in §129-5.B.(1) (project will not be proposed in conjunction with a subdivision or land development and installing 1,200 square feet or less of cumulative impervious). The site is currently being used as a car wash, already containing eleven (11) vacuum pump stations, and no change of use is being proposed. Therefore, we believe going through the Land Development process is an unnecessary hardship for the proposed improvements.

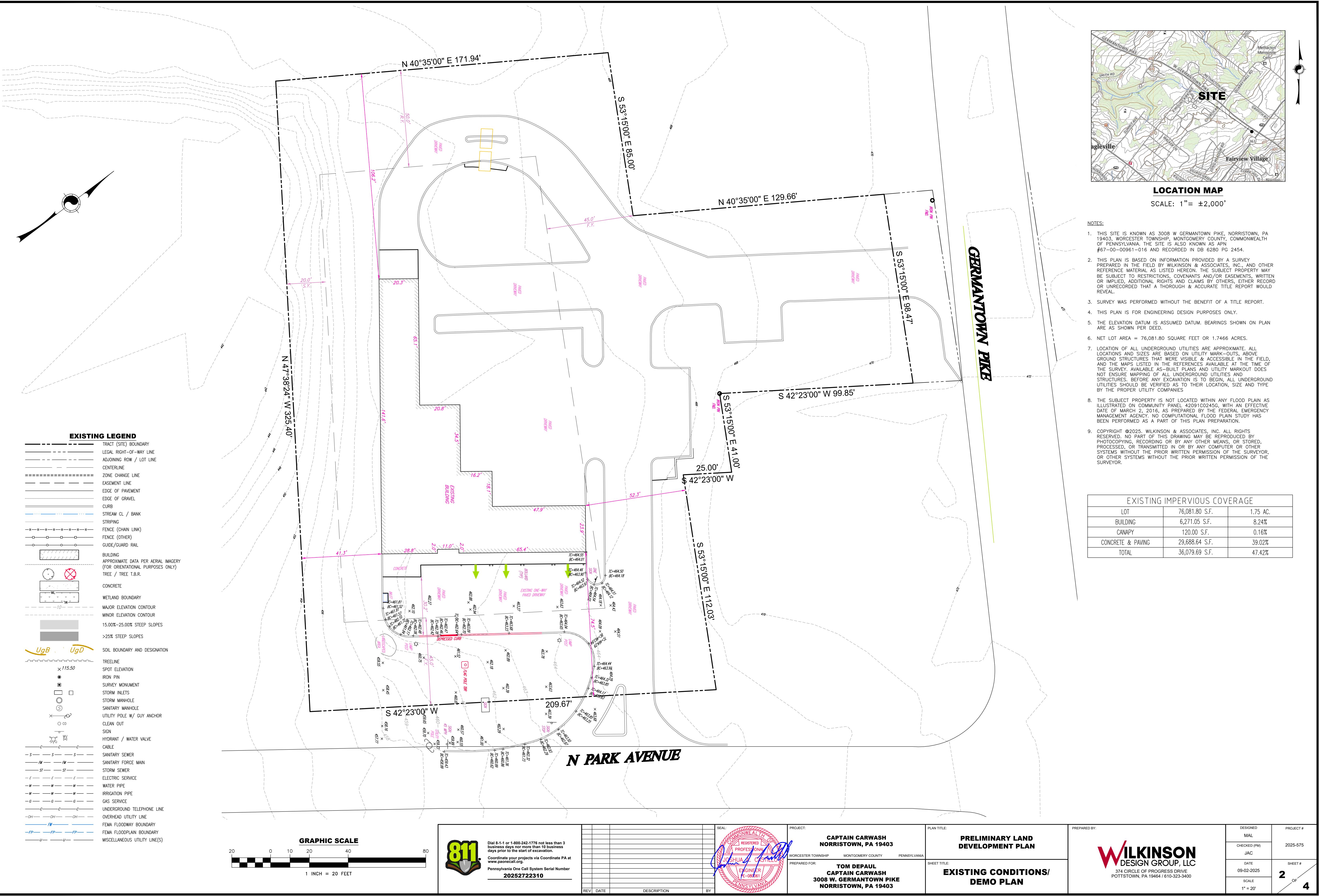
Please see the proposed plans for supporting information regarding this waiver request. Should you have any questions regarding the project, do not hesitate to contact me at this office. Thank you for your assistance in this matter.

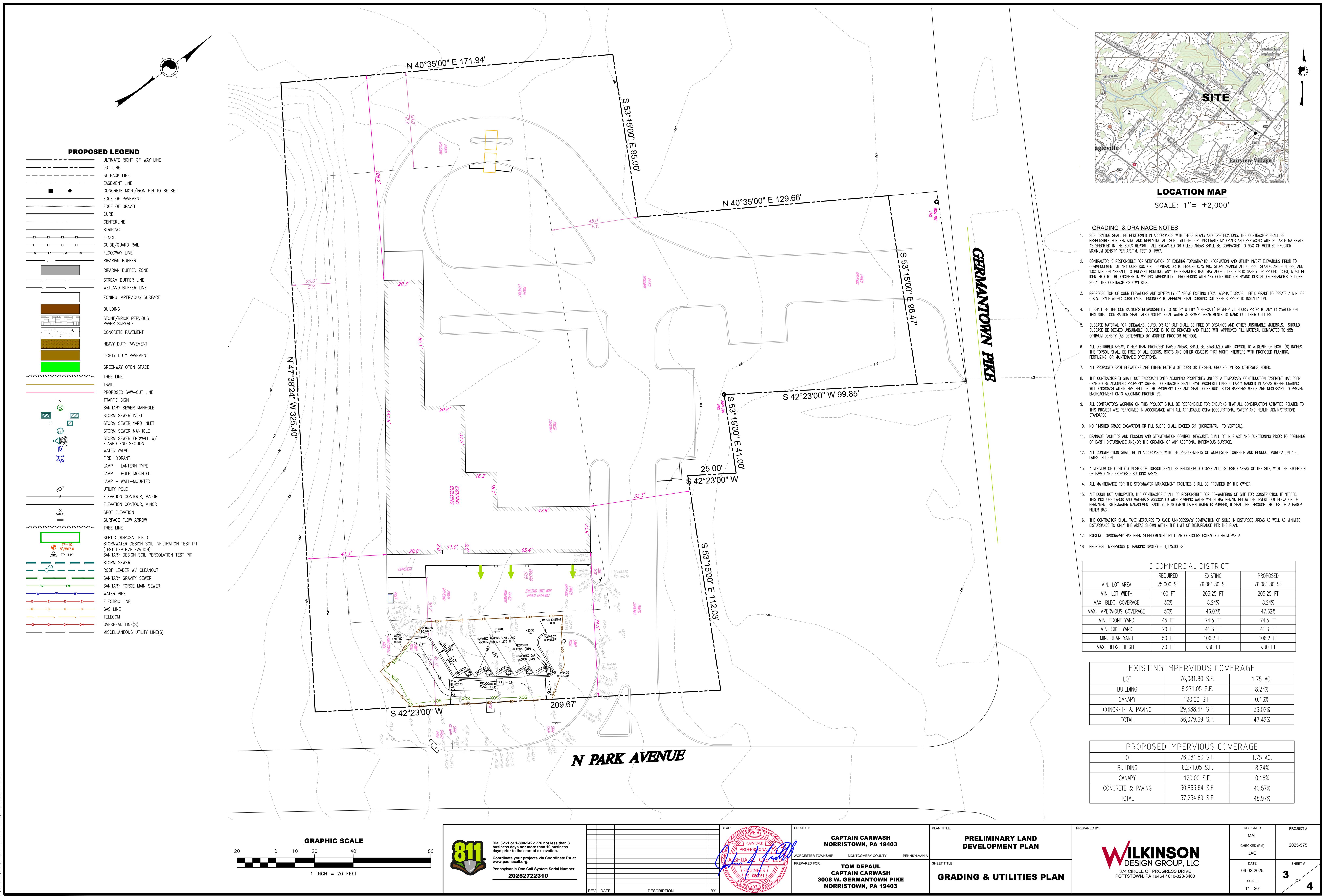
Sincerely,
Wilkinson Design Group, LLC

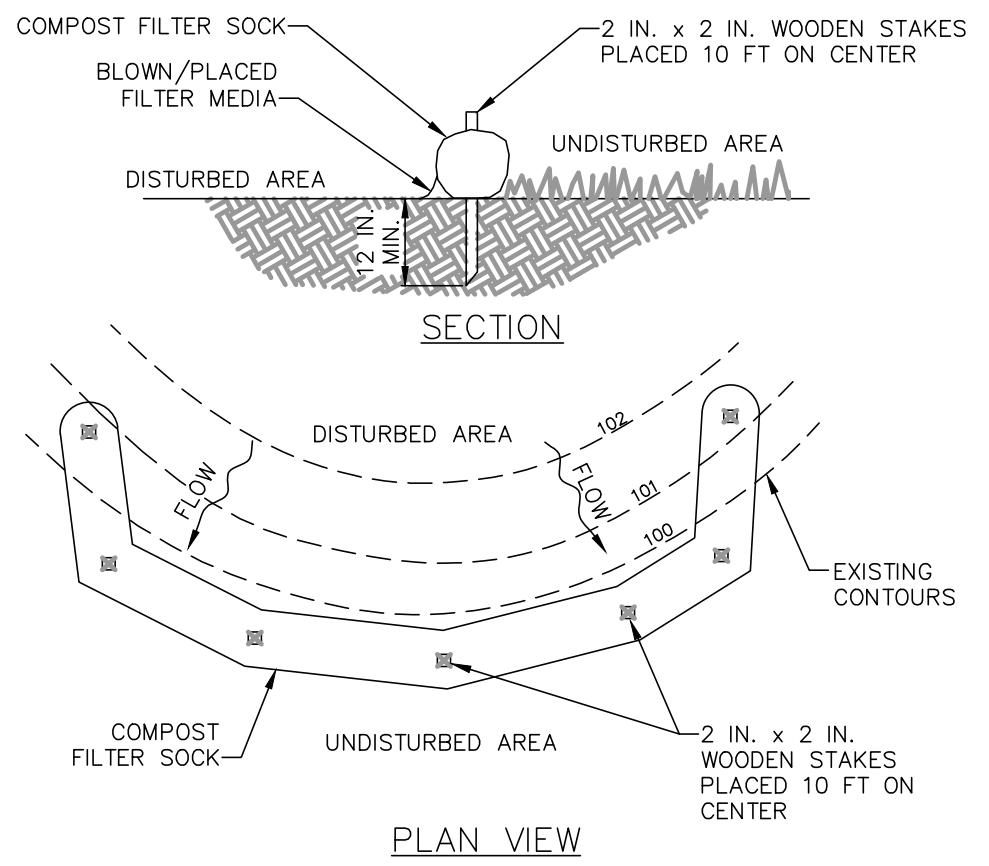
A handwritten signature in black ink, appearing to read 'Joshua A. Castillo, P.E.'

Joshua A. Castillo, P.E.
Principal Engineer









NOTES:
SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCK.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

NOT TO SCALE

SEQUENCE OF CONSTRUCTION:

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED, UNLESS NOTED OTHERWISE. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 7 DAYS PRIOR TO START OF WORK OR EARTH DISTURBANCE ACTIVITIES, A PRE-CONSTRUCTION MEETING SHALL BE HELD INCLUDING THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, COUNTY CONSERVATION DISTRICT (IF REQUIRED) AND THE PLAN DESIGNER.

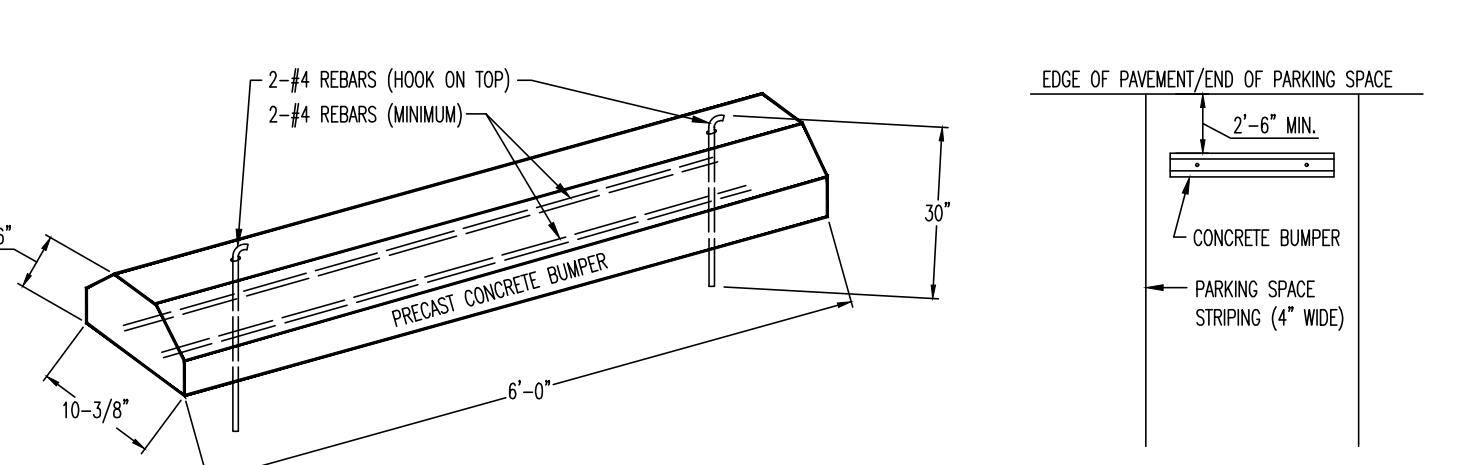
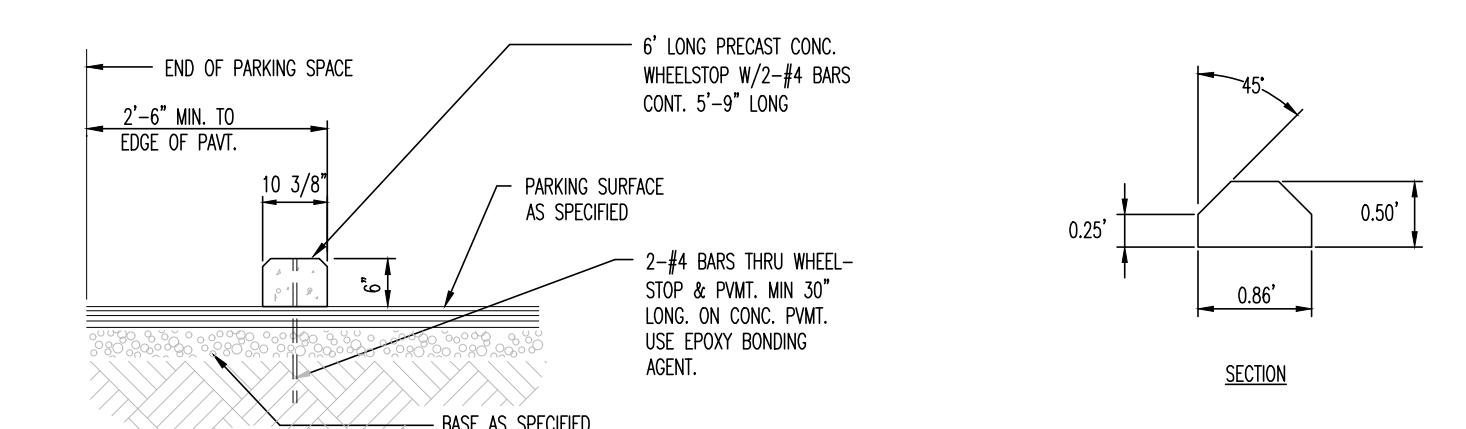
1. INSTALL COMPOST SOCK, INLET PROTECTION AND TREE PROTECTION FENCE(S) AS NECESSARY AND WHERE INDICATED ON THE PLANS AND ESTABLISH THE LIMITS OF DISTURBANCE.
2. SAVVY CLOUDS, DEMO AND REMOVED EXISTING CURB IN THE WORK AREA FOR PROPOSED PARKING/VACUUM STATION AREA.
3. RELOCATE THE FLAG POLE AS SHOWN ON THE PLAN.
4. EXCAVATE WORK AREA AND INSTALL POWER LINE TO PROPOSED PARKING/VACUUM STATION AREA.
5. INSTALL SUBBASE STONE, INSTANT BITUMINOUS CONCRETE BASE COURSE (BCBC).
6. INSTALL TOPSOIL AND VARIOUS BMP'S AS SHOWN ON THE PLAN.
7. FINISH GRADE LAWN AREAS, AS LAWN AREAS ARE BROUGHT TO GRADE, ALL VEGETATED AREAS SHALL BE STABILIZED WITH SEED AND MULCH IMMEDIATELY.
8. AFTER THE SITE HAS BEEN STABILIZED TO THE SATISFACTION OF THE TOWNSHIP AND DESIGN ENGINEER, ALL TEMPORARY E&S CONTROLS SHALL BE REMOVED.
9. ALL EARTH DISTURBANCE ACTIVITIES SHALL BE REMOVED.
10. STABILIZATION SHALL BE CONSIDERED THE PLACEMENT OF BASE COURSE IN PAVED AREAS OR BY 75% OR MORE VEGETATION UNIFORM COVERAGE, IN LAWN AREAS OR BY OTHER PERMANENT MEANS WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
11. AREAS DISTURBED DURING THE REMOVAL OF BMP'S SHALL BE STABILIZED IMMEDIATELY.

STANDARD E&SC PLAN NOTES

THE FOLLOWING STANDARD E&SC PLAN NOTES ARE TAKEN FROM THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL. ANY STANDARD E&SC PLAN NOTES NOT FOUND IN THIS SECTION ARE LOCATED ON THIS SHEET IN THE SECTION DEEMED MOST APPROPRIATE BY THE DESIGN ENGINEER:

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&SC PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT NO TIME SHALL CONSTRUCTION ACTIVITIES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2H:1V OR FLATTER.
4. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BMP'S TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF DEP.
5. THE PROPERTY OWNER IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. SEE NDPEP PERMIT NOTES, NOTE 6, FOR FURTHER INSTRUCTIONS.
6. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A DIRTBAR FILTERATION DEVICE OR EQUIVALENT SEDIMENT REMOVAL FACILITY. DISCHARGE POINTS SHOULD PROVIDE FOR MAXIMUM STANCE TO ACTIVE WATERWAYS.
7. VEHICLES AND EQUIPMENT MAY NEITHER ENTER NOR EXIT DIRECTLY FROM ANY AREAS NOT DESIGNATED AS A CONSTRUCTION ENTRANCE AND/OR THAT ARE NOT LOCATED WITHIN THE APPROVED LIMIT OF DISTURBANCE.
8. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THE PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
9. E&SC BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR DEP.
10. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR A FINAL INSPECTION.
11. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&SC BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT BMP'S. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMP'S MUST BE STABILIZED IMMEDIATELY IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS SHOULD BE DONE ONLY DURING THE GERMINATING SEASON.
12. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.

13. FAILURE TO CORRECTLY INSTALL E&SC BMP'S, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&SC BMP'S MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.



CONCRETE WHEEL STOP DETAIL

NO SCALE

SEEDING, TEMPORARY AND PERMANENT

a) TEMPORARY SEEDING SHALL BE PERFORMED ON ALL DISTURBED SOIL AREAS WITHIN IMMEDIATELY AFTER THE END OF THE GROWING SEASON, AND ON ALL DISTURBED SOIL AREAS IN WHICH ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED. MINIMUM SPECIFICATIONS ARE AS FOLLOWS:

- SPRING AND SUMMER SEEDING: 100% ANNUAL RYEGRASS (LIMUM MULTIFLORUM) [98% PURITY, 90% GERMINATION, APPLIED AT 48 LBS/ACRE.]
- FALL SEEDING: WINTER RYE (TETRA PETRUS) [98% PURITY, 85% GERMINATION, APPLIED AT 168 LBS/ACRE.]

b) PERMANENT SEEDING BE PERFORMED ON ALL DISTURBED SOIL AREAS THAT ARE AT FINISHED GRADE, AND ALL DISTURBED SOIL AREAS THAT WILL NOT BE DISTURBED WITHIN ONE YEAR. MINIMUM SPECIFICATIONS ARE AS FOLLOWS:

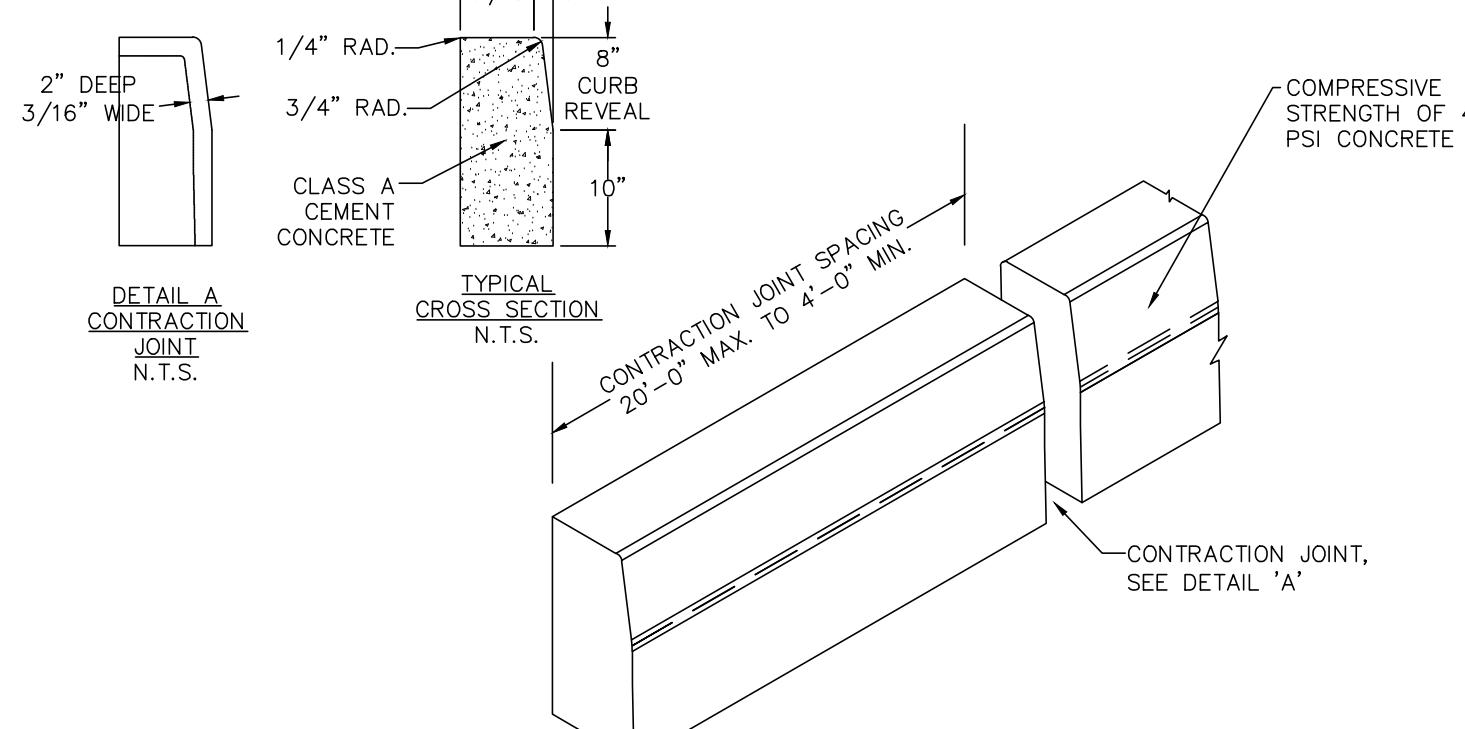
- MOWED AREAS:
 - 20% ANNUAL RYEGRASS MIXTURE (LIMUM PERENNIE), A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 50% OF THE TOTAL, 98% PURITY, 90% GERMINATION, APPLIED AT 20 LBS/ACRE.
 - 30% PENNINIAN RED FESCUE [98% PURITY, 85% GERMINATION, APPLIED AT 30 LBS/ACRE]
 - 50% KENTUCKY BLUEGRASS MIXTURE (POA PRATENSIS), A MIXTURE OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 25% OF THE TOTAL, 98% PURITY, 80% GERMINATION, APPLIED AT 55 LBS/ACRE.] OR APPROVED EQUIVALENT.
- FULL SUN NON-MOWED MEADOW AREAS:
 - ERNST CONSERVATION SEEDS EASTERN ECOTYPE NATIVE GRASS MIX ERNMX-177 [98% PURITY, 85% GERMINATION, APPLIED AT 35-40 LBS/ACRE OR 1/2 LB PER 1000 SQ. FT.] OR APPROVED EQUIVALENT.

c) SPECIES COMMON NAME

SPECIES	COMMON NAME
Elymus hystrix	BOTTLEBRUSH GRASS
Elymus virginicus	VIRGINIA WILD RYE
Schizachyrium scoparium, PA Ecotype	LITTLE BLUESTEM, PA ECOTYPE
Chenopodium fasciculatum	PARROTCOKE
Helianthus annuus	OX-EYE SUNFLOWER/FAKE
Hypericum pyramidatum	GREAT ST. JOHN'S WORT
Monarda fistulosa	WILD BERGAMOT
Panicum clandestinum	TIGER DEER TONGUE
Penstemon laevigatus, PA ecotype	APPALACHIAN BEARD TONGUE, PA ECOTYPE
Zizia aurea	GOLDEN ALEXANDERS
Penstemon digitalis	TALL WHITE BEARD TONGUE
Desmodium cuneolatum	SHOWY TICK TREFOIL
Agricola perennans	AUTUMN BENTGRASS
Anemone virginiana	THIMBLEWEED
Cimicifuga racemosa	BLACK COHOSH
Vernonia noveboracensis	NEW YORK IRONWEED

c) STRAW MULCH OR HAY MULCH AT THE RATE OF 3.0 TONS/ACRE SHOULD BE APPLIED IN CONJUNCTION WITH ALL TEMPORARY AND PERMANENT SEEDING ACTIVITIES. MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN. IF THE MUNICIPALITY PERMITS, HYDRO-SEEDING MAY BE USED IN LIEU OF MULCHING.

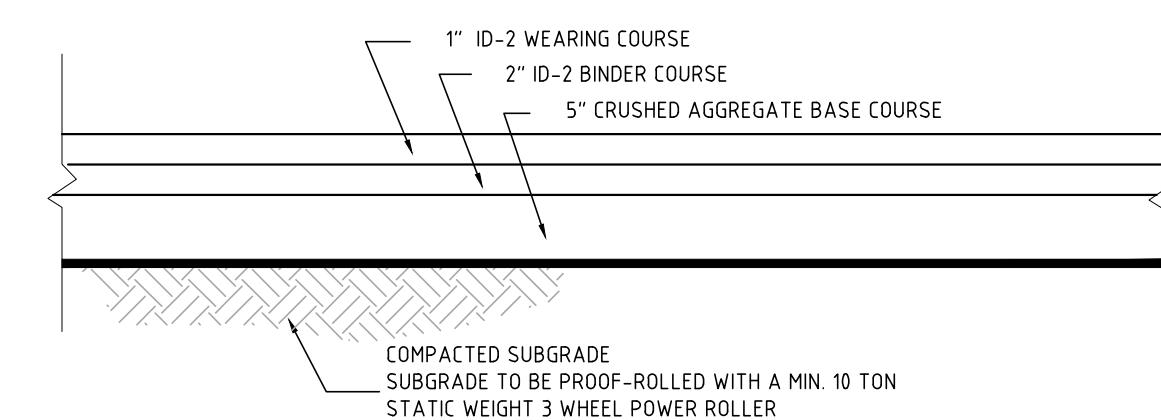
d) APPLY STABILIZATION TO ALL SEEDED AREAS.



PLAIN CEMENT CONCRETE CURB

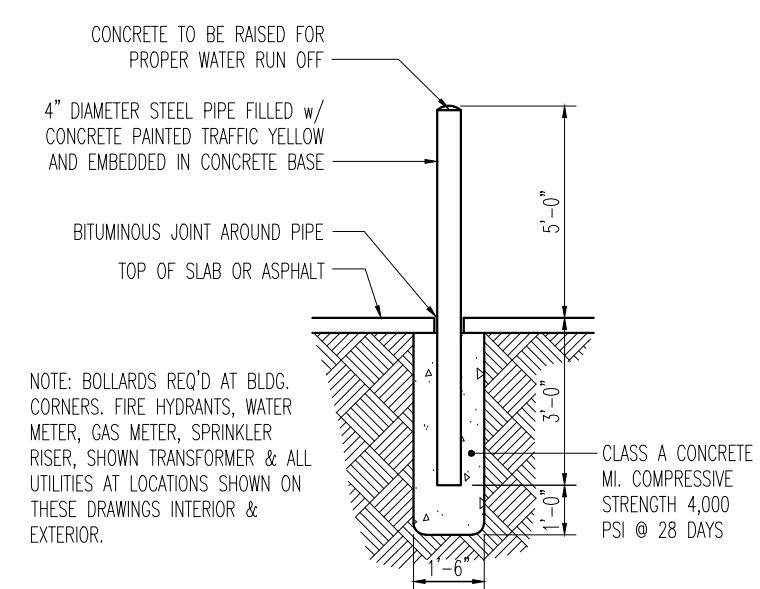
N.T.S.

1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 40B, SECTION 403 AND 420 FOR PLAIN CEMENT CONCRETE CURB.
2. PLACE 3 1/4" PREMIXED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
3. SEE SECTION 26-411 OF THE AMITY TOWNSHIP CODE FOR SPECIFICATIONS AND MORE INFORMATION.



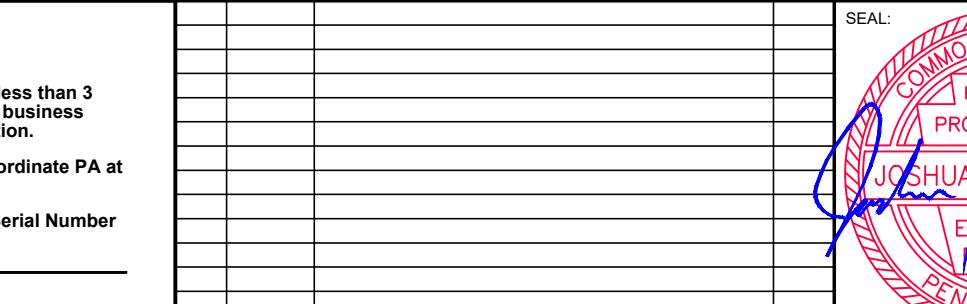
DRIVeway PAVEMENT SECTION DETAIL

N.T.S.



BOLLARD DETAIL

N.T.S.



PROJECT: CAPTAIN CARWASH NORRISTOWN, PA 19403
PREPARED FOR: TOM DEPAUL CAPTAIN CARWASH 3008 W. GERMANTOWN PIKE NORRISTOWN, PA 19403
SHEET TITLE: DETAILS AND NOTES

DESIGNED BY: WILKINSON DESIGN GROUP, LLC 374 CIRCLE OF PROGRESS DRIVE POTTSTOWN, PA 19464 / 610-323-3400
CHECKED (PM): JAC
DATE: 09-02-2025
SCALE: #4 OF 4
PROJECT #: 2025-575
SHEET #: 4
J PROJECTS 2025-575-02, Captain Car Wash/DOV 2025-575-02



Erected Into a Township in 1733
At the Center of Montgomery County

**Worcester Township
Board of Supervisors
Business Meeting Minutes
December 17, 2025**

The Worcester Township Board of Supervisors held a business meeting on Wednesday, December 17, 2025, at the Worcester Township Municipal Building.

Call to Order

The meeting was called to order at approximately 7:00 PM by Chairman Rick DeLello, followed by the Pledge of Allegiance.

Roll Call

Supervisors present were Chairman Rick DeLello, Vice Chairman Lou Betz, and Supervisor Steve Quigley.

Also present were Township Solicitor Wendy McKenna, Township Engineer John Evarts, Assistant Township Manager Christian Jones, and Township Manager Dan DeMeno.

Assistant Township Manager Christian Jones advised that the meeting was being recorded.

Chairman's Remarks

Chairman DeLello provided remarks recognizing Supervisor Steve Quigley for his 18 years of service on the Board of Supervisors. He highlighted Supervisor Quigley's leadership in open space preservation, fiscal stewardship, transparency, and civility in public meetings, noting that no tax increases occurred during his tenure and acknowledging his service on the County Farm Board. Supervisor Quigley offered brief remarks thanking the Board and residents.

Public Comment

Chairman DeLello opened the public comment period.

Jim Mollick, Worcester Township, commented in appreciation of Supervisor Quigley's service and reflected on improvements in public participation and transparency at Township meetings over the years.

With no additional public comment, the public comment period was closed.



1721 S. Valley Forge Rd
Worcester, PA 19490



www.worcestertwp.com



610-584-1410



610-584-8901

Consent Agenda

Chairman DeLello asked if any items should be removed from the consent agenda. None were requested.

Motion was made by Supervisor Betz, seconded by Supervisor Quigley, to approve the consent agenda, including the November 19, 2025 Board of Supervisors Business Meeting Minutes, the Treasurer's Report, other monthly reports for November 2025, and payment of bills for November 2025 in the amount of \$338,257.96. Motion carried unanimously.

Motion to Approve the 2026 Worcester Township Budget

Chairman DeLello reviewed the budget process, noting presentations in September and October and advertisement of the proposed budget following Board authorization. Township Manager DeMeno confirmed that the budget was properly advertised in the Times Herald and made available for public inspection, and that no public comments were received during the advertised comment period.

Motion was made by Supervisor Betz, seconded by Supervisor Quigley, to approve the 2026 Worcester Township Budget. Motion carried unanimously.

Motion to Authorize Agreement with Farmers Union for Storage at Fisher Road Barn

Township Manager DeMeno reported that he met with representatives of the Farmers Union regarding storage use at the Fisher Road Barn and prepared an agreement that was reviewed and approved by the Township Solicitor. The agreement was intended to protect the Township while allowing community use of the space.

Motion was made by Supervisor Betz, seconded by Supervisor Quigley, to authorize the agreement with the Farmers Union for storage at the Fisher Road Barn.

Bill McGrane, President of the Farmers Union Company, provided public comment thanking the Township and confirming the organization's support of the agreement.

With no further public comment, the motion carried unanimously.

Other Business

Chairman DeLello asked if there was any other business to come before the Board. None was presented.

Additional Public Comment

Ed Moore commented regarding the status of the Palmer land use appeal. Township Solicitor Wendy McKenna provided a public update on procedural matters, including party status stipulations, briefing schedules, and oral argument scheduled for March 3, 2026.

Bob Andorn raised questions regarding a computer expense reflected in the November financial report and requested clarification. Staff indicated the information would be provided following the meeting.

Mr. Andorn also inquired about snow removal practices on paved walking paths in Township parks. Board members, Township Manager DeMeno, and Solicitor McKenna discussed historical practices, liability considerations, and potential policy review. Township Manager DeMeno stated he would consult with the Public Works Director and neighboring municipalities and report back to the Board.

Jim Mollick provided additional public comment regarding transparency, litigation costs, park maintenance liability, and Township finances, including earned income tax revenues and capital reserves.

No further public comment was offered.

Adjournment

With no further business, the meeting was adjourned at approximately 7:45 PM.

Respectfully Submitted,

Dan DeMeno
Worcester Township Manager/Secretary



Erected Into a Township in 1733
At the Center of Montgomery County

**WORCESTER TOWNSHIP BOARD OF SUPERVISORS
REORGANIZATION MEETING MINUTES
January 5, 2026**

The Worcester Township Board of Supervisors held its Reorganization Meeting on Monday, January 5, 2026 at 7:00 PM, at the Worcester Township Building. Chairman Rick DeLello called the meeting to order and welcomed those in attendance.

Pledge of Allegiance

The Pledge of Allegiance was recited.

Roll Call

Supervisors Present:

- Rick DeLello, Chair
- Lou Betz, Vice Chair
- Christine Steere

Also Present:

- Dan DeMeno, Township Manager
- Wendy McKenna, Brant & Associates

Public Comment

No public comment was offered.

Appointment of Temporary Chair

Motion was made by Christine Steere, seconded by Lou Betz, to appoint Lou Betz as Temporary Chair of the Board. Motion carried unanimously.

Appointment of Temporary Secretary

Motion was made by Rick DeLello, seconded by Christine Steere, to appoint Dan DeMeno as Temporary Secretary. Motion carried unanimously.

Election of Chairman

Motion was made by Christine Steere, seconded by Lou Betz, to appoint Lou Betz as Chair of the Board of Supervisors. Motion carried unanimously.

Election of Vice Chair

Motion was made by Lou Betz, seconded by Christine Steere, to appoint Christine Steere as Vice Chair of the Board of Supervisors. Motion carried unanimously.



1721 S. Valley Forge Rd
Worcester, PA 19490



www.worcestertwp.com



610-584-1410



610-584-8901

Official Appointments (Items A–W)

Motion was made by Rick DeLello, seconded by Lou Betz, to approve official Township appointments including Township Manager, Assistant Township Manager, Finance Director, Secretary, Treasurer, Zoning Officer, Code Enforcement Officers, Emergency Management Coordinator, Fire Marshal, Building Code Official, PSATS Delegates, and related positions as presented. Motion carried unanimously.

PSATS Convention Voting Delegate

Motion was made by Rick DeLello, seconded by Lou Betz, to designate the Chair of the Board as the PSATS Convention Voting Delegate. Motion carried unanimously.

Official Appointments (Items Y–BB)

Motion was made by Rick DeLello, seconded by Christine Steere, to approve the delegate, alternate delegates, and Deputy Tax Collector appointments as presented. Motion carried unanimously.

Professional Service Appointments

Motion was made by Rick DeLello, seconded by Lou Betz, to reappoint Township professional service providers including Township Engineer (CKS), Traffic Engineer (Bowman), Environmental Engineer (Earth Engineering), Open Space Consultant (Natural Lands), and Township Solicitor (Brandt Associates), with the understanding that requests for proposals will be issued and reviewed during 2026. Motion carried unanimously.

Volunteer and Board Appointments

Vacancy Board Chair: Motion was made by Rick DeLello, seconded by Christine Steere, to appoint Burt Hynes as Vacancy Board Chair for a one-year term. Motion carried unanimously.

Zoning Hearing Board: Motion was made by Rick DeLello, seconded by Christine Steere, to reappoint Caesar Gambone to a three-year term on the Zoning Hearing Board. Motion carried unanimously.

Planning Commission: Motion was made by Rick DeLello, seconded by Christine Steere, to reappoint Michelle Greenawalt to the Planning Commission. Motion carried unanimously. Staff was directed to prepare a resolution for consideration at a future meeting to appoint Bill McGrane as an alternate Planning Commission member.

Holiday and Meeting Schedules

Motion was made by Rick DeLello, seconded by Christine Steere, to approve the 2026 holiday and meeting schedules, subject to administrative correction of dates. Motion carried unanimously.

The Board confirmed that all Board of Supervisors meetings in 2026 will begin at 6:30 p.m., with work sessions, when scheduled, beginning at 6:30 p.m. and transitioning into the business meeting.

Township Establishments

Motion was made by Rick DeLello, seconded by Christine Steere, to approve the Township depositories, Treasurer and Assistant Treasurer bond amounts, IRS mileage reimbursement rate, and designation of the Times Herald as the Newspaper of Record. Motion carried unanimously.

Resolution 2026-01 – Fire Department Activities

Motion was made by Rick DeLello, seconded by Christine Steere, to adopt Resolution 2026-01 authorizing certain recurring activities conducted by the Worcester Township Volunteer Fire Department. Motion carried unanimously.

Resolution 2026-02 – Fee Schedule

Following public comment and discussion, no motion was made to adopt the resolution. Accordingly, the fee schedule remained unchanged from 2025.

Public Comment:

Bob Andorn commented that, based on his review of the materials, the proposed 2026 fee schedule appeared to differ from the 2025 schedule, particularly with respect to field rental fees, and could result in substantial increases. He requested clarification and recommended that, if fee changes were being contemplated, the Board allow additional time for affected organizations to review and comment.

Staff Response:

The Township Manager stated that no fee increases were being adopted at that time and that, absent Board action, the existing 2025 fee schedule would remain in effect.

Resolution 2026-03 – Appointment of Township Auditor

Motion was made by Rick DeLello, seconded by Christine Steere, to adopt Resolution 2026-03 appointing B. Bergdahl & Company as Township Auditor. Motion carried unanimously.

Resolution 2026-04 – Destruction of Public Records

Motion was made by Rick DeLello, seconded by Christine Steere, to adopt Resolution 2026-04 authorizing the destruction of certain public records in accordance with the Municipal Records Act (Act 428 of 1968). Motion carried unanimously.

Resolution 2026-05 – Emergency Service Response Areas

Motion was made by Rick DeLello, seconded by Christine Steere, to adopt Resolution 2026-05 establishing emergency service response areas as presented, with no changes from the prior year. Motion passed unanimously.

Public Comment:

Bill McGrane commented that the resolution references EMS coverage maps that were not provided at the meeting and questioned whether Board members had reviewed the maps prior to approval. He also

noted that one of the listed EMS providers, VMSC of Lansdale, does not list Worcester Township among its stated service areas on its website, despite appearing on the Township's EMS maps, and requested that this discrepancy be reviewed.

Staff Response:

The Township Manager responded that VMSC of Lansdale does actively respond to calls within Worcester Township and clarified that the EMS coverage maps have been publicly available on the Township website.

Other Business

There was no additional business.

Adjournment

Motion was made by Rick DeLello, seconded by Christine Steere, to adjourn the meeting. Motion carried unanimously. The meeting was adjourned at approximately 7:37 p.m.

January 16, 2026
10:42 AM

TOWNSHIP OF WORCESTER
Check Register By Check Date

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Range of Checking Accts: First to Last Range of Check Dates: 12/12/25 to 01/16/26
Report Type: All Checks Report Format: Super Condensed Check Type: Computer: Y Manual: Y Dir Deposit: Y

Check #	Check Date	Vendor	Amount Paid	Reconciled/Void	Ref Num
CAPITAL RESERVE CAPITAL FUND					
804	12/18/25	ARROC005 ARRO CONSULTING, INC.	13,096.00	12/31/25	854
805	12/18/25	HEIDE005 HEIDELBERG MATERIALS, LLC	508,190.02		854
806	12/18/25	PENNS020 PENN'S TRAIL ENVIRONMENTAL,LLC	9,625.00	12/31/25	854
807	12/18/25	ULINE005 ULINE	5,915.62		854
808	01/08/26	TRACT005 TRACTOR SUPPLY CREDIT PLAN	6,687.96		858

Checking Account Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	5	0	543,514.60	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	<u>5</u>	<u>0</u>	<u>543,514.60</u>	<u>0.00</u>

GENERAL FUND	GENERAL FUND				
37359	12/18/25	21STC005 21ST CENTRY MEDIA	684.56	12/31/25	852
37360	12/18/25	AMERI005 AMERICAN FUELS, LLC.	3,192.40	12/31/25	852
37361	12/18/25	APMM0005 APMM	165.00		852
37362	12/18/25	AQUAP005 AQUA PENNSYLVANIA, INC.	7.59		852
37363	12/18/25	ARMOU005 ARMOUR & SONS ELECTRIC INC	616.30	12/31/25	852
37364	12/18/25	ARROC005 ARRO CONSULTING, INC.	14,775.52	12/31/25	852
37365	12/18/25	BARRY005 BARRY ISETT & ASSOCIATES INC	15,340.00	12/31/25	852
37366	12/18/25	BRANT005 BRANT & ASSOCIATES, LLC	14,283.50	12/31/25	852
37367	12/18/25	CARDM005 CARDMEMBER SERVICES	4,253.82		852
37368	12/18/25	COMCA005 COMCAST	199.57		852
37369	12/18/25	DAVIS005 DAVIS HEATING & COOLING	398.00	12/31/25	852
37370	12/18/25	DHULS005 D'HULSTER, ROBERT	650.00		852
37371	12/18/25	DONER005 DONE RITE BUILDING SERV, INC.	1,249.00		852
37372	12/18/25	FRAN0010 FRANK JONES TROPHIES	255.54		852
37373	12/18/25	FRASE005 FRASER ADVANCED INFO SYSTEMS	609.21	12/31/25	852
37374	12/18/25	FUREY005 FUREY & BALDASSARI, P.C.	1,400.00		852
37375	12/18/25	GENER005 GENERAL CODE, LLC	155.00	12/31/25	852
37376	12/18/25	HOISI005 HOISINGTON, JUSTIN	375.00		852
37377	12/18/25	HOMED005 HOME DEPOT CREDIT SERVICES	904.76		852
37378	12/18/25	INTER030 INTERMIX IT	3,535.13	12/31/25	852
37379	12/18/25	KENCO005 KENCO HYDRAULICS INC	92.73	12/31/25	852
37380	12/18/25	LITTL005 LITTLE, ROBERT E, INC	254.92	12/31/25	852
37381	12/18/25	MCMAH010 MCMAHON A BOWMAN COMPANY	2,401.25	01/08/26 VOID	852 (Reason: pos pay issue)
37382	12/18/25	MGLPR005 MGL PRINTING SOLUTIONS	95.50	12/31/25	852
37383	12/18/25	MILLE015 MILLER, JESSE	375.00	12/31/25	852
37384	12/18/25	MORAN005 MORAN, MARC	375.00	12/31/25	852
37385	12/18/25	MORT0005 MORTON SALT, INC.	8,554.28		852
37386	12/18/25	MOSES005 MOSES, AARON	650.00		852
37387	12/18/25	NYCES005 NYCE SHIRT COMPANY	80.25		852
37388	12/18/25	ORRJ0005 ORR, JOHN	650.00	12/31/25	852
37389	12/18/25	PECOE005 PECO ENERGY	471.72		852
37390	12/18/25	PENN0010 PENNSYLVANIA ONE CALL SYSTEM	57.67	12/31/25	852
37391	12/18/25	PENN005 PENN VALLEY GAS, INC.	989.98	12/31/25	852
37392	12/18/25	PERK0010 PERKIOMEN PERFORMANCE, INC.	893.90	12/31/25	852
37393	12/18/25	PROFE005 PROFESSIONAL PLUS SERVICES,INC	1,300.00	12/31/25	852
37394	12/18/25	PSAB0005 PSAB-MRT	1,391.26	12/31/25	852
37395	12/18/25	SYKES005 SYKES, PETER	650.00		852

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GENERAL FUND	GENERAL FUND	Continued			
37396	12/18/25	SYNAT005 SYNATEK	1,173.00	01/08/26 VOID	852 (Reason: pos pay issue)
37397	12/18/25	TOWNS005 TOWNSHIP OF WORCESTER-PAYROLL	110,000.00	12/31/25	852
37398	12/18/25	TPTRA010 TP TRAILER INC.	8.52	12/31/25	852
37399	12/18/25	TRAIS005 TRAISR, LLC	1,600.00		852
37400	12/18/25	USMUN005 US MUNICIPAL SUPPLY, INC.	4,061.95	12/31/25	852
37401	12/18/25	VERI0010 VERIZON	49.77	12/31/25	852
37402	12/18/25	WBMAS005 W. B. MASON CO., INC.	267.88	01/08/26 VOID	852 (Reason: pos pay issue)
37403	12/18/25	WELDO005 NAPA AUTO PARTS	433.78	12/31/25	852
37404	01/08/26	ADVAN005 WM CORPORATE SERVICES INC.	465.85		856
37405	01/08/26	AMERI005 AMERICAN FUELS, LLC.	392.81		856
37406	01/08/26	CINTA005 CINTAS	98.93		856
37407	01/08/26	COMCA005 COMCAST	644.74		856
37408	01/08/26	FRASE010 FRASER	194.70		856
37409	01/08/26	HOMED005 HOME DEPOT CREDIT SERVICES	1,052.66		856
37410	01/08/26	JONES010 JONES, CHRISTIAN	18.90		856
37411	01/08/26	MCMAH010 MCMAHON A BOWMAN COMPANY	2,401.25		856
37412	01/08/26	METRO005 METROPOLITAN LIFE INSURANCE CO	913.46		856
37413	01/08/26	MILLE015 MILLER, JESSE	150.00		856
37414	01/08/26	NORTH005 NORTH PENN WATER AUTHORITY	99.82		856
37415	01/08/26	PANZU005 QUAGLIARIELLO, NICOLE	71.40		856
37416	01/08/26	PAWC0005 PAWC	1,208.19		856
37417	01/08/26	PECOE005 PECO ENERGY	2,343.18		856
37418	01/08/26	PENN005 PENN VALLEY GAS, INC.	1,252.13		856
37419	01/08/26	PITN0010 PITNEY BOWES, INC.	267.00		856
37420	01/08/26	PROTE005 EVERON	508.29		856
37421	01/08/26	PSAB0005 PSAB-MRT	1,391.26		856
37422	01/08/26	RICHT005 RICHTER TOTAL OFFICE	75.00		856
37423	01/08/26	RINGC005 RINGCENTRAL INC.	184.58		856
37424	01/08/26	SYNAT005 SYNATEK	1,173.00		856
37425	01/08/26	TRAIS005 TRAISR, LLC	1,600.00		856
37426	01/08/26	VERIZ005 VERIZON WIRELESS	109.16		856
37427	01/08/26	WBMAS005 W. B. MASON CO., INC.	224.71		856
37428	01/08/26	WEXBA005 WEX BANK	2,882.59		856

Checking Account Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	67	3	215,809.74	3,842.13
Direct Deposit:	0	0	0.00	0.00
Total:	67	3	215,809.74	3,842.13

STATE FUND	STATE FUND		
1261	12/18/25	HEIDE005 HEIDELBERG MATERIALS, LLC	357,000.00

Checking Account Totals	<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>	<u>Amount Void</u>
Checks:	1	0	357,000.00	0.00
Direct Deposit:	0	0	0.00	0.00
Total:	1	0	357,000.00	0.00

WASTE WATER FUN	WASTE WATER FUND		
5177	12/18/25	AMER0015 AMERICAN WATER	15.00
5178	12/18/25	ARROC005 ARRO CONSULTING, INC.	399.75
5179	12/18/25	BELLW005 BELLWOR KELLY, LLP	102.00
5180	12/18/25	FLOWA005 FLOW ASSESSMENT SERVICES LLC	965.00
5181	12/18/25	MJREI005 MJ REIDER ASSOCIATES, INC.	1,047.00

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Check #	Check Date	Vendor	Amount Paid	Reconciled/Void Ref Num
WASTE WATER FUN WASTE WATER FUND Continued				
5182	12/18/25	POST0010 POSTMASTER	700.69	853
5183	12/18/25	RMEQU005 R&M EQUIPMENT COMPANY	5,608.00	12/31/25
5184	12/18/25	UNIVA005 UNIVAR USA, INC.	2,527.26	12/31/25
5185	12/18/25	USABL005 USA BLUE BOOK	2,979.94	12/31/25
5186	12/18/25	VERI0010 VERIZON	234.42	12/31/25
5187	12/18/25	WINDR005 WIND RIVER ENVIRONMENT LLC	4,366.00	12/31/25
5188	01/08/26	BELLW005 BELLWOAR KELLY, LLP	76.50	857
5189	01/08/26	GENER015 GENERATOR GUY INC.	952.00	857
5190	01/08/26	MEAD0005 MEADOWOOD SENIOR LIVING	321.72	857
5191	01/08/26	PECOE005 PECO ENERGY	12,659.37	857
5192	01/08/26	UNIVA005 UNIVAR USA, INC.	8,054.22	857
5193	01/08/26	VERI0010 VERIZON	184.85	857
Checking Account Totals				
		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>
	Checks:	17	0	41,193.72
	Direct Deposit:	0	0	0.00
	Total:	<u>17</u>	<u>0</u>	<u>41,193.72</u>
				<u>Amount Void</u>
				0.00
				0.00
Report Totals				
		<u>Paid</u>	<u>Void</u>	<u>Amount Paid</u>
	Checks:	90	3	1,157,518.06
	Direct Deposit:	0	0	0.00
	Total:	<u>90</u>	<u>3</u>	<u>1,157,518.06</u>
				<u>Amount Void</u>
				3,842.13
				0.00
				3,842.13

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Totals by Year-Fund
Fund Description

Fund	Expend Total	Revenue Total	G/L Total	Total
5-001	92,373.09	0.00	110,000.00	202,373.09
5-008	40,150.03	0.00	0.00	40,150.03
5-030	543,514.60	0.00	0.00	543,514.60
5-035	<u>357,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>357,000.00</u>
Year Total:	<u>1,033,037.72</u>	<u>0.00</u>	<u>110,000.00</u>	<u>1,143,037.72</u>
6-001	2,885.82	0.00	0.00	2,885.82
6-008	<u>1,043.69</u>	<u>0.00</u>	<u>0.00</u>	<u>1,043.69</u>
Year Total:	<u>3,929.51</u>	<u>0.00</u>	<u>0.00</u>	<u>3,929.51</u>
Total of All Funds:	<u><u>1,036,967.23</u></u>	<u><u>0.00</u></u>	<u><u>110,000.00</u></u>	<u><u>1,146,967.23</u></u>

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TOWNSHIP OF WORCESTER
Check Register By Check Date

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Totals by Fund
Fund Description

Fund	Expend Total	Revenue Total	G/L Total	Total
001	95,258.91	0.00	110,000.00	205,258.91
008	41,193.72	0.00	0.00	41,193.72
030	543,514.60	0.00	0.00	543,514.60
035	357,000.00	0.00	0.00	357,000.00
Total of All Funds:	<u>1,036,967.23</u>	<u>0.00</u>	<u>110,000.00</u>	<u>1,146,967.23</u>

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TOWNSHIP OF WORCESTER
Breakdown of Expenditure Account Current/Prior Received/Prior Open

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Fund Description	Fund	Current	Prior Rcvd	Prior Open	Paid Prior	Fund Total
	5-001	92,373.09	0.00	0.00	0.00	92,373.09
	5-008	40,150.03	0.00	0.00	0.00	40,150.03
	5-030	543,514.60	0.00	0.00	0.00	543,514.60
	5-035	<u>357,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>357,000.00</u>
Year Total:		<u>1,033,037.72</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,033,037.72</u>
	6-001	2,885.82	0.00	0.00	0.00	2,885.82
	6-008	<u>1,043.69</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,043.69</u>
Year Total:		<u>3,929.51</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>3,929.51</u>
Total of All Funds:		<u>1,036,967.23</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,036,967.23</u>

Project Description	Project No.	Project Total
3205 SKIPACK- LGL/ENG	145-0260	733.50
RESERVE AT CENTER SQ-LGL/ENG	145-0299	2,894.37
MILL/PERNA-GUNSLAS- LGL/ENG	145-0328	401.00
BET INVESTMENT/DUBNER-LGL/ENG	145-0345	298.00
HUGANIR-ARDEN RESERVE-LGL/ENG	145-0350	504.70
2044 BERKS RD-LGL/ENG	145-0362	485.20
BELLFLOWER-LGL/ENG	145-0364	1,167.40
WESTRUM-TROOPER RD-LGL/ENG	145-0368	294.75
METHACTON HIGH SCHOOL-LGL/ENG	145-0373	693.00
ZHB APP VOLPE	145-0374	240.33
1551/1555 KRIEBEL MILL-LGL/ENG	145-0379	506.75
PAWC TOWNSHIP LN PUMP-LGL/ENG	145-0381	23.75
BARN BERKS/ALLAN MYERS-LGL/ENG	145-0383	63.00
1038 WINDY HILL-ARDEN-LGL/ENG	145-0398	158.00
1501 N WALES-LGL/ENG	145-0399	298.00
2045 BETHEL RD-LGL/ENG	145-0407	172.75
1616 WHITEHALL-LGL/ENG	145-0408	23.75
3268 BARLEY LN- LGL/ENG	145-0412	568.00
1636 BERKS RD-LGL/ENG	145-0413	784.25
ZHB APP GSS VENTURES	145-0416	240.33
Total of All Projects:		<u>10,550.83</u>

Revenue Account Range: First to zzz-zzz-zzz-zzz

Include Non-Anticipated: Yes

Year To Date As Of: 12/31/25

Expend Account Range: First to zzz-zzz-zzz-zzz

Include Non-Budget: No

Current Period: 12/01/25 to 12/31/25

Print Zero YTD Activity: No

Prior Year: Thru 12/31/24

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-301-100-000	Property Taxes- Current	51,318.11	49,290.00	64.97	51,865.62	2,575.62	105
001-301-500-000	Property Taxes- Liened	726.55	510.00	24.64	439.11	70.89 -	86
001-301-600-000	Property Taxes- Interim	265.71	200.00	27.03	212.44	12.44	106
	301 Total	52,310.37	50,000.00	116.64	52,517.17	2,517.17	105
001-310-030-000	Per Capita Taxes- Delinquent	78.10	100.00	1.10	36.30	63.70 -	36
001-310-100-000	Real Estate Transfer Taxes	501,088.81	250,000.00	20,090.00	550,485.23	300,485.23	220
001-310-210-000	Earned Income Taxes	3,734,313.06	3,586,000.00	115,113.31	2,982,619.73	603,380.27 -	83
001-310-220-000	Earned Income Taxes- Prior Year	0.00	15.00	0.00	0.00	15.00 -	0
	310 Total	4,235,479.97	3,836,115.00	135,204.41	3,533,141.26	302,973.74 -	92
001-321-800-000	Franchise Fees	203,805.99	196,000.00	0.00	151,597.70	44,402.30 -	77
001-322-820-000	Road Opening Permits	424.00	300.00	0.00	318.00	18.00	106
001-322-900-000	Sign Permits	28.00	100.00	0.00	56.00	44.00 -	56
001-322-920-000	Solicitation Permits	588.00	500.00	28.00	896.00	396.00	179
	322 Total	1,040.00	900.00	28.00	1,270.00	370.00	141
001-331-120-000	Ordinance Violations	6,117.88	1,600.00	636.61	2,975.54	1,375.54	186
001-341-000-000	Interest Earnings	18,440.44	5,000.00	2,016.60	16,932.91	11,932.91	339
001-342-000-000	Rents & Royalties	20,894.21	21,794.87	1,826.35	23,322.77	1,527.90	107
001-342-120-000	Cell Tower Rental	119,240.45	159,900.00	15,797.20	187,658.62	27,758.62	117
	342 Rents & Royalties	140,134.66	181,694.87	17,623.55	210,981.39	29,286.52	116

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-354-120-000	Emergency Relief- PEMA	6,116.47	0.00	0.00	0.00	0.00	0
001-355-010-000	Public Utility Realty Tax	3,453.57	3,453.57	0.00	3,876.59	423.02	112
001-355-040-000	Alcohol License Fees	600.00	600.00	0.00	600.00	0.00	100
001-355-050-000	General Municipal Pension State Aid	88,081.77	88,081.77	0.00	79,988.02	8,093.75 -	91
001-355-070-000	Volunteer Fire Relief Association	105,949.04	105,949.04	0.00	113,391.11	7,442.07	107
	355 Total	198,084.38	198,084.38	0.00	197,855.72	228.66 -	99
001-361-300-000	Land Development Fees	6,000.00	4,000.00	0.00	32,083.50	28,083.50	802
001-361-330-000	Conditional Use Fees	0.00	1,500.00	0.00	0.00	1,500.00 -	0
001-361-340-000	Zoning Hearing Board Fees	24,075.00	16,625.00	0.00	13,000.00	3,625.00 -	78
001-361-500-000	Map And Publication Sales	66.25	5.00	0.00	0.00	5.00 -	0
	361 Total	30,141.25	22,130.00	0.00	45,083.50	22,953.50	203
001-362-410-000	Building Permit Fees	138,816.21	80,000.00	22,760.15	126,886.06	46,886.06	159
001-362-420-000	Zoning Permit Fees	29,525.00	20,500.00	3,957.00	29,606.00	9,106.00	144
001-362-450-000	Commercial U&O Fees	600.00	200.00	0.00	500.00	300.00	250
001-362-460-000	Driveway Permit Fees	1,148.00	600.00	0.00	784.00	184.00	131
	362 Total	170,089.21	101,300.00	26,717.15	157,776.06	56,476.06	155
001-367-408-000	Sports & Lesson Fees	1,715.00	1,800.00	0.00	0.00	1,800.00 -	0
001-367-420-000	Park Miscellaneous	17,785.00	14,200.00	0.00	27,363.00	13,163.00	193
	367 Total	19,500.00	16,000.00	0.00	27,363.00	11,363.00	171
001-381-000-000	Miscellaneous Income	621.37	1,000.00	0.00	24,163.33	23,163.33	***
001-381-001-000	Service Charge Fees	268.44	225.00	197.72	597.73	372.73	266
	381 Miscellaneous Income	889.81	1,225.00	197.72	24,761.06	23,536.06	***

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

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Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
001-383-200-000	Escrow Administration	1,210.00	880.00	0.00	440.00	440.00 -	50
001-392-300-000	Transfer From Capital Fund	350,000.00	0.00	0.00	0.00	0.00	0
001-395-000-000	Refund of Prior Year Expenditures	9,220.92	0.00	0.00	6,088.23	6,088.23	0
	Fund 001 Revenue Totals	5,442,581.35	4,610,929.25	182,540.68	4,428,783.54	182,145.71 -	96
Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-400-000-000	LEGISLATIVE BODY:	0.00	0.00	0.00	0.00	0.00	0
001-400-110-000	Legislative- Payroll	7,500.00	7,500.00	570.00	7,500.00	0.00	100
001-400-150-000	Legislative- Benefits	35,574.42	47,842.26	4,105.35	49,388.52	1,546.26 -	103
001-400-312-000	Legislative- Consultant Services	37,700.00	23,500.00	0.00	24,600.00	1,100.00 -	105
001-400-337-000	Legislative- Mileage Reimbursement	353.76	420.00	0.00	369.60	50.40	88
001-400-420-000	Legislative- Dues & Subscriptions	3,613.00	4,825.00	0.00	478.00	4,347.00	10
001-400-460-000	Legislative- Meetings & Seminars	4,530.57	5,300.00	222.44	4,993.11	306.89	94
	400 LEGISLATIVE BODY:	89,271.75	89,387.26	4,897.79	87,329.23	2,058.03	98
001-401-000-000	MANAGER:	0.00	0.00	0.00	0.00	0.00	0
001-401-120-000	Management- Payroll	283,133.54	278,750.00	21,442.30	271,201.83	7,548.17	97
001-401-150-000	Management- Benefits	54,919.44	79,035.35	7,458.89	90,946.96	11,911.61 -	115
001-401-312-000	Management- Consultant Services	5,904.60	9,950.00	0.00	0.00	9,950.00	0
001-401-321-000	Management- Mobile Phone	1,291.89	1,380.00	149.24	1,276.39	103.61	92
001-401-337-000	Management- Mileage Reimbursement	8,930.96	5,580.00	450.00	5,543.36	36.64	99
001-401-460-000	Management- Meetings & Seminars	4,582.10	5,610.00	146.24 -	4,591.46	1,018.54	82
	401 MANAGER:	358,762.53	380,305.35	29,354.19	373,560.00	6,745.35	98
001-402-000-000	FINANCIAL ADMINISTRATION:	0.00	0.00	0.00	0.00	0.00	0

TOWNSHIP OF WORCESTER
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<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
001-402-120-000	Finance- Payroll	89,931.49	103,000.00	7,923.08	100,068.31	2,931.69	97
001-402-150-000	Finance- Benefits	56,484.01	54,640.36	3,113.21	55,480.32	839.96 -	102
001-402-321-000	Finance- Mobile Phone	300.00	300.00	25.00	300.00	0.00	100
001-402-337-000	Finance- Mileage Reimbursement	218.96	250.00	71.40	198.09	51.91	79
001-402-460-000	Finance- Meeting & Seminars	493.85	1,300.00	0.00	0.00	1,300.00	0
	402 FINANCIAL ADMINISTRATION:	147,428.31	159,490.36	11,132.69	156,046.72	3,443.64	98
001-403-000-000	TAX COLLECTION:	0.00	0.00	0.00	0.00	0.00	0
001-403-110-000	Tax Collection- Payroll	2,644.53	2,500.00	0.00	2,604.75	104.75 -	104
001-403-150-000	Tax Collection- Benefits	202.31	136.79	0.00	199.27	62.48 -	146
001-403-210-000	Tax Collection- Office Supplies	4,661.31	6,200.00	0.00	6,050.41	149.59	98
001-403-310-000	Tax Collection- Professional Services	38,882.10	39,446.17	937.19	33,339.25	6,106.92	85
	403 TAX COLLECTION:	46,390.25	48,282.96	937.19	42,193.68	6,089.28	87
001-404-000-000	LEGAL SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-404-310-000	Legal- General Services	259,715.95	183,663.50	11,122.25	186,406.84	2,743.34 -	101
001-404-320-000	Legal- RTK Services	5,672.50	12,000.00	0.00	2,961.00	9,039.00	25
	404 LEGAL SERVICES:	265,388.45	195,663.50	11,122.25	189,367.84	6,295.66	97
001-405-000-000	CLERICAL:	0.00	0.00	0.00	0.00	0.00	0
001-405-140-000	Clerical- Payroll	97,699.70	184,000.00	9,542.46	105,861.41	78,138.59	58
001-405-150-000	Clerical- Benefits	18,211.96	52,882.96	3,424.63	33,006.73	19,876.23	62
001-405-210-000	Clerical- Office Supplies	4,149.94	6,500.00	773.36	4,739.31	1,760.69	73
001-405-310-000	Payroll Services	13,010.01	13,770.00	1,250.58	16,463.27	2,693.27 -	120
001-405-321-000	Clerical- Telephone	3,216.92	4,893.00	250.58	3,640.26	1,252.74	74
001-405-325-000	Clerical- Postage	4,104.00	5,911.00	1,238.05	3,835.54	2,075.46	65
001-405-337-000	Clerical- Mileage Reimbursement	0.00	240.00	0.00	75.04	164.96	31
001-405-340-000	Clerical- Advertisement	4,227.88	6,300.00	203.90	3,390.82	2,909.18	54

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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-405-460-000	Clerical- Meetings & Seminars	579.94	2,540.00	198.10	2,182.67	357.33	86
001-405-465-000	Clerical- Computer Expense	83,846.01	78,082.00	12,929.08	108,894.46	30,812.46	139
001-405-470-000	Clerical- Other Expense	12,831.19	14,226.00	1,422.27	11,733.37	2,492.63	82
	405 CLERICAL:	241,877.55	369,344.96	31,233.01	293,822.88	75,522.08	80
001-408-000-000	ENGINEERING SERVICES:	0.00	0.00	0.00	0.00	0.00	0
001-408-310-000	Engineering Services	81,006.52	52,250.00	6,784.60	66,693.96	14,443.96	128
001-409-000-000	GOVERNMENT BUILDINGS & PLANT:	0.00	0.00	0.00	0.00	0.00	0
001-409-136-000	Administration- Utilities	7,982.64	12,384.00	780.59	10,375.89	2,008.11	84
001-409-137-000	Administration- Maintenance & Repairs	17,309.27	20,076.00	1,713.07	14,173.03	5,902.97	71
001-409-142-000	Administration- Alarm Service	4,282.21	4,872.00	277.33	4,605.38	266.62	95
001-409-147-000	Administration- Other Expenses	1,429.44	2,520.00	47.62	741.11	1,778.89	29
001-409-236-000	Garage- Utilities	12,779.57	15,780.00	3,980.18	13,696.12	2,083.88	87
001-409-237-000	Garage- Maintenance & Repairs	10,262.29	13,488.00	1,113.65	10,382.53	3,105.47	77
001-409-242-000	Garage- Alarm Service	2,049.64	3,060.00	179.21	2,034.42	1,025.58	66
001-409-247-000	Garage- Other Expenses	1,554.29	1,740.00	51.31	1,007.33	732.67	58
001-409-436-000	Community Hall- Utilities	4,831.03	6,900.00	738.03	5,092.39	1,807.61	74
001-409-437-000	Community Hall- Maintenance & Repairs	6,014.34	7,140.00	249.80	4,008.28	3,131.72	56
001-409-447-000	Community Hall- Other Expenses	89.51	660.00	219.00	279.62	380.38	42
001-409-536-000	Historical Bldg- Utilities	1,316.82	5,433.00	879.68	3,528.49	1,904.51	65
001-409-537-000	Historical Bldg- Maintenance & Repairs	1,758.20	2,088.00	0.00	4,044.00	1,956.00	194
001-409-636-000	Hollow Rd Rental- Utilities	0.00	250.00	0.00	0.00	250.00	0
001-409-637-000	Hollow Rd Rental- Maintenance & Repairs	249.00	4,248.00	0.00	1,130.50	3,117.50	27
001-409-737-000	Springhouse- Maintenance & Repairs	0.00	1,000.00	0.00	0.00	1,000.00	0
001-409-836-000	Dutchy Church- Utilities	481.46	600.00	100.37	600.51	0.51	100
001-409-837-000	Dutchy Church- Maintenance and Repairs	0.00	960.00	0.00	76.92	883.08	8
	409 GOVERNMENT BUILDINGS & PLANT:	72,389.71	103,199.00	10,329.84	75,776.52	27,422.48	73

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Expenditure Account	Description	Prior Yr Expd	Budgeted	Current Expd	YTD Expended	Unexpended	% Expd
001-411-000-000	FIRE:	0.00	0.00	0.00	0.00	0.00	0
001-411-380-000	Fire Protection- Hydrant Rentals	26,158.64	32,671.32	2,176.09	13,265.71	19,405.61	41
001-411-540-000	Fire Protection- WVFD Contributions	470,645.04	480,379.04	0.00	487,321.11	6,942.07 -	101
	411 FIRE:	496,803.68	513,050.36	2,176.09	500,586.82	12,463.54	98
001-412-001-000	Ambulance services	0.00	0.00	0.00	53,775.00	53,775.00 -	0
001-413-000-000	UCC & CODE ENFORCEMENT:	0.00	0.00	0.00	0.00	0.00	0
001-413-110-000	Fire Marshal- Payroll	4,215.00	16,380.00	400.00	4,400.00	11,980.00	27
001-413-110-150	Fire Marshal- Benefits	2,532.72	5,694.71	0.00	0.00	5,694.71	0
001-413-150-000	Code Enforcement- Benefits	0.00	252.75	0.00	0.00	252.75	0
001-413-210-000	Code Enforcement- Supplies	3,645.00	6,505.00	155.00	8,976.50	2,471.50 -	138
001-413-312-000	Code Enforcement- Consultant Services	51,730.00	82,990.80	14,940.00	88,302.06	5,311.26 -	106
001-413-321-000	Code Enforcement- Mobile Phone	332.89	360.00	0.00	210.56	149.44	58
001-413-337-000	Code Enforcement- Mileage Reimbursement	0.00	840.00	0.00	0.00	840.00	0
001-413-460-000	Code Enforcement- Meetings & Seminars	0.00	400.00	0.00	0.00	400.00	0
	413 UCC & CODE ENFORCEMENT:	62,455.61	113,423.26	15,495.00	101,889.12	11,534.14	90
001-414-000-000	PLANNING & ZONING:	0.00	0.00	0.00	0.00	0.00	0
001-414-140-000	Zoning- Payroll	2,150.00	4,400.00	200.00	1,550.00	2,850.00	35
001-414-150-000	Zoning- Benefits	164.66	337.04	15.32	118.73	218.31	35
001-414-310-000	Zoning- Professional Services	16,313.00	13,300.00	0.00	7,582.90	5,717.10	57
001-414-313-000	Zoning- Engineering	450.12	1,500.00	0.00	0.00	1,500.00	0
001-414-314-000	Zoning- Legal	42,520.00	36,100.00	1,400.00	41,760.00	5,660.00 -	116
001-414-315-000	Zoning- Conditional Use	1,634.00	9,500.00	0.00	0.00	9,500.00	0
001-414-341-000	Zoning- Advertisement	3,757.91	2,700.00	0.00	615.67	2,084.33	23
001-414-460-000	Zoning- Meetings & Seminars	0.00	200.00	0.00	0.00	200.00	0
	414 PLANNING & ZONING:	66,989.69	68,037.04	1,615.32	51,627.30	16,409.74	76

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Statement of Revenue and Expenditures

<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
001-419-000-000	OTHER PUBLIC SAFETY:	0.00	0.00	0.00	0.00	0.00	0
001-419-242-000	PA One Call	1,163.95	2,580.00	57.67	1,168.00	1,412.00	45
001-430-000-000	PUBLIC WORKS - ADMIN:	0.00	0.00	0.00	0.00	0.00	0
001-430-140-000	Public Works- Payroll	539,961.45	618,878.24	45,664.61	566,482.35	52,395.89	92
001-430-150-000	Public Works- Benefits	315,951.57	326,003.65	24,325.88	337,053.85	11,050.20 -	103
001-430-238-000	Public Works- Uniforms	6,340.23	9,700.00	230.25	3,716.73	5,983.27	38
001-430-326-000	Public Works- Mobile phones	506.98	672.00	144.12	861.41	189.41 -	128
001-430-460-000	Public Works- Meetings & Seminars	410.00	1,200.00	0.00	839.24	360.76	70
001-430-470-000	Public Works- Other Expenses	2,112.24	1,715.00	0.00	1,734.95	19.95 -	101
	430 PUBLIC WORKS - ADMIN:	865,282.47	958,168.89	70,364.86	910,688.53	47,480.36	95
001-432-000-000	WINTER MAINTENANCE- SNOW REMOVAL:	0.00	0.00	0.00	0.00	0.00	0
001-432-200-000	Snow Removal- Materials	27,127.10	39,125.00	8,554.28	62,524.28	23,399.28 -	160
001-432-450-000	Snow Removal- Contractor	0.00	1,500.00	0.00	0.00	1,500.00	0
	432 WINTER MAINTENANCE- SNOW REMOVAL	27,127.10	40,625.00	8,554.28	62,524.28	21,899.28 -	154
001-433-000-000	TRAFFIC CONTROL DEVICES:	0.00	0.00	0.00	0.00	0.00	0
001-433-313-000	Traffic Signal- Engineering	10,511.72	9,000.00	3,910.00	4,353.75	4,646.25	48
001-433-361-000	Traffic Signal- Electricity	4,271.43	4,740.00	201.97	4,194.42	545.58	88
001-433-374-000	Traffic Signal- Maintenance	13,607.95	11,400.00	616.30	13,275.39	1,875.39 -	116
	433 TRAFFIC CONTROL DEVICES:	28,391.10	25,140.00	4,728.27	21,823.56	3,316.44	87
001-437-000-000	REPAIRS OF TOOLS AND MACHINERY:	0.00	0.00	0.00	0.00	0.00	0
001-437-250-000	Machinery & Tools- Vehicle Maintenance	93,653.01	82,200.00	1,250.07	93,189.81	10,989.81 -	113
001-437-260-000	Machinery & Tools- Small Tools	8,622.74	16,000.00	5,467.39	9,854.52	6,145.48	62
	437 REPAIRS OF TOOLS AND MACHINERY:	102,275.75	98,200.00	6,717.46	103,044.33	4,844.33 -	105

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
001-438-000-000	ROADS & BRIDGES:	0.00	0.00	0.00	0.00	0.00	0
001-438-231-000	Gasoline	6,974.41	6,000.00	2,334.97	9,075.38	3,075.38 -	151
001-438-232-000	Diesel Fuel	20,836.89	29,976.52	3,909.83	24,048.69	5,927.83	80
001-438-242-000	Road Signs	3,248.07	6,000.00	0.00	4,277.38	1,722.62	71
001-438-245-000	Road Supplies	24,830.78	56,500.00	0.00	11,075.33	45,424.67	20
001-438-313-000	Engineering	12,582.21	25,000.00	453.00	18,848.38	6,151.62	75
001-438-370-000	Road Program- Contractor	0.00	15,000.00	0.00	6,198.50	8,801.50	41
	438 ROADS & BRIDGES:	68,472.36	138,476.52	6,697.80	73,523.66	64,952.86	53
001-446-000-000	STORM WATER MANAGEMENT:	0.00	0.00	0.00	0.00	0.00	0
001-446-313-000	Stormwater Management- Engineering	18,398.45	37,000.00	1,345.00	8,428.75	28,571.25	23
001-452-000-000	PARTICIPANT RECREATION:	0.00	0.00	0.00	0.00	0.00	0
001-452-248-000	Camps & Sport Leagues	1,260.00	1,300.00	0.00	0.00	1,300.00	0
001-452-250-000	Community Day	8,855.72	13,000.00	0.00	9,635.32	3,364.68	74
001-452-520-000	Library	8,866.00	9,309.30	0.00	9,309.30	0.00	100
	452 PARTICIPANT RECREATION:	18,981.72	23,609.30	0.00	18,944.62	4,664.68	80
001-454-000-000	PARKS:	0.00	0.00	0.00	0.00	0.00	0
001-454-436-000	Heebner Park- Utilities	3,963.28	3,876.00	1,070.88	4,390.73	514.73 -	113
001-454-437-001	Heebner Park- Athletic Fields	6,678.48	15,800.00	1,524.90	6,185.05	9,614.95	39
001-454-437-002	Heebner Park- Expenses	7,514.29	8,000.00	102.56	4,899.86	3,100.14	61
001-454-438-001	Mount Kirk Park- Athletic Fields	709.50	3,700.00	410.55	1,316.75	2,383.25	36
001-454-438-002	Mount Kirk Park- Expenses	1,128.67	1,550.00	681.18	1,883.31	333.31 -	122
001-454-438-003	Mount Kirk Park- Utilities	3,006.03	2,195.00	743.72	3,432.94	1,237.94 -	156
001-454-439-001	Sunny Brook Park- Athletic Fields	1,924.46	4,700.00	410.55	1,955.20	2,744.80	42
001-454-439-002	Sunny Brook Park- Expenses	2,660.91	3,602.00	0.00	1,412.15	2,189.85	39
001-454-446-000	Sunny Brook Park- Utilities	1,360.50	2,100.00	230.78	2,636.57	536.57 -	126

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Statement of Revenue and Expenditures

<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
001-454-470-000	Heyser Park- Horse Ring	575.00	500.00	0.00	0.00	500.00	0
001-454-471-000	Heyser Park- Expenses	0.00	350.00	0.00	176.00	174.00	50
001-454-480-000	Trail Expenses	913.68	2,850.00	0.00	501.70	2,348.30	18
001-454-490-000	Other Parks	2,758.04	7,160.00	1,576.52	4,386.74	2,773.26	61
	454 PARKS:	33,192.84	56,383.00	6,751.64	33,177.00	23,206.00	59
001-459-000-000	PUBLIC RELATIONS:	0.00	0.00	0.00	0.00	0.00	0
001-459-340-000	Public Relations- Community Newsletter	16,696.45	23,520.00	0.00	5,510.55	18,009.45	23
001-459-341-000	Public Relations- Other Communications	0.00	2,000.00	0.00	0.00	2,000.00	0
	459 PUBLIC RELATIONS:	16,696.45	25,520.00	0.00	5,510.55	20,009.45	22
001-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
001-486-350-000	Insurances	121,259.50	136,645.50	2,672.00	132,534.37	4,111.13	97
001-492-300-000	Transfer To Capital Fund	2,150,435.68	981,391.33	1,915,704.60	1,915,704.60	934,313.27 -	195
	Fund 001 Expenditure Totals	5,380,441.42	4,616,173.59	2,148,671.55	5,279,741.32	663,567.73 -	114

001 Fund	Prior	Current	YTD
Revenues:	5,442,581.35	182,540.68	4,428,783.54
Expenditures:	5,380,441.42	2,148,671.55	5,279,741.32
Net Income:	62,139.93	1,966,130.87 -	850,957.78 -

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<u>Revenue Account</u>	<u>Description</u>	<u>Prior Yr Rev</u>	<u>Anticipated</u>	<u>Curr Rev</u>	<u>YTD Rev</u>	<u>Excess/Deficit</u>	<u>% Real</u>
008-341-000-000	Interest Earnings	70,621.40	15,000.00	4,500.66	61,553.46	46,553.46	410
008-364-110-000	Tapping Fees	3,200.00	48,577.62	0.00	39,910.94	8,666.68 -	82
008-364-120-000	Sewer Fees- Residential	620,532.03	615,842.86	6,217.43	624,420.60	8,577.74	101
008-364-130-000	Sewer Fees- Commercial	162,911.05	150,000.00	1,888.18	164,136.48	14,136.48	109
008-364-140-000	Late Fees	10,022.16	8,000.00	427.62	10,947.76	2,947.76	137
008-364-150-000	Certification Fees	1,075.00	1,000.00	30.00	695.00	305.00 -	70
	364 Total	797,740.24	823,420.48	8,563.23	840,110.78	16,690.30	102
008-381-000-000	Miscellaneous Income	395,907.88	25.00	0.00	0.00	25.00 -	0
008-381-200-000	Insurance Proceeds	395,907.88 -	0.00	0.00	0.00	0.00	0
	381 Miscellaneous Income	0.00	25.00	0.00	0.00	25.00 -	0
008-392-300-000	Transfer from Capital Fund	946.66	0.00	0.00	0.00	0.00	0
	Fund 008 Revenue Totals	869,308.30	838,445.48	13,063.89	901,664.24	63,218.76	107
<u>Expenditure Account</u>	<u>Description</u>	<u>Prior Yr Expd</u>	<u>Budgeted</u>	<u>Current Expd</u>	<u>YTD Expended</u>	<u>Unexpended</u>	<u>% Expd</u>
008-429-000-000	WASTWATER COLLECTION AND TREATMENT	0.00	0.00	0.00	0.00	0.00	0
008-429-242-000	Alarm Services	601.55	1,232.00	0.00	2,006.57	774.57 -	163
008-429-300-000	Other Expenses	229,663.61	209,652.00	22,106.23	243,335.58	33,683.58 -	116
008-429-313-000	Engineering	10,263.14	10,000.00	213.50	9,748.00	252.00	97
008-429-314-000	Legal	4,361.58	5,000.00	102.00	1,762.51	3,237.49	35
008-429-316-000	Plant Operations	90,035.00	91,056.00	76.50	74,902.41	16,153.59	82
008-429-321-000	Telephone	1,072.67	1,080.00	139.24	1,124.26	44.26 -	104
008-429-361-000	Utilities	123,667.17	135,000.00	21,460.55	131,453.95	3,546.05	97
008-429-374-000	Equipment & Repairs	29,435.51	27,960.00	2,979.94	26,019.20	1,940.80	93
008-429-421-001	Center Point- Operations	5,910.00	6,444.00	0.00	5,070.00	1,374.00	79

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expendd</i>	<i>Unexpended</i>	<i>% Expd</i>
008-429-421-002	Center Point- Utilities & Repairs	5,316.68	7,572.00	732.78	7,451.50	120.50	98
008-429-422-001	Meadowood- Operations	5,910.00	6,444.00	0.00	5,177.00	1,267.00	80
008-429-422-002	Meadowood- Utilities & Repairs	3,528.70	6,540.00	662.06	6,493.61	46.39	99
008-429-423-001	Heritage Village- Operations	5,417.50	6,444.00	0.00	5,070.00	1,374.00	79
008-429-423-002	Heritage Village- Utilities & Repairs	4,031.60	6,648.00	802.47	5,131.29	1,516.71	77
008-429-424-001	Fawn Creek- Operations	7,065.00	6,444.00	0.00	5,337.50	1,106.50	83
008-429-424-002	Fawn Creek- Utilities & Repairs	3,474.99	5,532.00	512.91	4,708.66	823.34	85
008-429-425-001	Chadwick Place- Operations	5,910.00	6,444.00	0.00	5,070.00	1,374.00	79
008-429-425-002	Chadwick Place- Utilities & Repairs	3,099.61	5,700.00	580.46	4,528.98	1,171.02	79
008-429-426-001	Adair Pump- Operations	6,787.50	6,444.00	0.00	5,070.00	1,374.00	79
008-429-426-002	Adair Pump- Utilities & Repairs	4,079.32	5,580.00	343.38	5,060.52	519.48	91
008-429-700-000	Capital Improvements	93,008.54	89,880.00	6,759.25	174,958.76	85,078.76 -	195
008-429-800-000	Depreciation	313,669.00	0.00	0.00	0.00	0.00	0
	429 WASTWATER COLLECTION AND TREATN	956,308.67	647,096.00	57,471.27	729,480.30	82,384.30 -	113
008-471-000-000	DEBT PRINCIPAL:	0.00	0.00	0.00	0.00	0.00	0
008-471-200-000	General Obligation Bond- Principal	0.00	130,000.00	135,000.00	135,000.00	5,000.00 -	104
008-472-000-000	DEBT INTEREST:	0.00	0.00	0.00	0.00	0.00	0
008-472-200-000	General Obligation Bond- Interest	36,556.26	41,431.26	16,928.13	33,856.26	7,575.00	82
008-475-000-000	Fiscal Agent Fees- 2016 Bond	1,050.00	1,100.00	0.00	1,050.00	50.00	95
008-486-000-000	INSURANCE:	0.00	0.00	0.00	0.00	0.00	0
008-486-350-000	Insurance Expense	6,689.50	6,971.50	0.00	6,971.50	0.00	100
	Fund 008 Expenditure Totals	1,000,604.43	826,598.76	209,399.40	906,358.06	79,759.30 -	110

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures01/16/2026
10:47 AM

008 Fund	Prior	Current	YTD
Revenues:	869,308.30	13,063.89	901,664.24
Expenditures:	1,000,604.43	209,399.40	906,358.06
Net Income:	131,296.13 -	196,335.51 -	4,693.82 -

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<i>Revenue Account</i>	<i>Description</i>	<i>Prior Yr Rev</i>	<i>Anticipated</i>	<i>Curr Rev</i>	<i>YTD Rev</i>	<i>Excess/Deficit</i>	<i>% Real</i>
030-341-000-000	Interest Earnings	876,161.07	720,000.00	61,117.62	786,544.65	66,544.65	109
030-354-351-000	Grants	193,560.00	173,442.00	0.00	0.00	173,442.00	0
030-363-100-000	Traffic Impact Fees	66,183.77	14,204.00	6,250.00	19,672.39	5,468.39	138
030-381-000-000	Miscellaneous Income	3,500.00	2,000.00	6,000.00	8,388.75	6,388.75	419
030-392-010-000	Transfer From General Fund	2,150,435.68	981,391.33	1,915,704.60	1,915,704.60	934,313.27	195
030-395-000-000	Refund of Prior Year Expenditures	8,100.00	0.00	0.00	0.00	0.00	0
Fund 030 Revenue Totals		3,297,940.52	1,891,037.33	1,989,072.22	2,730,310.39	839,273.06	144
<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
030-405-000-000	SECRETARY/CLERK:	0.00	0.00	0.00	0.00	0.00	0
030-405-720-000	Office Equipment	7,440.73	44,500.00	0.00	4,986.89	39,513.11	11
030-409-000-000	GOVERNMENT BUILIDINGS & PLANTS:	0.00	0.00	0.00	0.00	0.00	0
030-409-600-000	Building Improvements	3,696.24	51,500.00	0.00	14,293.00	37,207.00	28
030-430-600-000	Capital Roads	1,286,036.57	1,377,070.00	466,955.90	619,046.93	758,023.07	45
030-430-740-000	Equipment Purchases	134,738.97	425,173.42	1,903.98	406,150.99	19,022.43	96
430 Total		1,420,775.54	1,802,243.42	468,859.88	1,025,197.92	777,045.50	57
030-433-600-000	Traffic Signs & Signals	12,228.00	33,000.00	0.00	0.00	33,000.00	0
030-454-600-000	Parks and Trails	210,489.29	411,800.00	74,654.72	229,660.49	182,139.51	56

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
030-454-710-000	Land Acquisition	10,386.41	31,000.00	0.00	0.00	31,000.00	0
	454 Total	220,875.70	442,800.00	74,654.72	229,660.49	213,139.51	52
030-471-201-000	Bond principal	35,000.00	0.00	0.00	0.00	0.00	0
030-472-200-000	Loan Interest	100,808.06	135,908.85	0.00	135,908.85	0.00	100
030-492-010-000	Transfer to General Fund	350,000.00	0.00	0.00	0.00	0.00	0
030-492-080-000	Transfer to Sewer Fund	946.66	0.00	0.00	0.00	0.00	0
	492 Total	350,946.66	0.00	0.00	0.00	0.00	0
	Fund 030 Expenditure Totals	2,151,770.93	2,509,952.27	543,514.60	1,410,047.15	1,099,905.12	56

030 Fund	Prior	Current	YTD
Revenues:	3,297,940.52	1,989,072.22	2,730,310.39
Expenditures:	2,151,770.93	543,514.60	1,410,047.15
Net Income:	1,146,169.59	1,445,557.62	1,320,263.24

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

01/16/2026
10:47 AM

<i>Revenue Account</i>	<i>Description</i>	<i>Prior Yr Rev</i>	<i>Anticipated</i>	<i>Curr Rev</i>	<i>YTD Rev</i>	<i>Excess/Deficit</i>	<i>% Real</i>
035-341-000-000	Interest Earnings	15,747.02	6,000.00	1,501.23	16,604.83	10,604.83	277
035-355-020-000	Liquid Fuel Funds	357,387.92	355,778.42	0.00	363,411.52	7,633.10	102
	Fund 035 Revenue Totals	373,134.94	361,778.42	1,501.23	380,016.35	18,237.93	105
<i>Expenditure Account</i>	<i>Description</i>	<i>Prior Yr Expd</i>	<i>Budgeted</i>	<i>Current Expd</i>	<i>YTD Expended</i>	<i>Unexpended</i>	<i>% Expd</i>
035-438-000-000	ROADS & BRIDGES	0.00	0.00	0.00	0.00	0.00	0
035-438-370-000	Road Maintenance Contractor	350,000.00	0.00	357,000.00	357,000.00	357,000.00 -	0
	Fund 035 Expenditure Totals	350,000.00	0.00	357,000.00	357,000.00	357,000.00 -	0
		035 Fund	Prior	Current	YTD		
		Revenues:	373,134.94	1,501.23	380,016.35		
		Expenditures:	350,000.00	357,000.00	357,000.00		
		Net Income:	23,134.94	355,498.77 -	23,016.35		

TOWNSHIP OF WORCESTER
Statement of Revenue and Expenditures

01/16/2026
10:47 AM

Revenue Account	Description	Prior Yr Rev	Anticipated	Curr Rev	YTD Rev	Excess/Deficit	% Real
040-341-109-000	Interest 1622 Hollow Road	278.12	0.00	18.58	238.19	238.19	0
040-341-200-000	Interest Earnings Developers	1,328.64	0.00	71.67	975.69	975.69	0
341 Total		1,606.76	0.00	90.25	1,213.88	1,213.88	0
Fund 040 Revenue Totals		1,606.76	0.00	90.25	1,213.88	1,213.88	0

040 Fund	Prior	Current	YTD
Revenues:	1,606.76	90.25	1,213.88
Expenditures:	0.00	0.00	0.00
Net Income:	1,606.76	90.25	1,213.88

Grand Totals	Prior	Current	YTD
Revenues:	9,984,571.87	2,186,268.27	8,441,988.40
Expenditures:	8,882,816.78	3,258,585.55	7,953,146.53
Net Income:	1,101,755.09	1,072,317.28	488,841.87

Worcester Volunteer Fire Department

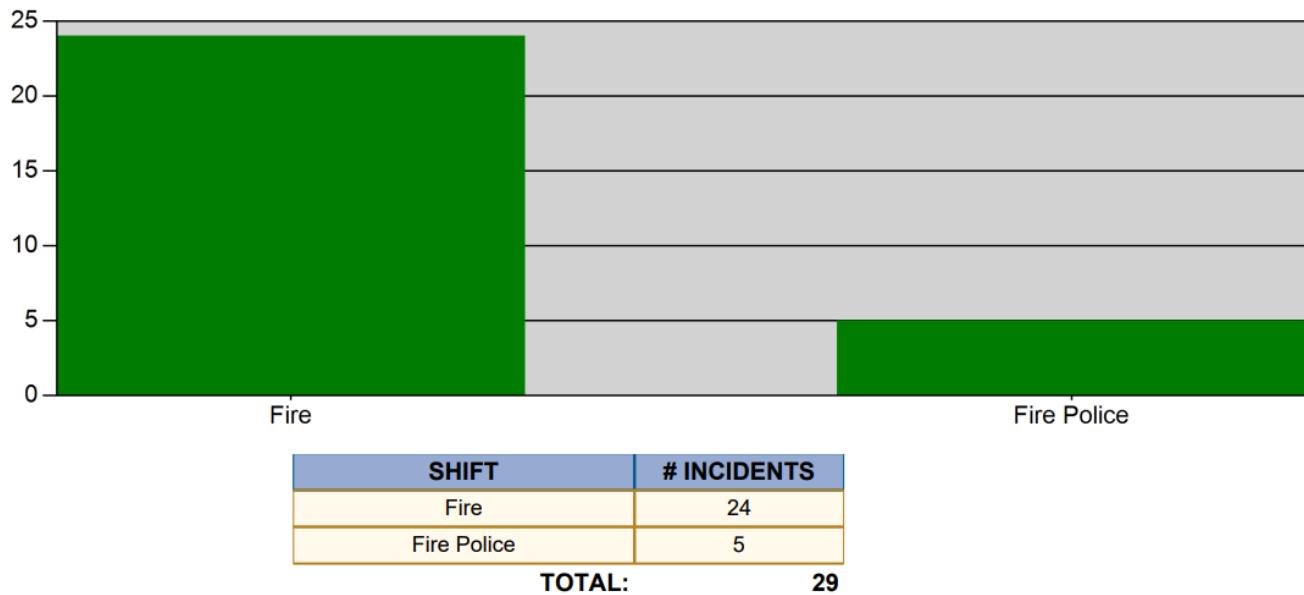
Worcester, PA

This report was generated on 1/4/2026 9:14:23 PM



Incidents by Shift for Date Range

Start Date: 12/01/2025 | End Date: 12/31/2025



Fire Call Average Attendance: 17.3

Call Man Hours: 181.9

FP Call Average Attendance: 4.2

Drill Man Hours: 82:00

Drill Average Attendance: 41

Events: 4

Daytime Calls Twp Employees Assisted On: 8

Total Elapsed Time on Calls: 12:35:25

Worcester Volunteer Fire Department

Worcester, PA

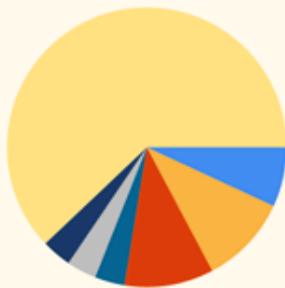
This report was generated on 1/4/2026 9:17:28 PM



Count of Incidents by Incident Type per Zone

Incident Status: Reviewed | Start Date: 12/01/2025 | End Date: 12/31/2025

% of Incidents per Zone



- 33 - WHITPAIN
- 53 - LOWER PROVIDENCE
- 61 - EAST NORRITON
- 76 - TOWAMENCIN
- 80 - UPPER GWYNEDD
- 86 - SKIPPACK
- 83 - WORCESTER

INCIDENT TYPE	# INCIDENTS	% of TOTAL
33 - WHITPAIN		
111 - Building fire	1	3.45%
611 - Dispatched & cancelled en route	1	3.45%
Zone: 33 - WHITPAIN Total Incident:	2	6.90%
53 - LOWER PROVIDENCE		
111 - Building fire	2	6.90%
551 - Assist police or other governmental agency	1	3.45%
Zone: 53 - LOWER PROVIDENCE Total Incident:	3	10.34%
61 - EAST NORRITON		
111 - Building fire	2	6.90%
322 - Motor vehicle accident with injuries	1	3.45%
Zone: 61 - EAST NORRITON Total Incident:	3	10.34%
76 - TOWAMENCIN		
424 - Carbon monoxide incident	1	3.45%
Zone: 76 - TOWAMENCIN Total Incident:	1	3.45%
80 - UPPER GWYNEDD		
111 - Building fire	1	3.45%
Zone: 80 - UPPER GWYNEDD Total Incident:	1	3.45%
83 - WORCESTER		
113 - Cooking fire, confined to container	1	3.45%
311 - Medical assist, assist EMS crew	2	6.90%
322 - Motor vehicle accident with injuries	5	17.24%
440 - Electrical wiring/equipment problem, other	1	3.45%
444 - Power line down	1	3.45%
500 - Service Call, other	1	3.45%
531 - Smoke or odor removal	1	3.45%
551 - Assist police or other governmental agency	1	3.45%

Report shows count of incidents for Status selected.



emergencyreporting.com

Doc Id: 1390

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631 - Authorized controlled burning	1	3.45%
651 - Smoke scare, odor of smoke	1	3.45%
661 - EMS call, party transported by non-fire agency	1	3.45%
745 - Alarm system activation, no fire - unintentional	1	3.45%
746 - Carbon monoxide detector activation, no CO	1	3.45%
Zone: 83 - WORCESTER Total Incident:	18	62.07%
86 - SKIPACK		
322 - Motor vehicle accident with injuries	1	3.45%
Zone: 86 - SKIPACK Total Incident:	1	3.45%
TOTAL INCIDENTS FOR ALL ZONES:	29	100%

Report shows count of incidents for Status selected.



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Number of Records Returned: 177

Search Criteria: which_cad='P' and occ_date between '2025-12-01' and '2025-12-31' and municipality='46226' and jurisdiction='PA'

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-1492604	2025-1492604	Dec-01-2025	13:33:18	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	266 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1492671	2025-1492671	Dec-01-2025	13:55:28	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	MILL RD / VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1492722	2025-1492722	Dec-01-2025	14:08:27	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	270 I476 N [ZONE 22, WORCESTER TWP (MONTGOMERY)]	Yes	CLOSED CAD CALL
PA 2025-1493133	2025-1493133	Dec-01-2025	15:47:59	911 (911 HANG UP CALL GO)	911 (911 HANG UP CALL GO)	902 PATRIOT LN, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1499087	2025-1499087	Dec-02-2025	19:47:03	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	3200 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	WARNING (TRAFFIC STOP)
PA 2025-1499427	2025-1499427	Dec-02-2025	23:01:56	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2520 BRUNER CIR, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1499662	2025-1499662	Dec-03-2025	03:49:32	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2599 W TOWNSHIP LINE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1501007	2025-1501007	Dec-03-2025	09:58:35	DOAN (DEATH - NATURAL)	DOAN (DEATH - NATURAL)	3205 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1501315	2025-1501315	Dec-03-2025	11:00:45	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	2064 SHEARER RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1502035	2025-1502035	Dec-03-2025	14:07:48	SEEFOC(SEE OFFICER GO)	SEEFOC(SEE OFFICER GO)	3429 MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1502587	2025-1502587	Dec-03-2025	16:07:35	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1502589	2025-1502589	Dec-03-2025	16:08:15	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	ISTAT (INTERSTATE HIGHWAY - STATIONARY PATROL CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1503603	2025-1503603	Dec-03-2025	21:44:43	MVCNR (MVC - NON-REPORTABLE)	CANCEL(CANCELLED BY COMPLAINANT X)	W GERMANTOWN PIKE / VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1503818	2025-1503818	Dec-03-2025	23:51:14	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	400 BLOCK E MOUNT KIRK AVE, WORCESTER TWP (MONTGOMERY)	Yes	WARNING (TRAFFIC STOP)
PA 2025-1506216	2025-1506216	Dec-04-2025	14:39:32	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	E MOUNT KIRK AVE / W GERMANTOWN PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1506964	2025-1506964	Dec-04-2025	17:49:19	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	1900 BLOCK HUNT VALLEY RD, WORCESTER TWP (MONTGOMERY)	Yes	WARNING (TRAFFIC STOP)
PA 2025-1507475	2025-1507475	Dec-04-2025	21:28:22	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2960 FIELDCREST WAY, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1510446	2025-1510446	Dec-05-2025	15:27:42	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	SKIPPACK PIKE / S VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-1510850	2025-1510850	Dec-05-2025	17:04:38	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	1005 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1511148	2025-1511148	Dec-05-2025	18:42:02	911 (911 HANG UP CALL GO)	911 (911 HANG UP CALL GO)	LOCUST DR / SUNNY AYRE DR, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1513268	2025-1513268	Dec-06-2025	11:08:12	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	3213 HOGARTH LN, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1513729	2025-1513729	Dec-06-2025	14:20:08	MVCHR (MVC - HIT AND RUN, NO INJURIES)	MVCNR (MVC - NON-REPORTABLE)	SKIPACK PIKE / BUSTARD RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1514191	2025-1514191	Dec-06-2025	16:28:58	911 (911 HANG UP CALL GO)	911 (911 HANG UP CALL GO)	3425 SKIPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1514452	2025-1514452	Dec-06-2025	18:14:40	911 (911 HANG UP CALL GO)	911 (911 HANG UP CALL GO)	2954 SKIPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1514628	2025-1514628	Dec-06-2025	19:31:28	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	2900 BLOCK SKIPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1514725	2025-1514725	Dec-06-2025	20:11:30	SUSPP (SUSPICIOUS PERSON GO)	SEE OFC(SEE OFFICER GO)	2512 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1516170	2025-1516170	Dec-07-2025	08:10:08	302 (MENTAL HEALTH ACT GO)	DOMO (DOMESTIC - OTHER GO)	116 BRINDLE CT, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1517477	2025-1517477	Dec-07-2025	16:41:08	SEE OFC(SEE OFFICER GO)	SEE OFC(SEE OFFICER GO)	2124 SCHULTZ RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1519638	2025-1519638	Dec-08-2025	08:51:57	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	3009 W GERMANTOWN PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1522432	2025-1522432	Dec-08-2025	21:49:47	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2111 COUNTRY VIEW LN, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1523594	2025-1523594	Dec-09-2025	07:41:56	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	S VALLEY FORGE RD / SKIPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1523938	2025-1523938	Dec-09-2025	08:37:58	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	BETHEL RD / SKIPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1526167	2025-1526167	Dec-09-2025	16:06:19	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	262 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1526229	2025-1526229	Dec-09-2025	16:19:04	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	273 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1526960	2025-1526960	Dec-09-2025	19:53:22	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	900 BLK MORRIS RD[MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1527090	2025-1527090	Dec-09-2025	20:43:38	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	1900 BLK VALLEY FORGE RD[VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-1527120	2025-1527120	Dec-09-2025	20:56:27	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	800 BLOCK N PARK AVE, WORCESTER TWP (MONTGOMERY)	Yes	WARNING (TRAFFIC STOP)
PA 2025-1527224	2025-1527224	Dec-09-2025	21:46:24	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	2851 DEFFORD RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1528132	2025-1528132	Dec-10-2025	07:06:41	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	267 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	WARNING (TRAFFIC STOP)
PA 2025-1530460	2025-1530460	Dec-10-2025	15:03:30	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	258 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1533927	2025-1533927	Dec-11-2025	11:40:43	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	BUSTARD RD / SADDLE WOOD CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1534781	2025-1534781	Dec-11-2025	15:30:28	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	3310 STUMP HALL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1535068	2025-1535068	Dec-11-2025	16:44:11	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	SKIPPACK PIKE / S VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1536643	2025-1536643	Dec-12-2025	06:42:15	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCI (MVC - INJURIES)	S VALLEY FORGE RD / FISHER RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1537332	2025-1537332	Dec-12-2025	08:38:10	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2574 MUIRFIELD WAY, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1537437	2025-1537437	Dec-12-2025	09:06:41	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	274 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1538983	2025-1538983	Dec-12-2025	15:44:52	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	2222 S VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1539434	2025-1539434	Dec-12-2025	17:52:14	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	258 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1540660	2025-1540660	Dec-13-2025	02:05:57	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	2200 BLOCK S VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	WARNING (TRAFFIC STOP)
PA 2025-1541793	2025-1541793	Dec-13-2025	10:33:35	911 (911 HANG UP CALL GO)	911 (911 HANG UP CALL GO)	326 SILO MILL LN, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1544413	2025-1544413	Dec-14-2025	01:38:10	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	BERKS RD / POTSHOP RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1544779	2025-1544779	Dec-14-2025	06:08:37	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	905 N TROOPER RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1544784	2025-1544784	Dec-14-2025	06:11:48	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCNR (MVC - NON-REPORTABLE)	SKIPPACK PIKE / SHEARER RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT



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PA 2025-1544896	2025-1544896	Dec-14-2025	06:41:17	DISM (DISABLED MOTORIST CC)	DISM (DISABLED MOTORIST CC)	WATER STREET RD / VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1545387	2025-1545387	Dec-14-2025	08:11:03	DISM (DISABLED MOTORIST CC)	DISM (DISABLED MOTORIST CC)	SKIPPACK PIKE / BERKS RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1546990	2025-1546990	Dec-14-2025	17:26:31	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	1567 POTSHOP RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1549242	2025-1549242	Dec-15-2025	09:51:55	DOM (DOMESTIC - INACTIVE)	DOMO (DOMESTIC - OTHER GO)	65 BRISTOL CT, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1549669	2025-1549669	Dec-15-2025	11:32:16	MVCHR (MVC - HIT AND RUN, NO INJURIES)	MVCHR (MVC - HIT AND RUN, NO INJURIES)	1112 N PARK AVE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1550009	2025-1550009	Dec-15-2025	12:47:19	MVCNR (MVC - NON-REPORTABLE)	CANCEL(CANCELLED BY COMPLAINANT X)	SKIPPACK PIKE / BETHEL RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1550225	2025-1550225	Dec-15-2025	13:46:48	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	269 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1553180	2025-1553180	Dec-16-2025	08:30:34	DISM (DISABLED MOTORIST CC)	TS (TRAFFIC STOP CC)	274 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1553488	2025-1553488	Dec-16-2025	09:39:07	SUAT (SUICIDE - ATTEMPT OR THREAT)	SUAT (SUICIDE - ATTEMPT OR THREAT)	2610 RESOLUTION RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1556634	2025-1556634	Dec-16-2025	23:56:25	SEEOF(SEE OFFICER GO)	SEEOF(SEE OFFICER GO)	1701 GRANT RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1557432	2025-1557432	Dec-17-2025	07:26:32	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	3200 BLOCK W GERMANTOWN PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1557764	2025-1557764	Dec-17-2025	08:17:53	MVCNR (MVC - NON-REPORTABLE)	CANCEL(CANCELLED BY COMPLAINANT X)	S VALLEY FORGE RD / SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1558970	2025-1558970	Dec-17-2025	12:18:36	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	1025 VALLEY FORGE RD [FAIRVIEW POST OFFICE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1559466	2025-1559466	Dec-17-2025	14:19:05	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	3215 HOGARTH LN, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1559480	2025-1559480	Dec-17-2025	14:23:39	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	2005 S VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1560301	2025-1560301	Dec-17-2025	17:14:02	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	1900 HOLLOW RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1561267	2025-1561267	Dec-17-2025	23:03:56	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	MORRIS RD / TRUMBAUER RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1561522	2025-1561522	Dec-18-2025	01:56:38	SEEOF(SEE OFFICER GO)	SEEOF(SEE OFFICER GO)	3205 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE



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PA 2025-1561632	2025-1561632	Dec-18-2025	05:08:30	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	1410 N GRANGE AVE, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1562177	2025-1562177	Dec-18-2025	07:28:00	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	943 N PARK AVE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1562407	2025-1562407	Dec-18-2025	08:06:27	OTHER (OTHER GO)	REFER (REFER TO OTHER AGENCY - PD R)	N WALES RD / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	REFER
PA 2025-1563654	2025-1563654	Dec-18-2025	13:07:12	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	133 MEADOW VIEW LN, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1564066	2025-1564066	Dec-18-2025	14:47:35	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	W GERMANTOWN PIKE / E MOUNT KIRK AVE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1564312	2025-1564312	Dec-18-2025	15:24:32	CY104 (CHILDLINE)	SEEFOFC(SEE OFFICER GO)	943 HERITAGE DR, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1564522	2025-1564522	Dec-18-2025	16:07:16	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	N WALES RD / MORRIS RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1564868	2025-1564868	Dec-18-2025	17:48:24	MVCIE (MVC - INJURIES AND ENTRAPMENT)	MVCI (MVC - INJURIES)	SKIPPACK PIKE / N WHITEHALL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1566144	2025-1566144	Dec-19-2025	06:22:05	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	REFER (REFER TO OTHER AGENCY - PD R)	W GERMANTOWN PIKE / VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	REFER
PA 2025-1568192	2025-1568192	Dec-19-2025	13:52:35	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	275 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1568280	2025-1568280	Dec-19-2025	14:05:41	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	256 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1568997	2025-1568997	Dec-19-2025	16:02:54	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	2607 RESOLUTION RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1569134	2025-1569134	Dec-19-2025	16:30:51	MVCI (MVC - INJURIES)	MVCI (MVC - INJURIES)	1970 VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1569146	2025-1569146	Dec-19-2025	16:33:20	MVCHR (MVC - HIT AND RUN, NO INJURIES)	MVCHR (MVC - HIT AND RUN, NO INJURIES)	2913 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1569167	2025-1569167	Dec-19-2025	16:41:01	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	1704 KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1569321	2025-1569321	Dec-19-2025	17:19:24	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	3017 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1569385	2025-1569385	Dec-19-2025	17:37:39	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	2134 SCHULTZ RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



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PA 2025-1571454	2025-1571454	Dec-20-2025	08:25:08	DOAN (DEATH - NATURAL)	DOAN (DEATH - NATURAL)	2505 SPRING CREEK RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1572226	2025-1572226	Dec-20-2025	12:37:26	DISM (DISABLED MOTORIST CC)	DISM (DISABLED MOTORIST CC)	270 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1572358	2025-1572358	Dec-20-2025	13:12:30	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	269 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1572389	2025-1572389	Dec-20-2025	13:24:36	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	274 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1574751	2025-1574751	Dec-21-2025	06:18:11	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	265 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1575516	2025-1575516	Dec-21-2025	10:00:06	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1575545	2025-1575545	Dec-21-2025	10:08:02	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	1700 N WHITEHALL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1578035	2025-1578035	Dec-22-2025	05:16:21	MVCRNI(MVC - REPORTABLE, NO INJURIES)	DISMT (DISABLED MOTORIST ON ROAD CC)	QUARRY HALL RD / GRIFFITH RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1579096	2025-1579096	Dec-22-2025	09:31:55	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	256 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1579165	2025-1579165	Dec-22-2025	09:46:30	MVCNR (MVC - NON-REPORTABLE)	CANCEL(CANCELLED BY COMPLAINANT X)	S VALLEY FORGE RD / SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1579217	2025-1579217	Dec-22-2025	10:00:07	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1581599	2025-1581599	Dec-22-2025	20:49:00	TS (TRAFFIC STOP CC)	DISM (DISABLED MOTORIST CC)	274 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1581815	2025-1581815	Dec-22-2025	22:46:48	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	3017 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1582708	2025-1582708	Dec-23-2025	07:08:15	MVCNR (MVC - NON-REPORTABLE)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	W TOWNSHIP LINE RD / N WHITEHALL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1582811	2025-1582811	Dec-23-2025	07:32:27	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	N GRANGE AVE / GREEN HILL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1582993	2025-1582993	Dec-23-2025	08:09:46	DISMT (DISABLED MOTORIST ON ROAD CC)	DISM (DISABLED MOTORIST CC)	W TOWNSHIP LINE RD / N WHITEHALL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1583457	2025-1583457	Dec-23-2025	10:00:07	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1583521	2025-1583521	Dec-23-2025	10:04:57	THEFTF(THEFT - FRAUD/FORGERY)	THEFTF(THEFT - FRAUD/FORGERY)	11 W ADAIR DR, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE



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PA 2025-1584006	2025-1584006	Dec-23-2025	12:14:49	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	2604 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1584405	2025-1584405	Dec-23-2025	14:25:20	MVCI (MVC - INJURIES)	MVCI (MVC - INJURIES)	W TOWNSHIP LINE RD / N WHITEHALL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1584904	2025-1584904	Dec-23-2025	16:47:27	MVCI (MVC - INJURIES)	MVCI (MVC - INJURIES)	276 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1584927	2025-1584927	Dec-23-2025	16:52:31	MVCHR (MVC - HIT AND RUN, NO INJURIES)	MVCNR (MVC - NON-REPORTABLE)	S VALLEY FORGE RD / STEELMAN RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1585423	2025-1585423	Dec-23-2025	20:04:23	DOM (DOMESTIC - INACTIVE)	DOMO (DOMESTIC - OTHER GO)	1431 TWO GLENS LN, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1587011	2025-1587011	Dec-24-2025	08:25:50	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	CANCEL(CANCELLED BY COMPLAINANT X)	2039 WENTZ CHURCH RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1587193	2025-1587193	Dec-24-2025	09:05:13	ANIMAL(ANIMAL LOST - FOUND CC)	ANIMAL(ANIMAL LOST - FOUND CC)	1814 VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1587448	2025-1587448	Dec-24-2025	10:00:07	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1589327	2025-1589327	Dec-24-2025	17:17:28	DOM (DOMESTIC - INACTIVE)	DOMO (DOMESTIC - OTHER GO)	3000 LIBERTY LN, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1589357	2025-1589357	Dec-24-2025	17:36:22	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	257 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1589865	2025-1589865	Dec-24-2025	20:16:09	911 (911 HANG UP CALL GO)	PATCHK(PATROL CHECK CC)	CEDARS HILL RD / SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1590961	2025-1590961	Dec-25-2025	07:15:38	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	266 I476 S [ZONE 22 SB, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1591280	2025-1591280	Dec-25-2025	10:00:07	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1591925	2025-1591925	Dec-25-2025	15:10:11	911 (911 HANG UP CALL GO)	911 (911 HANG UP CALL GO)	1875 STEIGER RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1592089	2025-1592089	Dec-25-2025	16:27:07	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	2513 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1592222	2025-1592222	Dec-25-2025	17:24:48	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	W GERMANTOWN PIKE / N PARK AVE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1592637	2025-1592637	Dec-25-2025	21:51:12	WELCK (WELFARE CHECK GO)	PATCHK(PATROL CHECK CC)	W GERMANTOWN PIKE / VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



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PA 2025-1593055	2025-1593055	Dec-26-2025	02:01:31	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC)	1900 HOLLOW RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1593682	2025-1593682	Dec-26-2025	07:40:32	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	VALLEY FORGE RD / HICKORY HILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1593687	2025-1593687	Dec-26-2025	07:42:02	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	267 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1593712	2025-1593712	Dec-26-2025	07:51:15	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	KRIEBEL MILL RD / GERMANTOWN PIKE (KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1594322	2025-1594322	Dec-26-2025	10:00:08	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1595650	2025-1595650	Dec-26-2025	14:12:56	SUSPP (SUSPICIOUS PERSON GO)	WELCK (WELFARE CHECK GO)	1025 VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1595825	2025-1595825	Dec-26-2025	14:58:14	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	266 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1595926	2025-1595926	Dec-26-2025	15:02:13	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	3019 STUMP HALL RD, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1596050	2025-1596050	Dec-26-2025	15:30:34	MOTCAS(MOTOR CARRIER SAFETY CC)	MOTCAS(MOTOR CARRIER SAFETY CC)	271 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1596351	2025-1596351	Dec-26-2025	16:54:53	MVCRNI(MVC - REPORTABLE, NO INJURIES)	MVCNR (MVC - NON-REPORTABLE)	2000 BETHEL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1597103	2025-1597103	Dec-26-2025	21:13:29	MVCUNK(MVC - UNKNOWN INJURIES)	MVCI (MVC - INJURIES)	257 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1598638	2025-1598638	Dec-27-2025	09:24:22	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1021 VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1598742	2025-1598742	Dec-27-2025	10:00:08	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1598881	2025-1598881	Dec-27-2025	10:29:36	DISM (DISABLED MOTORIST CC)	DISM (DISABLED MOTORIST CC)	VALLEY FORGE RD / LANE RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1599247	2025-1599247	Dec-27-2025	12:02:27	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	SKIPACK PIKE / N WHITEHALL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1599663	2025-1599663	Dec-27-2025	13:39:54	SEEOF(CSEE OFFICER GO)	BURG (BURGLARY OR ATTEMPTED BURGLARY)	3232 SKIPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-1600458	2025-1600458	Dec-27-2025	16:34:24	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	269 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1600882	2025-1600882	Dec-27-2025	18:19:38	WELCK (WELFARE CHECK GO)	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	1126 VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1601457	2025-1601457	Dec-27-2025	20:59:26	ALARMB(ALARM - BURGLAR)	CANCEL(CANCELLED BY COMPLAINANT X)	314 SILO MILL LN, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1601810	2025-1601810	Dec-27-2025	22:58:05	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	1431 TWO GLENS LN, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1602841	2025-1602841	Dec-28-2025	07:24:35	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	275 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1603323	2025-1603323	Dec-28-2025	10:00:09	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1603516	2025-1603516	Dec-28-2025	10:42:16	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	VALLEY FORGE RD / W GERMANTOWN PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1603531	2025-1603531	Dec-28-2025	10:49:21	TRERDR(TRAFFIC VIOLATION/ERRATIC DRIVER CC)	PATCHK(PATROL CHECK CC)	SKIPACK PIKE / N WHITEHALL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1604772	2025-1604772	Dec-28-2025	16:14:38	MVCNR (MVC - NON-REPORTABLE)	MVCNR (MVC - NON-REPORTABLE)	CHURCH RD / WHEATSHEAF LN, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1605279	2025-1605279	Dec-28-2025	18:52:49	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	RAPDGO(REQUEST ASSIST - LOCAL PD GO)	2613 WINDSTORM WAY, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1607329	2025-1607329	Dec-29-2025	10:00:09	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1607765	2025-1607765	Dec-29-2025	11:31:50	SEEOF(SEE OFFICER GO)	SEEOF(SEE OFFICER GO)	W GERMANTOWN PIKE / VALLEY FORGE RD [FAIRVIEW VILLAGE, WORCESTER TWP (MONTGOMERY)]	Yes	GENERAL OFFENSE
PA 2025-1608466	2025-1608466	Dec-29-2025	14:21:20	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	269 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1608490	2025-1608490	Dec-29-2025	14:25:21	DOMA (DOMESTIC - IN PROGRESS)	HARASS (HARASSMENT - COMM - STALK - OTHER)	3101 SKIPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1608500	2025-1608500	Dec-29-2025	14:29:45	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	ILNZN (INTERSTATE HIGHWAY - CLEAR LINE ZONE CC)	269 I476 S [ZONE 22, WORCESTER TWP (MONTGOMERY)]	Yes	CLOSED CAD CALL
PA 2025-1608897	2025-1608897	Dec-29-2025	15:50:29	IDTHFT(IDENTITY THEFT)	IDTHFT(IDENTITY THEFT)	2938 WOODLYN AVE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-1610565	2025-1610565	Dec-30-2025	05:35:46	ALARMB(ALARM - BURGLAR)	ALRMF (ALARM FALSE FAULT CC) (MONTGOMERY)	802 CHERRY CIR, WORCESTER TWP	Yes	CLOSED CAD CALL
PA 2025-1610604	2025-1610604	Dec-30-2025	06:00:16	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	3100 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1611072	2025-1611072	Dec-30-2025	07:32:34	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	1000 BLOCK KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1611701	2025-1611701	Dec-30-2025	09:50:01	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	VALLEY FORGE RD / MOHILL DR, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1611724	2025-1611724	Dec-30-2025	09:56:48	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	HEEBNER RD / SHEFLEY LN, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1611742	2025-1611742	Dec-30-2025	10:00:10	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1612461	2025-1612461	Dec-30-2025	12:50:07	PATCHK(PATROL CHECK CC)	PATCHK(PATROL CHECK CC)	S VALLEY FORGE RD / FISHER RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1612782	2025-1612782	Dec-30-2025	14:00:47	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	A - 3104 SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1613362	2025-1613362	Dec-30-2025	16:16:05	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	262 I476 N, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1614183	2025-1614183	Dec-30-2025	20:31:57	WELCK (WELFARE CHECK GO)	WELCK (WELFARE CHECK GO)	326 SILO MILL LN, WORCESTER TWP (MONTGOMERY)	Yes	GENERAL OFFENSE
PA 2025-1614290	2025-1614290	Dec-30-2025	21:19:26	RAOGO (REQUEST ASSIST - OTHER AGENCY GO)	CANCEL(CANCELLED BY COMPLAINANT X)	3001 W GERMANTOWN PIKE [SUNOCO, WORCESTER TWP (MONTGOMERY)	Yes	CANCELLED
PA 2025-1614645	2025-1614645	Dec-31-2025	00:12:32	MVCUNK(MVC - UNKNOWN INJURIES)	MVCRNI(MVC - REPORTABLE, NO INJURIES)	TOWNSHIP LINE RD / VALLEY FORGE RD, WORCESTER TWP (MONTGOMERY)	Yes	TRACS CRASH REPORT
PA 2025-1614875	2025-1614875	Dec-31-2025	04:46:44	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	2900 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1614892	2025-1614892	Dec-31-2025	05:14:00	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	2900 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1614910	2025-1614910	Dec-31-2025	05:37:10	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	2900 BLOCK SKIPPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1616259	2025-1616259	Dec-31-2025	09:27:34	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	DSCHSC(DOMESTIC SECURITY CHECK - SCHOOL CC)	KRIEBEL MILL RD / MILL RD [KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1616483	2025-1616483	Dec-31-2025	10:00:07	HOUSCK(HOUSE CHECK CC)	HOUSCK(HOUSE CHECK CC)	2500 SEVERN CT, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL



PENNSYLVANIA STATE POLICE

CAD Call Print Synopsis

Call #	Report #	Call Date	Time	Initial Call Type	Final Call Type	Location	Founded	Cleared By
PA 2025-1616645	2025-1616645	Dec-31-2025	10:18:35	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	1400 BLOCK KRIEBEL MILL RD, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1616940	2025-1616940	Dec-31-2025	10:53:43	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	1200 BLOCK N GRANGE AVE, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1619515	2025-1619515	Dec-31-2025	16:58:39	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	ROAD (ROAD HAZARD - ANIMAL - DEBRIS CC)	GREEN HILL RD / STUMP HALL RD, WORCESTER TWP (MONTGOMERY)	Yes	CLOSED CAD CALL
PA 2025-1620216	2025-1620216	Dec-31-2025	19:11:37	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	2600 BLOCK SKIPACK PIKE, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION
PA 2025-1620547	2025-1620547	Dec-31-2025	20:24:32	TS (TRAFFIC STOP CC)	TS (TRAFFIC STOP CC)	264 I476 S, WORCESTER TWP (MONTGOMERY)	Yes	TRAFFIC CITATION

Skippack Emergency Medical Services

4058 Mensch Rd
P.O. Box 59
Skippack, PA 19474

Business 610.454.9665
Fax 610.454.9666



Skippack EMS December 2025 calls Worcester Township

Calls dispatched	62
Transported	35
Refusals	6
No services *	4
Fire	0
Covered by other squads	17
Lift assist	0
Recall	0

* includes: accidental/false alarm for medical alert alarm, no patient found, deceased, or police matters

Skippack Emergency Medical Services

4058 Mensch Rd
P.O. Box 59
Skippack, PA 19474

Business 610.454.9665
Fax 610.454.9666



Skippack EMS Year-End 2025 calls Worcester Township

Calls dispatched	648
Transported	346
Refusals	52
No services *	26
Fire	6
Covered by other squads	191
Lift assist	5
Recall	10

* includes: accidental/false alarm for medical alert alarm, no patient found, deceased, or police matters

Public Works Department Report

December 2025

1) Road Maintenance

- A. Cleared inlets and drains throughout the Township
- B. Filled potholes throughout the Township
- C. Adding stone to roadway edge erosion areas
- D. General ROW cleanup
- E. Intersection visibility pruning

2) Storm Maintenance

- A. 12.2.25 Storm requiring winter roadway maintenance
- B. 12.6.25 Storm requiring winter roadway maintenance
- C. 12.12.25 Brined roadways prior to forecasted winter storm
- D. 12.14.25 Storm requiring winter roadway maintenance
- E. 12.23.25 Storm requiring winter roadway maintenance
- F. 12.26.25 Storm requiring winter roadway maintenance
- G. 12.27.25 Freezing conditions requiring winter roadway maintenance

3) Parks

- A. Twice weekly cleaning of restrooms, emptying trash receptacles, and stocking dog bags
- B. Repairing washouts and general trail maintenance
- C. Pruning and removal of dead trees in all parks and trail systems
- D. Fall cleanup of Township properties
- E. Zacharias Trail paving project, topsoil added to edges
- F. Mt Kirk restroom heater repair/upgrades

4) Vehicle/Equipment Maintenance

- A. Performed weekly maintenance of all Township vehicles
- B. Equipped and tested all vehicles for winter storm maintenance
- C. 64-25 Water pump replacement
- D. 64-39 PTO switch repair

5) Miscellaneous

- A. Setting up and cleaning of Community Hall for rentals and Township events
- B. Nike Compost facility open to residents twice weekly
- C. Scheduled residential bagged leaf pick up completed

Private Utility Enterprises, Inc

December 23, 2025

Dan DeMeno
Township of Worcester
1721 Valley Forge Road
Worcester, PA 19490

RE: Berwick STP PA0050393 and Valley Green STP PA0050393
Monthly Operation and Maintenance Report November 2025.

Mr DeMeno,

Attached, please find the summary of analytical results and operation and maintenance activities for the Berwick and Valley Green sewage treatment plants and collection system.

Please feel free to contact me with questions at the above number.

Thank you,



Teresa J Peachey
Office Manager

Cc: John Scully
John Evarts
Christian Jones

215-766-2626
pue@pueinc.com

1000 E Walnut Street
Suite 721
Perkasie, PA 18944

**Worcester Township WWTP
Operations and Maintenance Report**

November 2025

Non-Routine Maintenance / Events:

Pump Stations

11/03/25 - Meadowood Pump Station-Upon arrival, found the generator had a “low coolant temp” fault. Checked the block heater and it was heating. Flexed the hose and got the thermos-siphon started. Believe the temperature rating of the heater is not hot enough for this engine. Because it is not hot enough, the heater is unable to start the thermos-siphon consistently. Will replace the block heater tomorrow.

11/04/25 - Meadowood Pump Station- Replaced the external block heater for the emergency generator. The new heater’s temperature rating is higher than that of the one replaced. Ran the generator in HAND and purged any air from the cooling system. When finished, topped off the radiator with coolant. Will stop and check the generator tomorrow.

(Total time: 1.75 hours)

11/05/25 - Meadowood Pump Station- Checked the generator and verified operation of the new block heater. The coolant temp was at 91° F and no faults were present. Verified there were no leaks and topped off the coolant reservoir.

11/07/25 - Meadowood Pump Station- Callout at 0908 hours for Pumps 1&2 faulted. Upon arrival, found the VFDs for both pumps were faulted with undervoltage faults. Reset the VFDs and both pumps started running. Pumped down the level in the wet well. Pumps both ran a normal on/off cycle without issue. Pumps 1&2 are back online.

(Total time: 1.0 hours)

11/18/25 - Chadwick Pump Station- Plugged in the spare emergency dialer in place of onsite dialer and tried calling out. Tried to call into the dialer and in both tests, the phone line was busy. Contacted Verizon Problem Ticket to start a new problem ticket. Additional information was needed and a ticket could not get started. Will reach out again tomorrow with information needed.

(Total time: 1.0 hour)

11/19/25- Chadwick Pump Station- Contacted Verizon Problem Ticket and started a new problem ticket. Technician scheduled to be onsite Thursday, 11-20.

11/20/2025 - Chadwick Pump Station- Completed daily operations, checked floats and wet well, recorded readings, and maintenance. Verizon technician was onsite and repaired the phone line

for the emergency dialer. Placed a call from the dialer and called into it and was able to communicate with the dialer without issue. The emergency dialer phone line is back online. (Total time: 1.0 hour)



RECEIVED
► DEC 22 2025 ◄
RECEIVED

CKS Engineers
4259 West Swamp Road, Suite 410
Doylestown, PA 18902
P: 215.340.0600
www.cksengineers.com

December 17, 2025
Ref: #7200-208-25

Worcester Township
1721 Valley Forge Road
PO Box 767
Worcester, PA 19490-0767

Attention: / Dan DeMeno, Township Manager

Reference: 2025 Roadway Improvement Program
Contract No. 7200-208-25
Estimate No. Three (3)

Dear Dan:

Enclosed are four (4) copies of Estimate No. Three (3) for the above referenced contract in the amount of \$45,045.71. Please execute them in the appropriate places and return one (1) copy to us, one (1) copy to the contractor with payment and retain two (2) copies for your file.

The contractor's address is:

Heidelberg Materials Northeast, LLC
409 Stenton Avenue
Flourtown, PA 19031

Please contact us if you have any questions concerning this matter.

Very truly yours,
CKS ENGINEERS
Township Engineers


J. J. Kelso
Construction Manager

JJK/kgc
Encl: Estimate No. Three (3)

cc: John W. Evarts, CKS Engineers
James F. Weiss, CKS Engineers
File



You Live Our Work



CKS ENGINEERS

Page 1 of 3

Date: December 17, 2025

WORCESTER TOWNSHIP

2025 ROADWAY IMPROVEMENT PROGRAM

RECEIVED

CONTRACT NO. 7200-208-25

► DEC 22 2025 ◄

Bid Amount: \$1,029,395.60

RECEIVED

Estimate No. Three (3)

Work Performance Cut-Off Date: December 11, 2025

Value of Work Complete to Date Under:		
Materials	\$979,486.60	
Change Orders (Page #)	\$0.00	
Total Value of Work Completed to Date		\$979,486.60
Previous Total Value of Work Completed		\$973,311.60
Value of Work Completed this Estimate		\$6,175.00
Retainage (1% of Total Value of Work Completed to Date)		\$9,794.87
Total Value of Work Completed to Date, less Retainage		\$969,691.73
Total Value of Work Completed, Previously Certified		\$924,646.02
Amount to be Paid to Contractor Under this Estimate		\$45,045.71

The sum of Forty-Five Thousand, Forty-Five Dollars and Seventy-One Cents (\$45,045.71) is payable to Heidelberg Materials Northeast LLC as a payment for work completed under this Estimate.

Approved: Date 12/19/2025

Approved: Date 12/19/25

Heidelberg Materials Northeast LLC

CKS Engineers

By: Annie L Russo

By: [Signature]

Approved: Date _____

Worcester Township

By: _____

CKS ENGINEERS

Page 2 of 3

Date: December 17, 2025
Estimate No. Three (3)

WORCESTER TOWNSHIP

2025 ROADWAY IMPROVEMENT PROGRAM

CONTRACT NO. 7200-208-25

Bid Amount: \$1,029,395.60

Item No.	Description	Units	Qty.	Unit Prices	Amount/ Percent Complete	Total Item Prices
BASE CONTRACT: Crestline Drive, Hillside Circle, Long Meadow Road, Preble Circle, Quail Run, Stony Creek Road, Beyer Road, Overhill Road, E. Mount Kirk Avenue						
1	Concrete Curb Replacements (ADA)	LF	640	\$127.20	640	\$81,408.00
2	Concrete Sidewalk Replacements (ADA)	SF	4,240	\$26.40	4,240	\$111,936.00
3	Detectable Warning Surface (ADA) 44 Ramps	SF	272	\$62.50	272	\$17,000.00
4	Standard Concrete Curb Replacements (Property Owner)	LF	11	\$125.00	22	\$2,750.00
5	Curb Driveway Depression Replacements (Property Owner)	LF	259	\$125.00	299	\$37,375.00
6	Pavement Repair - Type I, 3" 19 mm Binder	SY	104	\$26.00	117	\$3,042.00
7	Full-Width Mill (1-1/2" Depth)	SY	54,012	\$2.20	52,822	\$116,208.40
8	Leveling/Scratch Course	TON	482	\$110.00		\$0.00
9	Wearing Course	TON	5,252	\$92.00	5,184	\$476,928.00
10	Roadway Widening	SY	211	\$85.00	201	\$17,085.00
11	Replace Traffic Signal Loop - Single	EA	1	\$2,071.00	1	\$2,071.00
12	Replace Traffic Signal Loop - Double	EA	1	\$2,283.00	1	\$2,283.00
13	Double Yellow Centerline	LF	350	\$3.20	290	\$928.00
14	6" White Lane Divider Line	LF	350	\$2.40	592	\$1,420.80
15	2' x 12' Stop Bar	EA	1	\$127.40	1	\$127.40
16	2' x 20' Stop Bar	EA	1	\$212.40	1	\$212.40
17	"Only" Legend	EA	4	\$265.50	4	\$1,062.00
18	Right Arrow	EA	2	\$212.35	2	\$424.70
19	Left Arrow	EA	2	\$212.35	2	\$424.70
20	Misc. Excavation Below Subgrade	CY	5	\$210.00		\$0.00
SUBTOTAL - BASE CONTRACT						\$872,686.40
ALTERNATE/ADD-ON NO. 1 - Creekside Drive, Pondview Drive and Spring Creek Road						
21	Concrete Curb Replacements (ADA)	LF	100	\$127.20	106	\$13,483.20
22	Concrete Sidewalk Replacements (ADA)	SF	480	\$26.40	990	\$26,136.00

CKS ENGINEERS

Page 3 of 3

Date: December 17, 2025
Estimate No. Three (3)

WORCESTER TOWNSHIP

2025 ROADWAY IMPROVEMENT PROGRAM

CONTRACT NO. 7200-208-25

Bid Amount: \$1,029,395.60

Item No.	Description	Units	Qty.	Unit Prices	Amount/ Percent Complete	Total Item Prices
23	Detectable Warning Surface (ADA) - 6 Ramps	SF	48	\$62.50	48	\$3,000.00
24	Full-Width Mill (1-1/2" Depth)	SY	5,796	\$2.50	5,796	\$14,490.00
25	Leveling/Scratch Course	TON	45	\$110.00		\$0.00
26	Wearing Course	TON	555	\$92.00	523	\$48,116.00
27	Misc. Excavation Below Subgrade	CY	5	\$225.00	7	\$1,575.00
SUBTOTAL - ALTERNATE ADD-ON NO. 1						\$106,800.20
TOTAL						\$979,486.60

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION 2026-02

**RESOLUTION TO SET VARIOUS FEES, ESCROWS AND OTHER PAYMENTS
CHARGED FOR CERTAIN TOWNSHIP SERVICES**

WHEREAS, various Township Ordinances and State Law provides for the establishment of fees for certain permits, reviews, inspections and/or other services, and as having said fees listed in a single document is of assistance and convenience to the general public;

NOW, THEREFORE, BE IT AND IT IS HEREBY RESOLVED the fees and charges listed in the schedule attached hereto shall be charged by Worcester Township effective this date, and until such time as so amended by the Board of Supervisors by resolution.

BE IT RESOLVED THIS 21TH DAY OF JANUARY 2026

FOR WORCESTER TOWNSHIP

By: _____
Lou Betz, Chair

Attest: _____
Dan DeMeno, Secretary



Fee Schedule

2026

Section I - Residential Building Permits

See Attached Appendix a

Section II - Non-Residential Building Permits

See Attached Appendix a

Sewer tapping fee per EDU	\$3200.00
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Section III - Zoning Permits

Retaining walls up to 4' in height	\$28.00
Fences	\$28.00
Driveway permit	\$28.00
Decks up to 30" above grade and patios	\$28.00
Moving or relocating existing accessory structures	\$28.00
General zoning permit	\$28.00
Solicitation permit per individual soliciting	\$28.00
Grading & excavation permit up to three inspections	\$ 365 .00
Each additional inspection	\$145.00
Stormwater management escrow 7500 sf and greater	\$1000.00

Section IV - Permit and Inspection Penalties

Failure to provide 24 hours notice to cancel inspection cancellation	\$50.00
Not ready for inspection per occurrence	\$80.00
Failure to correct deficiencies found after two inspections per occurrence	\$80.00
Penalty fee for failure to obtain a permit in addition to permit fee	2x permit fee

Section V - Zoning Hearing Board and UCC Appeal Board Fees

Application fee includes appeals of Zoning Officer determination existing residential	\$875.00
Escrow existing residential	\$500.00
Application fee all others	\$1500.00
Escrow all others	\$1000.00
Fee to continue Zoning Hearing Board or UCC Board of Appeals hearing	\$325.00
Fee to postpone Zoning Hearing Board or UCC Board of Appeals hearing	\$350.00
Transcript copy	Actual
Zoning Officer determination letter	\$200.00
Validity challenge to the Zoning Ordinance or Zoning Map	\$2 000 .00
Fee to continue challenge hearing	\$200.00
Fee to postpone challenge hearing	\$250.00

Section VI - Board of Supervisors Fees

Application for Conditional Use hearing	\$1500.00
Escrow Conditional Use hearing	\$1000.00
Fee to continue Conditional Use hearing	\$200.00
Fee to postpone Conditional Use hearing	\$250.00
Application to amend the Zoning Map	\$1500.00
Fee to continue Zoning Map amendment hearing	\$ 400 .00
Fee to postpone Zoning Map amendment hearing	\$450.00
Zoning Map amendment escrow	\$2000.00
Application to amend the Zoning Ordinance	\$1500.00
Fee to continue Zoning Ordinance amendment hearing	\$200.00
Fee to postpone Zoning Ordinance amendment hearing	\$250.00
Zoning Ordinance amendment escrow	\$2 000 .00

VII - SALDO

Concept Meeting application fee	\$500.00
Concept Meeting escrow	\$1000.00
Subdivision & Land Development Sketch Plan application fee	\$1000.00
Subdivision & Land Development Sketch Plan escrow	\$1500.00
Subdivision Residential 1 to 3 lots application fee	\$2000.00
Subdivision Residential 1 to 3 lots escrow	\$6000.00
Subdivision Residential 4 or more lots base application fee	\$4500.00
Additional dwelling unit fee per unit beginning with the 4th lot or unit	\$150.00
Escrow for plans with 4 to 20 lots units	\$20500.00
Escrow for plans with 21 to 50 lots units	\$24 500 .00
Escrow for plans with 51 or more lots units	\$34500.00
Land Development Non-residential base application fee	\$5500.00
Additional fee per 1000 sq ft of gross floor area	\$50.00
Escrow Non-residential Land Development	\$16500.00
Transferable Development Rights application fee	\$475.00
Transferable Development Rights escrow	\$2500.00
Escrow Releases	\$110.00
Act 209 Traffic Impact Fee North Transportation Service Area per peak PM trip	\$3977.00
Act 209 Traffic Impact Fee South Transportation Service Area per peak PM trip	\$3125.00

Section VIII - Highway and Road Fees

Highway road occupancy permit	\$53.00
Highway road inspection fees	By escrow

Section IX - Sewer Rental Fees and Certifications

Sewer rental fee quarterly fee residential	\$136.73
Sewer rental fee quarterly fee commercial per 1000 gallons	\$8.83
Sewer certification	\$30.00
Certified letter fee	\$25.00
Property posting	\$50.00
Water shut off & turn on	\$30.00
Return check fee	Actual

Section X - Fire Alarm Fees

Fire alarm system registration fee	No fee
False alarm penalty failure to register	\$50.00
False alarm penalty third offense per year	\$100.00
False alarm penalty fourth offense per year	\$200.00
False alarm penalty fifth and subsequent offenses per year	\$300.00

Section XI - Park Rental Fees

Community Hall rental fee Township resident per event	\$50.00
Community Hall rental fee Non-Township resident per event	\$100.00
Security deposits must be submitted with application	\$100.00
Pavilion rental fee Township resident up to 25 individuals	\$25.00
Pavilion rental fee Township resident 26-50 individuals	\$50.00
Pavilion rental fee Township resident 51-75 individuals	\$75.00
Pavilion rental fee Township resident 76-100 individuals	\$100.00
Pavilion rental fee Non-Township resident up to 25 individuals	\$50.00

Pavilion rental fee Non-Township resident 26-50 individuals	\$100.00
Pavilion rental fee Non-Township resident 51-75 individuals	\$150.00
Pavilion rental fee Non-Township resident 76-100 individuals	\$200.00
Field or court rental fee single use Township resident up to four hours	\$25.00
Field or court rental fee single use Township resident each additional hour	\$5.00
Field or court rental fee single use Non-Township resident up to four hours	\$50.00
Field or court rental fee single use Non-Township resident each additional hour	\$5.00

Section XII - Tax Collector Fees

Tax certification	\$30.00
Duplication of tax bill	\$5.00
Insufficient funds fee does not include bank fees	\$13.00

Section XIII - Other Fees and Charges

Credit card convenience charge	Actual
Township-authorized services by Township consultants hourly fee	Actual
Township-authorized services by Township consultants reimbursables	Actual
UCC building permit fee per building permit	\$4.50
Copies for Right-to-Know requests 8.5"x11" single-sided page	\$0.25
Copies for Right-to-Know requests 8.5"x11" double-sided page	\$0.50
Copies for Right-to-Know requests 11"x17" single-sided page	\$0.50
Copies for Right-to-Know requests 11"x17" double-sided page	\$1.00
Copies for Right-to-Know requests out-of-house copies	Actual
Mileage reimbursement	IRS rate
Miscellaneous charges postage toll calls delivery fees etc.	Actual

NOTES:

1 - Floor area. Floor Area is measured from outside wall to outside wall.

2 - New Residential SF Calculation. For new residential construction and additions to existing residential units, square footage shall include living spaces on all floors, basements, attached garages & attics over six feet in

3 - Total Cost Calculation. The total cost of all the construction portions of a project is generally based upon the sum of the construction contract(s) and other direct construction costs; this does not include the compensation paid to the engineer, architect and consultants or the cost of the land. The Township has the final

determination in accepting the submitted cost of construction as provided on the permit application and may

4 - Township Organization Status. For an organization to qualify as a Township-based organization, at least

65% of participants must reside in Worcester Township. Documentation that verifies participant residency must be furnished to the Township, and the Township has sole discretion in determining if the residency has

5 - Past Due Invoices. Invoices that are past due by more than thirty (30) days are subject to interest rate

charges as provided by law. Charges for services that involve a late fee as stated in this resolution are not

6 - Omissions and Errors. The failure to list, in this Resolution, a fee that is properly listed elsewhere shall not

obviate the responsibility to pay that fee.

7 - "by escrow agreement". Permits for miscellaneous construction and highway/road inspections will be paid

with funds posted in escrow. From this escrow the Township will deduct actual costs incurred.

8 - False fire alarm fines may be reduced or waived by the Fire Marshal if the Fire Marshal determines, in his or

her sole discretion, the tenant or property owner is making a good faith effort to address and correct the

Appendix a



COST OF SERVICES & BILLING METHODS



CODE DEPARTMENT HOURLY FEE SCHEDULE 2025

PA UCC Services	
Per hour	\$125.00
Property Maintenance Services	
Per hour	\$ 98.00
Zoning/Local Code Enforcement Services	
Per hour	\$ 98.00
Rental Inspection Program	
Per hour	\$ 98.00
Flood Plain Management Services	
Per hour	\$ 125.00
Fire Inspection Services	
Per hour	\$ 105.00
Consultation Services	
Per hour	\$ 150.00
After Hours Inspections	
Per hour	\$ 220.00* (*1 hour minimum)

Code Inspection & Plan Review
Revised August 7, 2023



PENNSYLVANIA UNIFORM CONSTRUCTION CODE

PART I – Building/General Permit Fee Schedule

RESIDENTIAL

(One- and Two-Family Dwellings)

PERMIT FEES

New Construction (10 inspections)	
Plan review per submission	\$250.00
Single family dwelling up to 3,500 gross square feet	\$1,500.00
Per 100 gross square feet or fraction thereof above 3,500 square feet	\$25.00

- *Mechanical, Electrical, and Plumbing permit fees included.*
- *Gross square footage shall include basement, each floor level, garage, decks, and porches.*
- *Measurements shall be from exterior face of wall to exterior face of wall.*
- *Sprinkler and Fire Alarm permit fees are additional.*

Additions (5 inspections)	
Plan review per submission	\$150.00
Single family dwelling addition up to 500 gross square feet	\$600.00
Enclosed porches/sunrooms (unconditioned) up to 500 gross square feet	\$375.00
Per 100 gross square feet or fraction thereof above 500 square feet	\$25.00

- *Mechanical, Electrical and Plumbing permit fees included.*
- *Gross square footage shall include basement, each floor level, garage, decks, and porches.*
- *Gross square footage shall include the entire project area where an addition is accompanied by alterations to the existing structure.*
- *Measurements shall be from exterior face of wall to exterior face of wall.*
- *Enclosed porches and three season rooms shall be priced as an addition.*
- *Sprinkler and Fire Alarm permit fees are additional.*

Alterations and Renovations (2 inspections)	
Plan review per submission	\$150.00
Up to 1,000 gross square feet	\$300.00
Per 100 gross square feet or fraction thereof above 1,000 square feet	\$25.00

- *Mechanical, Electrical, and Plumbing permit fees are additional.*
- *Sprinkler and Fire Alarm permit fees are additional.*
- *Alterations that cannot be calculated by square footage will be calculated per miscellaneous construction fees.*

Decks (3 inspections)	
Plan review per submission	\$100.00
Up to 500 gross square feet	\$250.00
Per 100 gross square feet or fraction thereof above 500 square feet	\$25.00
Including a roof over a deck	\$250.00

- *Mechanical, Electrical, and Plumbing permit fees are additional.*
- *Screened in porches shall be priced as a deck.*
- *Enclosed porches and three season rooms must be priced as an addition.*

Accessory Buildings and Detached Garages (4 inspections)	
Plan review per submission	\$150.00
Up to 1,500 gross square feet	\$400.00
Per 100 gross square feet or fraction thereof above 1,500 square feet	\$25.00
Where an accessory structure also includes finished and conditioned space	\$150.00 additional

- *Mechanical, Electrical, and Plumbing permit fees are additional.*

Solar Array (2 inspections)	
Plan review per submission	\$150.00
2% of total cost of construction (materials and labor)	\$300.00 minimum

- *Electrical permit fees included.*
- *Roof mount or ground mount arrays.*

Generators (2 inspections)	
Plan review per submission	\$150.00
Per generator	\$250.00

- *Electrical and mechanical permit fees included.*

Demolition Permit	
Permit/documentation review per submission	\$120.00
Garage/accessory structures (1 inspection)	\$120.00
Single/double home (2 inspections)	\$250.00

Manufactured and Modular Homes	
Plan review per submission	\$150.00
Manufactured home with basement up to 2,500 gross square feet (7 inspections)	\$895.00
Manufactured home with pier foundation up to 2,500 gross square feet (5 inspections)	\$795.00
Modular home up to 2,500 gross square feet (7 inspections)	\$895.00
Per 100 gross square feet or fraction thereof above 2,500 square feet	\$25.00

- *Decks, porches, garages, or other attachments are additional.*
- *Utility connections included.*

Swimming Pools/Spas	
Plan review per submission	\$150.00
Spa or hot tub (1 inspection)	\$150.00
Above-ground pool (2 inspections)	\$300.00
In-ground pool (3 inspections)	\$450.00

- *Includes Electric permit.*

Miscellaneous Building Construction Only (Number of inspections to be determined)	
Plan Review Per Submission	\$150.00
2% of total cost of construction (materials & labor)	\$200.00 minimum

- *Mechanical, Electrical, and Plumbing permit fees are additional.*
- *Sprinkler and Fire Alarm permit fees are additional.*
- *Any building projects not covered elsewhere in Part I of this fee schedule shall be priced as miscellaneous building construction.*

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

PENNSYLVANIA UNIFORM CONSTRUCTION CODE
PART II – Electrical Permit Fee Schedule

RESIDENTIAL
(One- and Two-Family Dwellings)

PERMIT FEES

Electrical Alterations Only (2 inspections each)	
Plan review per submission	\$120.00
Up to 1,000 gross square feet	\$250.00
Per 100 gross square feet or fraction thereof above 1,000 square feet	\$25.00

- *Projects with only electrical inspections shall be priced by the electrical alterations only schedule.*
- *Alterations that cannot be calculated by square footage will be calculated per miscellaneous Electrical only fees.*

Services and Feeders (1 inspection each)	
Not over 100 amps	\$150.00
101 amps to 400 amps	\$250.00
Feeders and panel boards not over 400 amps	\$100.00

- *Over 400 amps require commercial fees.*
- *This schedule covers service upgrades, repairs, and replacements.*

Miscellaneous Electrical Only (2 inspections)	
Plan review per submission	\$120.00
2% of total cost of construction (materials & labor)	\$150.00 minimum

- *Building, Mechanical, and Plumbing permit fees are additional.*
- *Any electrical projects not covered elsewhere in Part II of this fee schedule shall be priced as miscellaneous electrical.*

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

PENNSYLVANIA UNIFORM CONSTRUCTION CODE
PART III – Plumbing Permit Fee Schedule

RESIDENTIAL
(One- and Two-Family Dwellings)

PERMIT FEES

Plumbing Alterations Only	
Plan review per submission	\$120.00
Per fixture (2 inspections – rough and final)	\$50.00
\$175.00 Minimum	

- *Projects with only plumbing inspections shall be priced by the plumbing alterations only schedule*
- *Alterations that cannot be calculated per fixture will be calculated per miscellaneous plumbing only fees.*

Utility Plumbing Inspections	
Plan review per submission	\$100.00
Utility sewer connection (1 inspection)	\$150.00 minimum
Utility water connection (1 inspection)	\$150.00 minimum

Miscellaneous Plumbing Only (2 inspections)	
Plan review per submission	\$120.00
2% of total cost of construction (materials & labor)	\$150.00 minimum

- *Building, Mechanical, and Electrical permit fees are additional.*
- *Sprinkler and Fire Alarm permit fees are additional.*
- *Any plumbing projects not covered elsewhere in Part III of this fee schedule shall be priced as miscellaneous plumbing only.*

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

PENNSYLVANIA UNIFORM CONSTRUCTION CODE
PART IV – Mechanical Permit Fee Schedule

RESIDENTIAL
(One- and Two-Family Dwellings)

PERMIT FEES

Mechanical Appliances Only	
Plan review per submission	\$120.00
Per first individual new appliance (2 inspections)	\$250.00
Per each additional Individual new appliance	\$75.00
Per Individual Replacement Appliance (1 inspection)	\$150.00
Oil tank replacement, relocation, installation, removal & closure (1 inspection)	\$150.00
Alterations (2 inspections) (gas lines, duct work, etc.)	\$250.00

- *Includes associated duct work/piping.*
- *Large scale HVAC, refrigeration, and process equipment will be based on commercial fees.*
- *Alterations that cannot be calculated per the mechanical appliances only fee schedule will be calculated per miscellaneous Mechanical only fees.*

Miscellaneous Mechanical Only (2 inspections)	
Plan Review Per Submission	\$120.00
2% of total cost of construction (materials & labor)	\$150.00 minimum

- *Building, Plumbing, and Electrical permit fees are additional.*
- *Any mechanical projects not covered elsewhere in Part IV of this fee schedule shall be priced as miscellaneous mechanical only.*

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

PENNSYLVANIA UNIFORM CONSTRUCTION CODE
PART V – Fire Suppression & Detection Systems Permit Fee Schedule

RESIDENTIAL
(One- and Two-Family Dwellings)

PERMIT FEES

NFPA 13D or IRC P2904 Sprinkler System (2 inspections)	
Plan review fee per submission	\$120.00
1 to 75 heads	\$250.00
Each additional head over 75	\$1.00

- *NFPA 13 sprinkler system, NFPA 13R sprinkler system, NFPA 72 fire alarm system, or any alternative fire suppression system will be priced per the commercial fee schedule.*
- *Utility water connection fee per plumbing fee schedule.*
- *Additional inspections charge re-inspection fees.*

NFPA 13D or IRC P2904 Sprinkler System Alterations Only (2 inspections)	
Plan review per submission	\$120.00
2% of total cost of construction (materials & labor)	\$150.00 minimum

- *Building, Plumbing, Mechanical and Electrical permit fees are additional.*
- *Any NFPA 13D or IRC P2904 sprinkler system projects not covered elsewhere in Part V of this fee schedule shall be priced as NFPA 13D or IRC P2904 sprinkler system alterations only.*
- *Additional inspections charge re-inspection fees.*

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.



PENNSYLVANIA UNIFORM CONSTRUCTION CODE

PART I – Building/General Permit Fee Schedule

NON-RESIDENTIAL

(Commercial & Residential – other than One- and Two-Family Dwellings)

PERMIT FEES

New Construction (Number of inspections to be determined)	
Plan review per 100 gross square feet or fraction thereof	\$10.00 \$500.00 Minimum
Inspections per 100 gross square feet or fraction thereof	\$30.00 \$500.00 minimum

- *Mechanical, Electrical, and Plumbing permit fees included.*
- *Sprinkler and Fire Alarm permit fees are additional.*
- *Gross square footage shall include basement, each floor level, garage, decks, swimming pools, and porches. Measurements shall be from exterior face of wall to exterior face of wall.*
- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$150.00/hr. (1 hr. min.).*
- *Additional inspections shall be charged at a rate of \$120.00/hr. (1 hr. min.).*

Additions (Number of inspections to be determined)	
Plan review per 100 gross square feet or fraction thereof	\$10.00 \$250.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$30.00 \$500.00 minimum

- *Mechanical, Electrical, and Plumbing permit fees included.*
- *Sprinkler and Fire Alarm permit fees are additional.*
- *Gross square footage shall include basement, each floor level, garage, decks, and porches.*
- *Measurements shall be from exterior face of wall to exterior face of wall.*
- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Additional inspections shall be charged at a rate of \$120.00/hr. (1 hr. min.).*

Renovations/Alterations/Change of Use (Number of inspections to be determined)	
Plan review per 100 gross square feet or fraction thereof	\$10.00 250.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$30.00 \$360.00 minimum

- *Mechanical, Electrical, and Plumbing permit fees are additional.*
- *Sprinkler and Fire Alarm permit fees are additional.*
- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Alterations that cannot be calculated by square footage will be calculated per miscellaneous construction fees.*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Additional inspections shall be charged at a rate of \$120.00/hr. (1 hr. min.).*

Demolition (3 inspections maximum)	
Plan review fee per submission	\$120.00
Buildings up to 5,000 gross square feet	\$300.00 minimum
Per 100 gross square feet or fraction thereof above 5,000 square feet	\$25.00

- *Additional inspections shall be charged at a rate of \$120.00/hr. (1 hr. min.).*

Solar Array (Number of inspections to be determined)	
Plan review 1% of total cost of construction (materials & labor)	\$150.00 minimum
2% of total cost of construction (materials & labor)	\$300.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Additional inspections shall be charged at a rate of \$120.00/hr. (1 hr. min.).*

Pallet Racking or Conveyors (Number of inspections to be determined)	
Plan review per 100 gross square feet or fraction thereof	\$15.00 \$225.00 minimum
Inspections per 100 gross square feet or fraction thereof of work area	\$8.50 \$360.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$100.00/hr. (1 hr. min.).*
- *Additional inspections shall be charged at a rate of \$120.00/hr. (1 hr. min.).*

Miscellaneous Construction Building Only (Number of inspections to be determined)	
Plan review 1% of total cost of construction (materials and labor)	\$120.00 minimum
2% of total cost of construction (materials & labor)	\$250.00 minimum

- *Cell towers, retaining walls, roofs, signs, ramps, decks, swimming pools, etc.*
- *Mechanical, Electrical, and Plumbing permit fees are additional.*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Any building projects not covered elsewhere in Part I of this fee schedule shall be priced as miscellaneous building construction.*
- *Additional inspections shall be charged at a rate of \$120.00/hr. (1 hr. min.).*

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

PENNSYLVANIA UNIFORM CONSTRUCTION CODE
PART II – Electrical Permit Fee Schedule

NON-RESIDENTIAL

(Commercial & Residential – other than One- and Two-Family Dwellings)

PERMIT FEES

Electrical Only New Construction (5 inspections maximum)	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$200.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$500.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$150.00/hr. (1 hr. min.).*

Electrical Only Additions (5 inspections maximum)	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$200.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$500.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*

Electrical Only Alterations (Number of inspections to be determined)	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$100.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$250.00 minimum

- *Includes electric services, feeders, panel boards, signs, motors, generators, transformers, vaults, enclosures, HVAC electrical connections, etc.*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Alterations that cannot be calculated by square footage will be calculated per miscellaneous electrical only fees.*

Swimming Pools, Spas	
Three-year State Certification	Quote required

Miscellaneous Electrical Only (Number of inspections to be determined)	
Plan review 1% of total cost of construction (materials and labor)	\$120.00 minimum
2% of total cost of construction (materials & labor)	\$250.00 minimum

- *Cell towers, retaining walls, roofs, signs, ramps, decks, swimming pools etc.*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Any electrical projects not covered elsewhere in Part II of this fee schedule shall be priced as miscellaneous electrical only.*

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

PENNSYLVANIA UNIFORM CONSTRUCTION CODE
PART III – Plumbing Permit Fee Schedule

NON-RESIDENTIAL

(Commercial & Residential – other than One- and Two-Family Dwellings)

PERMIT FEES

Plumbing Only New Construction (5 inspections maximum)	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$200.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$500.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*

Plumbing Only Additions (5 inspections maximum)	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$200.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$500.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*

Plumbing Only Alterations (Number of inspections to be determined)	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$120.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$250.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Alterations that cannot be calculated by square footage will be calculated per miscellaneous plumbing only fees.*

Miscellaneous Plumbing Only (Number of inspections to be determined)	
Plan review 1% of total cost of construction (materials & labor)	\$120.00 minimum
2% of total cost of construction (materials & labor)	\$250.00 minimum
<ul style="list-style-type: none"> • <i>Cell towers, retaining walls, roofs, signs, ramps, decks, swimming pools etc.</i> • <i>Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).</i> • <i>Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).</i> • <i>Any plumbing projects not covered elsewhere in Part III of this fee schedule shall be priced as miscellaneous plumbing only.</i> 	

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

PENNSYLVANIA UNIFORM CONSTRUCTION CODE
PART IV – Mechanical Permit Fee Schedule

NON-RESIDENTIAL

(Commercial & Residential – other than One- and Two-Family Dwellings)

PERMIT FEES

Mechanical Only New Construction (5 inspections maximum)	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$200.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$500.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*

Mechanical Only Additions (5 inspections maximum)	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$200.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$500.00 minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*

Mechanical Only Alterations	
Plan review per 100 gross square feet or fraction thereof	\$5.00 \$100.00 minimum
Inspections per 100 gross square feet or fraction thereof	\$12.00 \$250.00 minimum

- *Includes associated duct work/piping.*
- *Electrical hook-ups require an electrical permit.*
- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Alterations that cannot be calculated by square footage will be calculated per misc. fees.*

Commercial Hood and Duct Systems and Process Equipment Exhausts	
Plan review 1% of total cost of construction (materials and labor)	\$150.00 minimum
2% of total cost of construction (materials and labor)	\$300.00 minimum
<ul style="list-style-type: none"> • <i>Includes associated duct work/piping.</i> • <i>Electrical hook-ups require an electrical permit.</i> • <i>Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr min).</i> 	

Miscellaneous Mechanical only (Number of inspections to be determined)	
Plan review 1% of total cost of construction (materials and labor)	\$100.00 minimum
2% of total cost of construction (materials & labor)	\$200.00 minimum
<ul style="list-style-type: none"> • <i>Includes associated duct work/piping.</i> • <i>Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).</i> • <i>Phased construction that requires additional inspections may be charged \$120.00/hr. (1 h.r min.).</i> 	

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

PENNSYLVANIA UNIFORM CONSTRUCTION CODE
PART V – Fire Suppression & Detection Systems Permit Fee Schedule

NON-RESIDENTIAL

(Commercial & Residential – other than One- and Two-Family Dwellings)

PERMIT FEES

Fire Sprinkler Systems (Number of inspections to be determined)	
Plan review per 100 gross square feet or fraction thereof	\$1.50 \$250.00 Minimum
Inspection for 1 to 75 heads	\$350.00
Inspection for each additional head over 75	\$1.00
Fire line inspection per linear foot	\$0.15 \$350.00 Minimum
Fire pump inspection	\$450.00
Fire loop inspection per linear foot	\$0.15 \$350.00 Minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*

Fire Detection/Alarm Systems (Number of inspections to be determined)	
Plan review per 100 gross square feet or fraction thereof	\$1.50 \$250.00 Minimum
Inspections per 100 gross square feet or fraction thereof	\$10.00 \$250.00 Minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*

ANSUL or Alternate Fire Suppression System (Number of inspections to be determined)	
Plan review 1% of total cost of construction (materials and labor)	\$150.00 Minimum
2% of total cost of construction (materials and labor)	\$300.00 Minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Phased construction that requires additional inspections may be charged \$120.00/hr. (1 hr. min.).*
- *Utility water connection fee per plumbing fee schedule.*

Sprinkler System Alterations Only (2 inspections)	
Plan review 1% of total cost of construction (materials & labor)	\$150.00 Minimum
2% of total cost of construction (materials & labor)	\$300.00 Minimum

- *Additional plan review submissions will be reviewed at a rate of \$150.00/hr. (1 hr. min.).*
- *Additional inspections charge re-inspection fees.*
- *Building, Plumbing, Mechanical and Electrical permit fees are additional.*
- *Any sprinkler or alarm system projects not covered elsewhere in Part V of this fee schedule shall be priced as sprinkler system alterations only.*

Note: A \$4.50 surcharge per permit is required to be assessed on each permit issued, in accordance with Pennsylvania Act 157 of 2006.

**TOWNSHIP OF WORCESTER
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION 2026-06

**A RESOLUTION TO APPOINT AN
ALTERNATE MEMBER TO THE PLANNING COMMISSION**

WHEREAS, pursuant to Act 42 of 2015, a municipality may appoint an Alternative Member to serve on its Planning Commission, in accordance with the provisions of said Act; and,

WHEREAS, the Board of Supervisors desires to appoint an Alternate Member to the Worcester Township Planning Commission; and,

NOW, THEREFORE, the Board of Supervisors does hereby appoint Bill McGrane to the position of Alternate Member of the Worcester Township Planning Commission, for the balance of a four-year term that shall expire on December 31, 2029.

APPROVED BY MOTION OF THE BOARD OF SUPERVISORS ON THE 21ST DAY OF JANUARY, 2026.

FOR WORCESTER TOWNSHIP

By: _____
Lou Betz, Chair
Board of Supervisors

Attest: _____
Dan DeMeno, Secretary